

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

18.050 P01

SPA DRAWINGS	
SHEET NUMBER	SHEET NAME
SPA000	COVER SHEET
SPA001	SURVEY
SPA004	CONTEXT PLAN
SPA005A	MASTER PLAN / CONCEPT PLAN
SPA005B	SITE PLAN / ROOF PLAN - OVERALL SITE
SPA005C	SITE PLAN / ROOF PLAN
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03 - 05
SPA154	FLOOR 06
SPA155	FLOOR 07
SPA156	FLOOR 08 - 28
SPA157	MPH
SPA301	ELEVATIONS
SPA302	ELEVATIONS
SPA401	SECTION A - A
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA803	3D PERSPECTIVE
SPA804	3D PERSPECTIVES
SPA805	3D PERSPECTIVES
SPA806	3D PERSPECTIVES
SPA807	3D PERSPECTIVES
SPA808	3D PERSPECTIVES
SPA809	3D PERSPECTIVES - PARKING RAMP
SPA810	3D PERSPECTIVES - PARKING RAMP



TURNER
FLEISCHER
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Toronto, ON, M3B 2T8
Contact Name: Anita Yu
Phone Number: 416-425-2222 ext 235
Email: anita.yu@turnerfleischer.com

ISSUED FOR SITE PLAN APPROVAL #2
APRIL 04, 2025

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No site plan prepared by Turner Fleischer is valid on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Annis O'Sullivan Vollebakk Ltd.

TOPOGRAPHIC PLAN OF SURVEY OF

LOT 1
REGISTERED PLAN 747
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 400

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 19th day of May, 2023.
May 23, 2023
Date
V. Andrew Rempel
Ontario Land Surveyor

Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - Standard Iron Bar
 - Short Standard Iron Bar
 - Witness
 - Measured
 - Annis, O'Sullivan, Vollebakk Ltd.
 - Registered Plan 747
 - Plan 5R-3157
 - Plan 4R-17039
 - (AOG) Plan dated June 14, 1995 (ADV Ref. O-180-95)
 - Plan 4R-12750
 - Plan 5R-5421
 - Fire Hydrant
 - Water Valve
 - Water Stand Post
 - Maintenance Hole (Storm Sewer)
 - Maintenance Hole (Sanitary)
 - Maintenance Hole (Bell Telephone)
 - Maintenance Hole (Hydro)
 - Catch Basin
 - Catch Basin Inlet
 - Monitoring Well
 - Handhole
 - Cable Terminal Box
 - Sign
 - Chain Link Fence
 - Board Fence
 - Gates
 - Metall Pole
 - Utility Pole
 - Anchor
 - Light Standard
 - Deciduous Tree
 - Coniferous Tree
 - Shrub
 - Diameter
 - Location of Elevations
 - Top of Concrete Curb Elevation
 - Centreline
 - Property Line
 - Multiple trees

SITE AREA = 34,661 m²



Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01915880105 and 019158434791, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans (P), (P1) & (P3) are astronomic bearings.

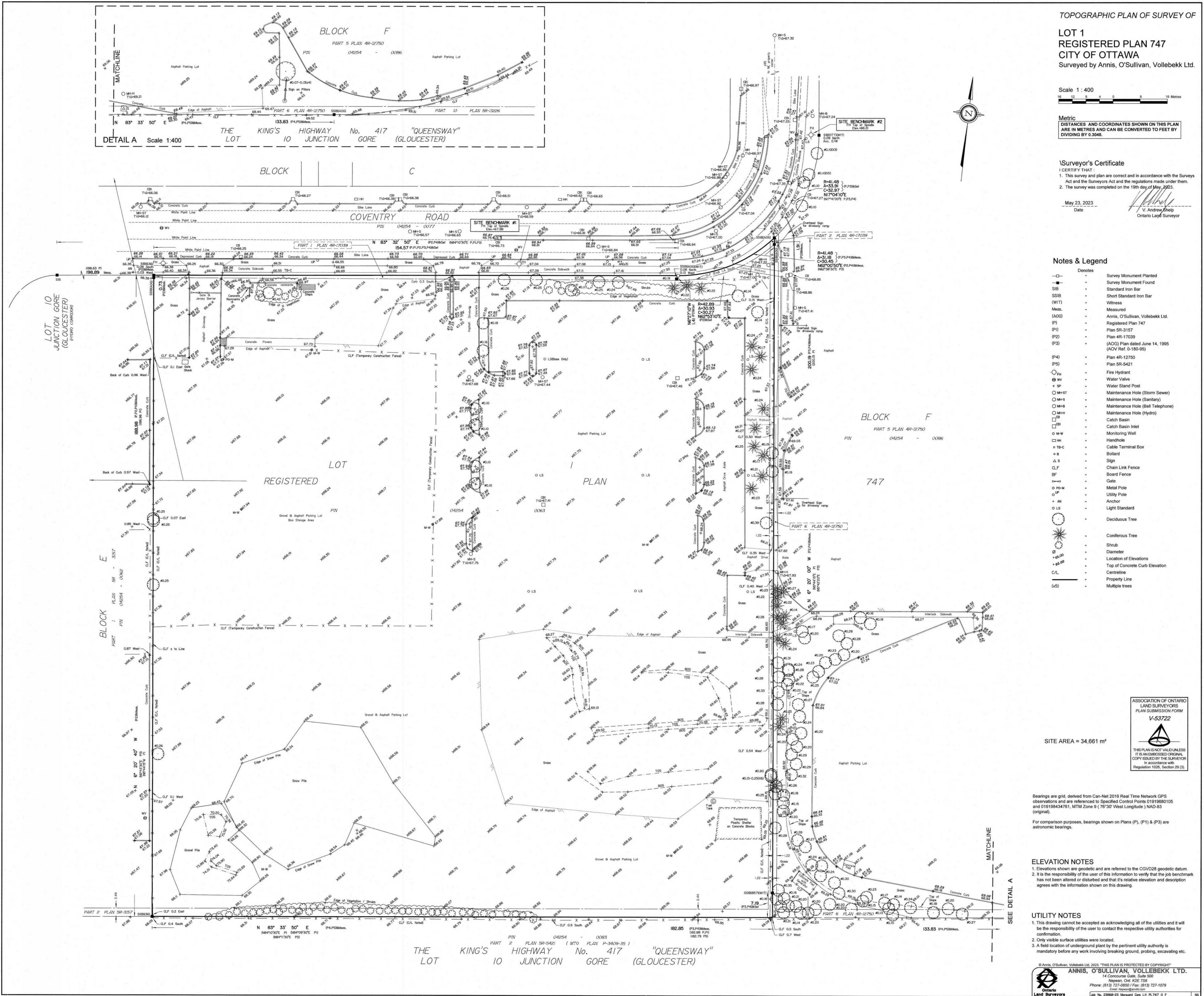
ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

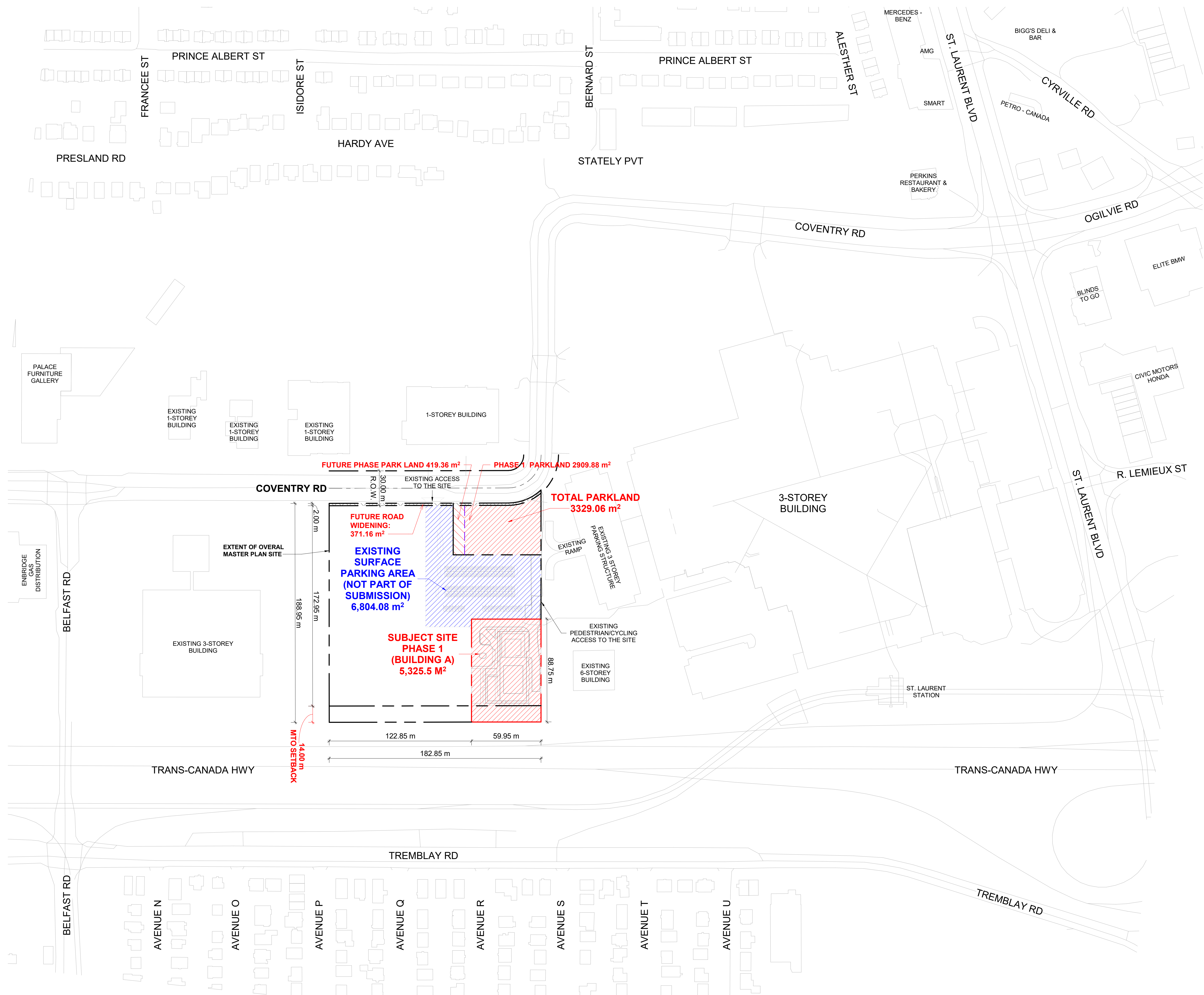
UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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Land Surveyors
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2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
DATE	DESCRIPTION	BY



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

CONTEXT PLAN

PROJECT NO. 8.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY YU	
SCALE 1/500	



RAWING NO.	REV.
SPA004	3

TURNER FLEISCHER

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SITE PLAN SYMBOLS

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	GAS/HYDRO METER
	PRIVATE ROAD
	PRIVATE ROAD - INTERNAL
	PARKLAND
	SOFT LANDSCAPING
	GREEN ROOF / AMENITY
	TWO-WAY CYCLE PATH
	OUTDOOR TERRACE
	SIDEWALK
	TWSI - AT PEDESTRIAN AND CYCLING CROSSINGS
	TOWNHOUSES AT GRADE
	EXTENT OF UNDERGROUND PARKING BELOW

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



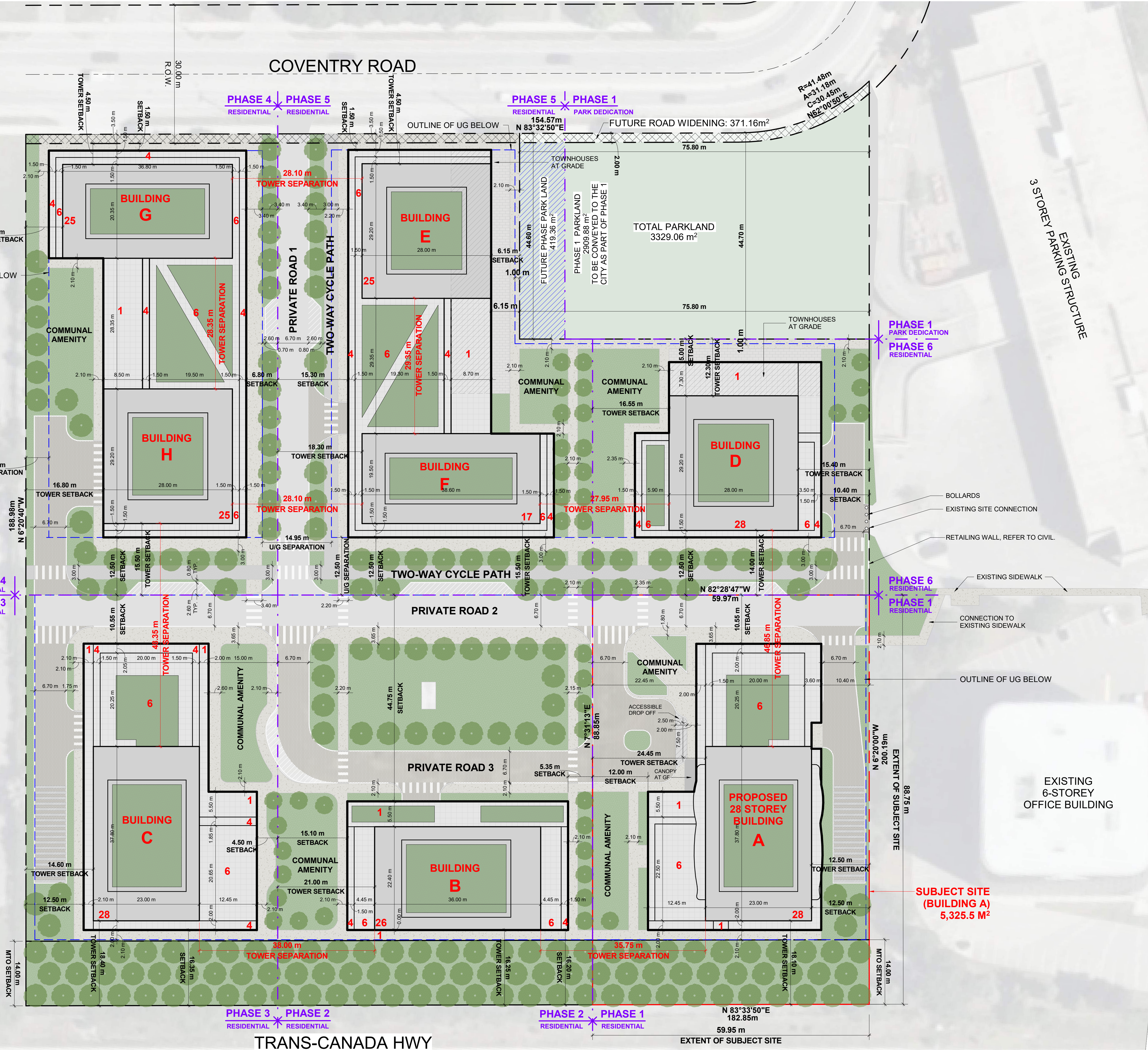
PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
MASTER PLAN / CONCEPT PLAN

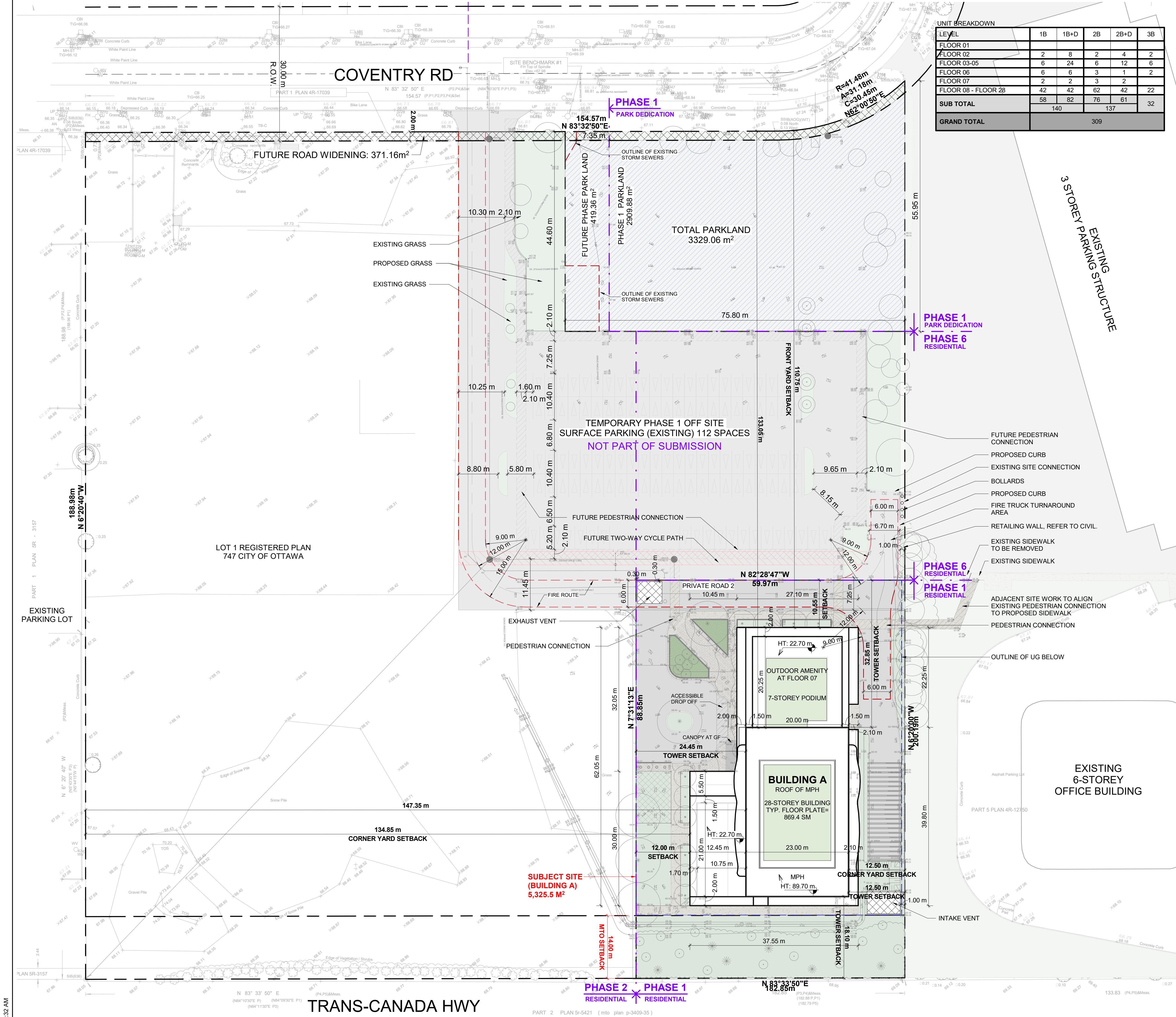
PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1:400	

DRAWING NO. SPA005A	REV. 3
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2025-04-04 9:29:32 AM

1 ROOF OF MPH WHOLE SITE
1 : 400



UNIT BREAKDOWN					
LEVEL	1B	1B+D	2B	2B+D	3B
FLOOR 01					
FLOOR 02	2	8	2	4	2
FLOOR 03-05	6	24	6	12	6
FLOOR 06	6	6	3	1	2
FLOOR 07	2	2	3	2	
FLOOR 08 - FLOOR 28	42	42	62	42	22
SUB TOTAL	58	82	76	61	32
GRAND TOTAL	140		137		32

PROJECT INFORMATION			TD3
Zoning By-law 2008-250 Consolidation			
NET OVERALL SITE AREA BREAKDOWN			
AREA TYPE	m²	ACRE	
SITE AREA - BLDG A	5,325.54	1.316	
TOTAL PARKLAND AREA	3,329.06	0.823	
FUTURE ROAD WIDENING AREA	371.16	0.092	
TOTAL PHASE 1 & ASSOCIATED AREAS	9,025.76	2.231	
TEMPORARY OFF SITE PARKING	6,804.08	1.681	
REMAINING SITE AREA	18,831.16	4.653	
TOTAL SITE AREA	34,661.0	8.565	

ZONING			TD3	
BUILDING HEIGHT	REQUIRED	PROVIDED		
GRADE (GEODETIC ELEVATION - ASL)	30 STOREYS / 90.0M	28 STOREYS / 89.7M		
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M		
DENSITY - MINIMUM 350 units/hectare	206 UNITS	309 UNITS		
FRONT YARD SETBACK	3.0M	110.75M		
CORNER YARD SETBACK (East / West)	3.0M/3.0M	134.85M/12.5M		
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M		
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M		
AMENITY AREA - TOTAL PER UNIT	6.0M²	17.4M²		
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M²	4.55M²		
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M²	172.6M²		
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT)	NOT REQUIRED	289		
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30		
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	165	309		
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0M/6.7M	6.7M		

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)				
	m²	ft²		
UG1				
FLOOR 01				
FLOOR 02		1,339.6		
FLOOR 03-05	1,339.6 m² x 3	4,018.8		
FLOOR 06		1,224.1		
FLOOR 07		631.4		
FLOOR 08 - FLOOR 28	725.2 m² x 21	15,229.2		
TOTAL		22,443.7		
TYP. FLOOR PLATE	869.4	9,358		

UNIT STATISTICS		UNITS	
1B		58	
1B+D		82	
2B		77	
2B+D		61	
3B		31	
TOTAL		309	

VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A			
VISITOR	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30	30	
RESIDENTIAL	N/A	0	
TOTAL		30	

VEHICULAR PARKING SPACES PROVIDED			
VISITOR	0.1 SPACES PER UNIT (309 UNITS)	30	
RESIDENTIAL	0.56 SPACES PER UNIT (309 UNITS)	177	
TOTAL		207	
EXISTING SURFACE PARKING LOT		112	
TOTAL	1.03 PER UNIT (309 UNITS)	319	

ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		4
TOTAL		7

ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		5
TOTAL		8

STANDARD PARKING SPACE	2.6m X 5.2m
PARALLEL PARKING SPACE	2.6m X 6.7m
SMALL PARKING SPACE	2.4m X 4.6m
ACCESSIBLE PARKING SPACE 'TYPE A'	3.4m X 5.2m
ACCESSIBLE PARKING SPACE 'TYPE B'	2.4m X 5.2m
LOADING SPACE	3.5m X 7.0m
BICYCLE PARKING SPACES REQUIRED	
RESIDENTIAL	0.5 PER UNIT (309 UNITS)
TOTAL	155

BICYCLE PARKING SPACES PROVIDED		
RESIDENTIAL	INTERIOR	309
	EXTERIOR	0
TOTAL	1.0 PER UNIT (309 UNITS)	309

AMENITY AREA		m²	ft²
GRADE EXTERIOR - COMMUNAL		172.6	1,858
INTERIOR - COMMUNAL		1,095.4	11,791
07F EXTERIOR - COMMUNAL		202.1	2,175
TOTAL COMMUNAL		1,470.1	15,824
BALCONIES / TERRACE - PRIVATE		3,506.2	37,741
TOTAL		4,976.3	53,565

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.
REQUIRED COMMUNAL @ 50% = 927 sq. m.

SITE COVERAGE		
BUILDING FOOTPRINT	m²	%
DRIVING SURFACE	1,815.4	34.1%
LANDSCAPE AREA	1,260.5	23.7%
TOTAL BUILDING A	2,249.6	42.2%
TOTAL BUILDING A	5,325.5	100%

REFUGE REQUIREMENT (309 UNITS)		
GARBAGE	COMPACTED RATIO	CUBIC YARDS
RECYCLING GMP	0.053 yd³/UNIT	17
RECYCLING FIBER	0.018 yd³/UNIT	6
COMPOST	0.038 yd³/UNIT	12
	240L PER 50 UNITS	7 BINS

TURNER
FLEISCHER

Turner Fleischer Architects Inc.

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SITE PLAN SYMBOLS	
↑	PRIMARY RESIDENTIAL ENTRANCE
△	SECONDARY RESIDENTIAL ENTRANCE
▲	EXIT
⊙	FIRE HYDRANT
⋈	SIAMESE CONNECTION
◊	CONVEX MIRROR
⬆	SPOT ELEVATION
Ⓢ	GAS/HYDRO METER

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

MINIMUM PERMITTED PARKING DIMENSIONS	
TYPICAL PARKING DIMENSIONS	
AISLE WIDTH: MIN 6.7m	
TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH	
TYPICAL BARRIER FREE SPACE	
MIN 3.66 x 5.2 x 2.1m HIGH	

3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

Morguard

PROPOSED 28-STOREY RESIDENTIAL BUILDING
500 COVENTRY ROAD, OTTAWA, ON.

SITE PLAN / ROOF PLAN - OVERALL SITE

PROJECT NO. 18.050 P01	ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1:400	DRAWING NO. SPA005B
	REV. 3

UNIT BREAKDOWN					
LEVEL	1B	1B+D	2B	2B+D	3B
FLOOR 01					
FLOOR 02	2	8	2	4	2
FLOOR 03-05	6	24	6	12	6
FLOOR 06	6	6	3	1	2
FLOOR 07	2	2	3	2	
FLOOR 08 - FLOOR 28	42	42	62	42	22
SUB TOTAL	58	82	76	61	32
GRAND TOTAL	309				

- DRAWINGS NOTES
- 1

PHASE 1 LIMITS
- 2

BUILDING SETBACKS
- 3

PROPOSED ROAD WIDENING
- 4

HARD SURFACE PAVING, REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
- 5

DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
- 6

EXISTING STREET CURB AND SIDEWALK
- 7

SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
- 8

ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
- 9

INTERNAL GARBAGE ROOM
- 10

2.0m WIDE CONCRETE SIDEWALK
- 11

OUTLINE OF PRIVATE BALCONY ABOVE
- 12

OUTLINE OF TOWER ABOVE
- 13

STRUCTURAL SUPPORT FOR BUILDING ABOVE
- 14

VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
- 15

EXISTING TREE TO BE REMOVED
- 16

EXISTING STORM GRATE
- 17

EXISTING UTILITY KIOSK
- 18

PROPOSED SERVICES
- 19

RETAINING WALL, REFER TO CIVIL FOR HEIGHT
- 20

EXISTING CONCRETE / ASPHALT ISLAND
- 21

EXISTING UTILITY / LIGHT POLE
- 22

1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
- 23

3.5 x 7.0m LOADING SPACE
- 24

SIAMESE CONNECTION
- 26

EXISTING CROSSWALK WITH DEPRESSED CURBS
- 27

EXISTING CONCRETE JERSEY BARRIER
- 28

EXISTING CONCRETE OVERPASS
- 29

GUARDRAIL WITH METAL PIPE RAILING
- 30

EXISTING FIRE HYDRANT
- 31

INTAKE / EXHAUST GRILL
- 32

BICYCLE PARKING SPACE WITH RACK
- 33

OUTLINE OF BELOW GRADE PARKING DECK
- 34

HEATED GARAGE RAMP WITH TRENCH DRAIN
- 35

GARAGE RAMP WALL
- 36

RELOCATE UTILITY / LIGHT POLE AS NEEDED
- 37

TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
- 38

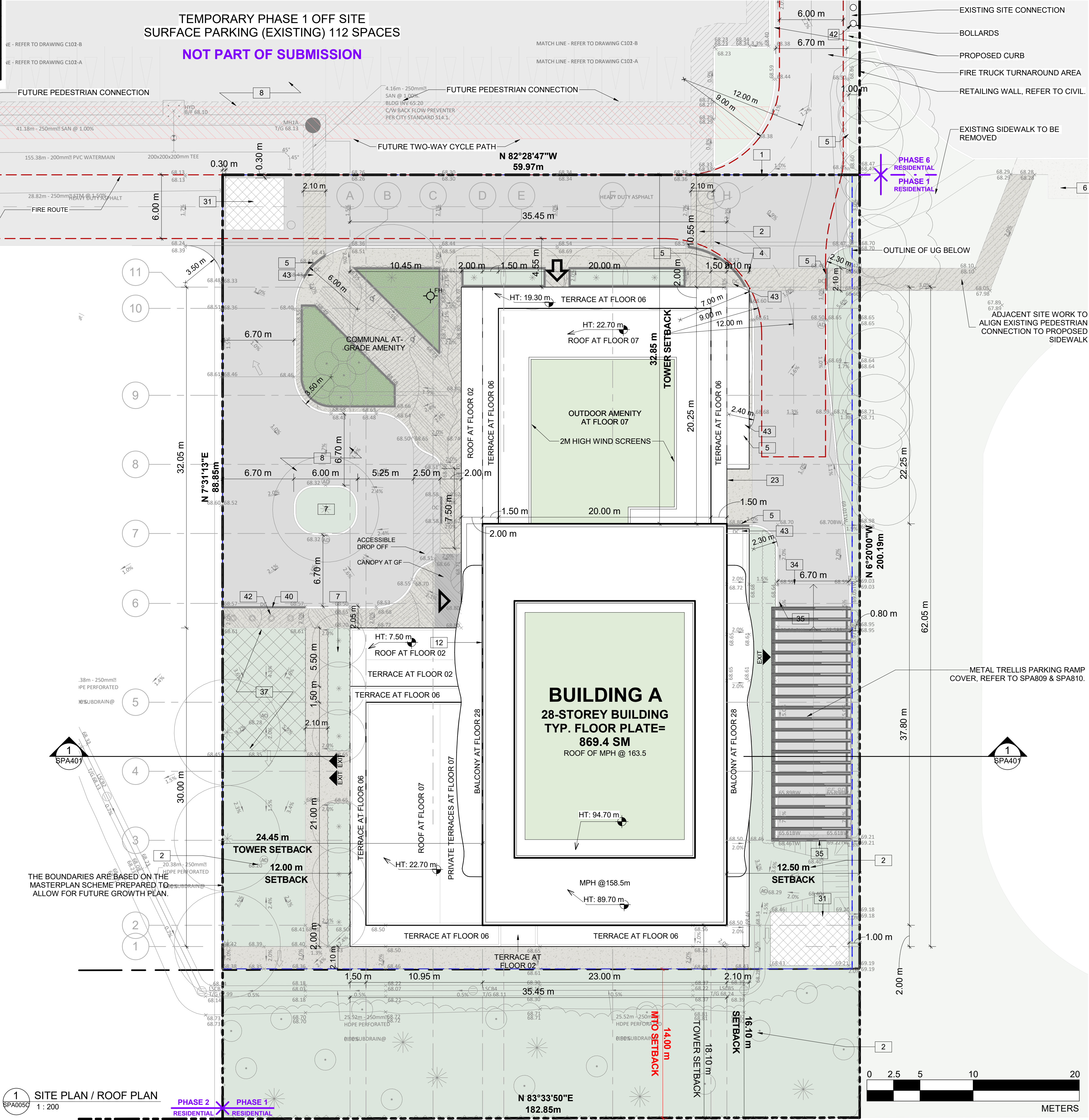
PRIVACY FENCE
- 39

WASHED PEA-STONE SURFACE
- 41

ACCESS TO INTERNAL CISTERN
- 42

REMOVABLE CONCRETE BOLLARDS
- 43

TACTILE STRIP AT SIDE WALKS



PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation

TD3

NET OVERALL SITE AREA BREAKDOWN

AREA TYPE	m ²	ACRE
SITE AREA - BLDG A	5,325.54	1.316
TOTAL PARKLAND AREA	3,329.06	0.823
FUTURE ROAD WIDENING AREA	371.16	0.092
TOTAL PHASE 1 & ASSOCIATED AREAS	9,025.76	2.231
TEMPORARY OFF SITE PARKING	6,804.08	1.681
REMAINING SITE AREA	18,831.16	4.653
TOTAL SITE AREA	34,661.0	8.565

ZONING		
BUILDING HEIGHT	REQUIRED	PROVIDED
GRADE (GEODETIC ELEVATION - ASL)	30 STOREYS / 90.0M	28 STOREYS / 89.7M
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M
DENSITY - MINIMUM 350 units/hectare	206 UNITS	309 UNITS
FRONT YARD SETBACK	3.0M	110.75M
CORNER YARD SETBACK (East / West)	3.0M/3.0M	134.85M/12.5M
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M
AMENITY AREA - TOTAL PER UNIT	6.0M²	17.4M²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M²	4.55M²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M²	172.6M²
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT)	NOT REQUIRED	289
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	165	309
aisle & driveway minimum / maximum width	6.0M/6.7M	6.7M

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)			
		m²	ft²
UG1			
FLOOR 01			
FLOOR 02		1,339.6	14,419
FLOOR 03-05	1,339.6 m² x 3	4,018.8	43,257
FLOOR 06		1,224.1	13,176
FLOOR 07		631.4	6,796
FLOOR 08 - FLOOR 28	725.2 m² x 21	15,229.2	163,926
TOTAL		22,443.7	241,582
TYP. FLOOR PLATE		869.4	9,358

UNIT STATISTICS		
	UNITS	
1B	58	
1B+D	82	
2B	77	
2B+D	61	
3B	31	
TOTAL	309	

VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A			
VISITOR	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30	30	
RESIDENTIAL	N/A	0	
TOTAL		30	

VEHICULAR PARKING SPACES PROVIDED			
VISITOR	0.1 SPACES PER UNIT (309 UNITS)	30	
RESIDENTIAL	0.56 SPACES PER UNIT (309 UNITS)	177	
TOTAL		207	
EXISTING SURFACE PARKING LOT		112	
TOTAL	1.03 PER UNIT (309 UNITS)	319	

ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		4
TOTAL		7

ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		5
TOTAL		8

STANDARD PARKING SPACE	2.6m X 5.2m
PARALLEL PARKING SPACE	2.6m X 6.7m
SMALL PARKING SPACE	2.4m X 4.6m
ACCESSIBLE PARKING SPACE ' TYPE A '	3.4m X 5.2m
ACCESSIBLE PARKING SPACE ' TYPE B '	2.4m X 5.2m
LOADING SPACE	3.5m X 7.0m

BICYCLE PARKING SPACES REQUIRED		
RESIDENTIAL	0.5 PER UNIT (309 UNITS)	155
TOTAL		155

BICYCLE PARKING SPACES PROVIDED		
RESIDENTIAL	INTERIOR	309
	EXTERIOR	0
TOTAL	1.0 PER UNIT (309 UNITS)	309

AMENITY AREA		
	m²	ft²
GRADE EXTERIOR - COMMUNAL	172.6	1,858
INTERIOR - COMMUNAL	1,095.4	11,791
07F EXTERIOR - COMMUNAL	202.1	2,175
TOTAL COMMUNAL	1,470.1	15,824
BALCONIES / TERRACE - PRIVATE	3,506.2	37,741
TOTAL	4,976.3	53,565

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.
REQUIRED COMMUNAL @ 50% = 927 sq. m.

SITE COVERAGE		
	m²	%
BUILDING FOOTPRINT	1,815.4	34.1%
DRIVING SURFACE	1,260.5	23.7%
LANDSCAPE AREA	2,249.6	42.2%
TOTAL BUILDING A	5,325.5	100%

REFUGE REQUIREMENT (309 UNITS)		
	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd³/UNIT	17
RECYCLING GMP	0.018 yd³/UNIT	6
RECYCLING FIBER	0.038 yd³/UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

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Toronto, ON, M5B 2T8
1 416 425 2222
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This was prepared by Turner Fleischer in relation to a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encumbrances prepared by Annis P. Chisholm, dated 11/05/2023 and recorded by Vollebakk Ltd.

SITE PLAN SYMBOLS	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	GAS/HYDRO METER

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

MINIMUM PERMITTED PARKING DIMENSIONS	
TYPICAL PARKING DIMENSIONS	
AISLE WIDTH: MIN 6.7m	
TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH	
TYPICAL BARRIER FREE SPACE	
MIN 3.66 x 5.2 x 2.1m HIGH	

3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
SITE PLAN / ROOF PLAN

PROJECT NO.
18.050 P01
PROJECT DATE
2025-02-26
DRAWN BY
DRO
CHECKED BY
AYU
SCALE
1:200

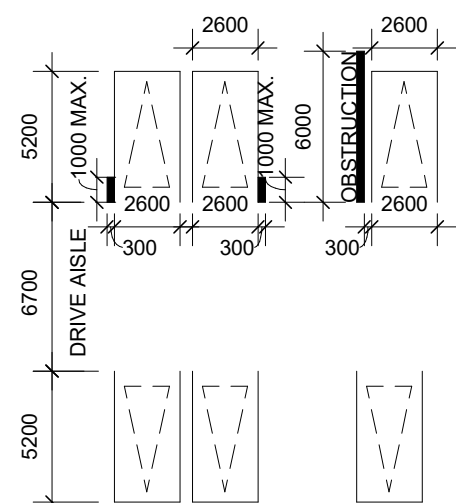
PROJECT NO.
SPA005C
REV
3

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TYPICAL PARKING DIMENSIONS

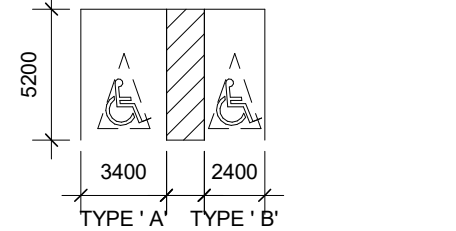
SLE WIDTH: MIN 6.7m

TYPICAL PARKING SPACE:
IN 2.6 x 5.2 x 2.1 m HIGH



TYPICAL BARRIER FREE SPACE

IN 3.66 x 5.2 x 2.1m HIGH



2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION
		BY



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

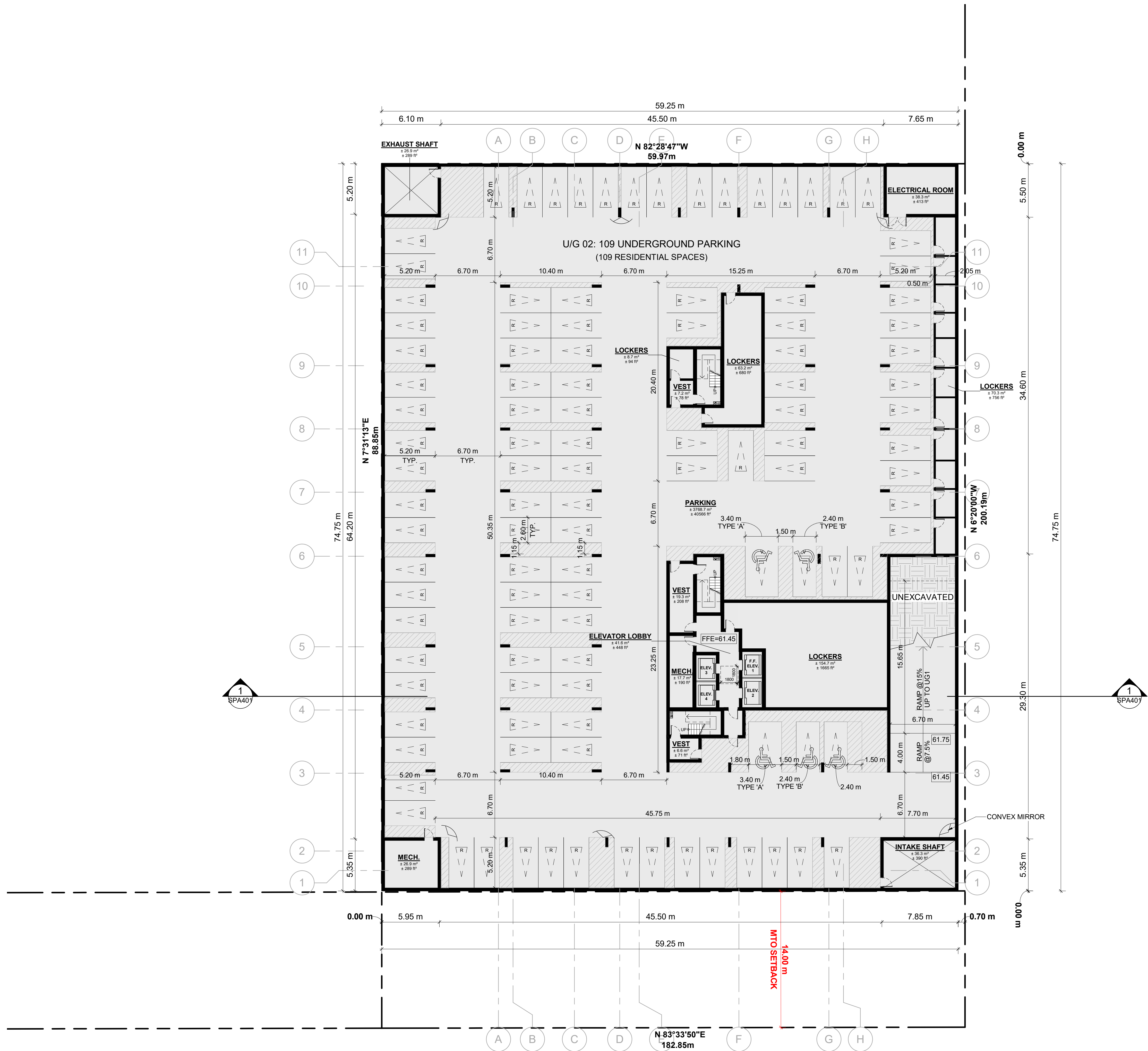
UNDERGROUND LEVEL 02

PROJECT NO.
8.050 P0
PROJECT DATE
025-02-26
DRAWN BY
DRO
CHECKED BY
AYU
SCALE
1:200



DRAWING NO.

EV.



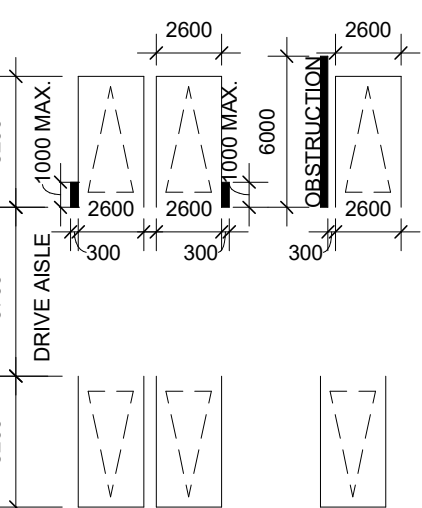
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MINIMUM PERMITTED PARKING
DIMENSIONS

TYPICAL PARKING DIMENSIONS

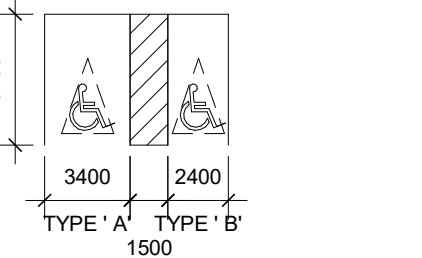
aisle width: MIN 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1 m HIGH

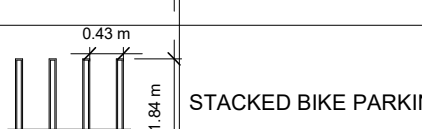


TYPICAL BARRIER FREE SPACE

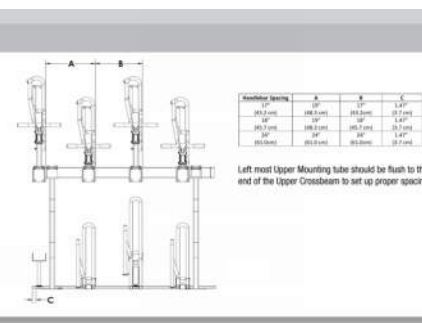
MIN 3.66 x 5.2 x 2.1m HIGH



BIKE PARKING LEGEND



STACKED BIKE PARKING DIAGRAM



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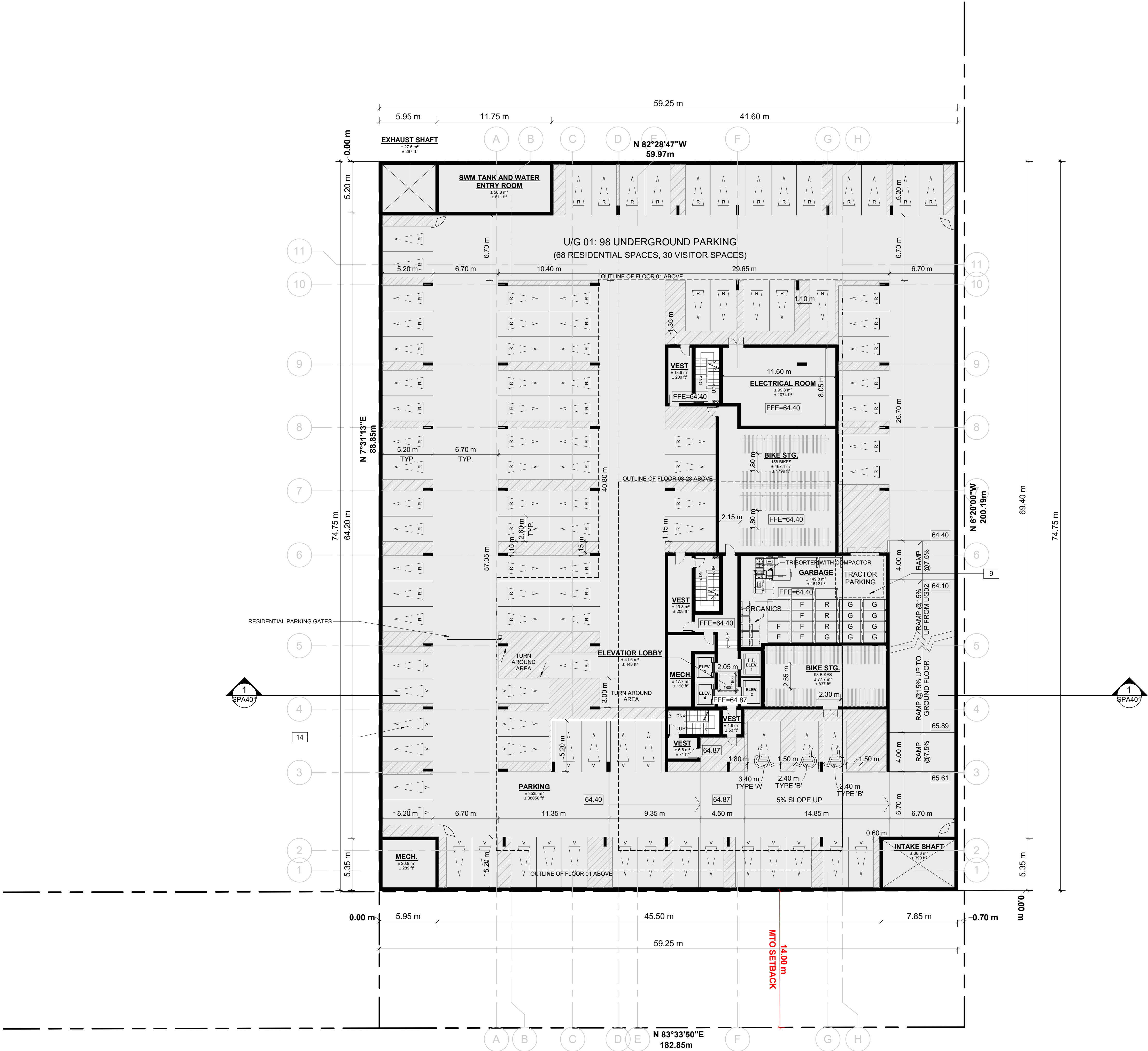
PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1:200	

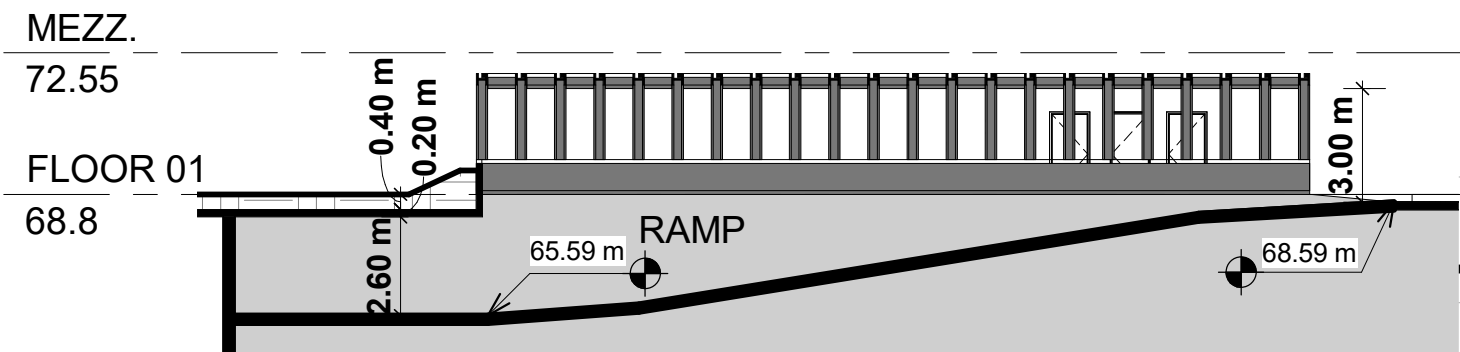
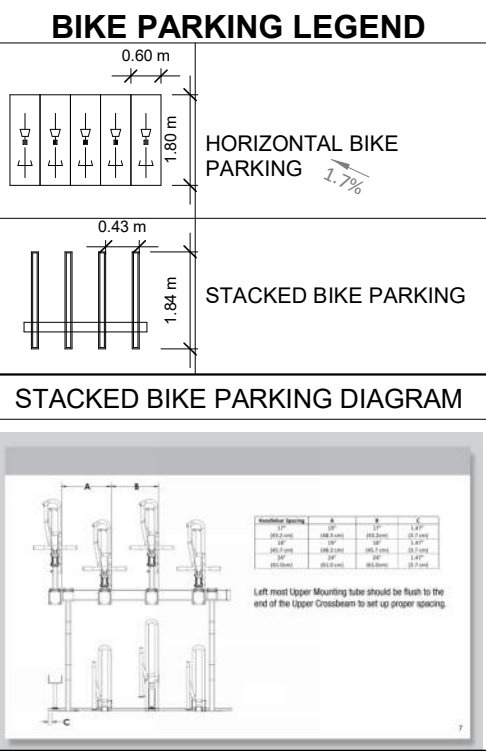
DRAWING NO. SPA102	REV. 3
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UNIT BREAKDOWN					
LEVEL	1B	1B+D	2B	2B+D	3B
FLOOR 01					
FLOOR 02	2	8	2	4	2
FLOOR 03-05	6	24	6	12	6
FLOOR 06	6	6	3	1	2
FLOOR 07	2	2	3	2	
FLOOR 08 - FLOOR 28	42	42	62	42	22
SUB TOTAL	58	82	76	61	32
	140		137		
GRAND TOTAL		309			

TEMPORARY PHASE 1 OFF SITE
SURFACE PARKING (EXISTING) 112 SPACES
NOT PART OF SUBMISSION

- DRAWINGS NOTES**
- PHASE 1 LIMITS
 - BUILDING SETBACKS
 - PROPOSED ROAD WIDENING
 - HARD SURFACE PAVING. REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
 - DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
 - EXISTING STREET CURB AND SIDEWALK
 - SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
 - ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
 - INTERNAL GARBAGE ROOM
 - 2.0m WIDE CONCRETE SIDEWALK
 - OUTLINE OF PRIVATE BALCONY ABOVE
 - OUTLINE OF TOWER ABOVE
 - STRUCTURAL SUPPORT FOR BUILDING ABOVE
 - VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
 - EXISTING TREE TO BE REMOVED
 - EXISTING STORM GRATE
 - EXISTING UTILITY KIOSK
 - PROPOSED SERVICES
 - RETAINING WALL, REFER TO CIVIL FOR HEIGHT
 - EXISTING CONCRETE / ASPHALT ISLAND
 - EXISTING UTILITY / LIGHT POLE
 - 1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
 - 3.5 x 7.0m LOADING SPACE
 - SIAMESE CONNECTION
 - EXISTING CROSSWALK WITH DEPRESSED CURBS
 - EXISTING CONCRETE JERSEY BARRIER
 - EXISTING CONCRETE OVERPASS
 - GUARDRAIL WITH METAL PIPE RAILING
 - EXISTING FIRE HYDRANT
 - INTAKE / EXHAUST GRILL
 - BICYCLE PARKING SPACE WITH RACK
 - OUTLINE OF BELOW GRADE PARKING DECK
 - HEATED GARAGE RAMP WITH TRENCH DRAIN
 - GARAGE RAMP WALL
 - RELOCATE UTILITY / LIGHT POLE AS NEEDED
 - TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
 - PRIVACY FENCE
 - WASHED PEA-STONE SURFACE
 - DEPRESSED CURB
 - ACCESS TO INTERNAL CISTERN
 - REMOVABLE CONCRETE BOLLARDS
 - TACTILE STRIP AT SIDE WALKS



2 RAMP SECTION
1 : 200

1 FLOOR 01
1 : 200

PROJECT INFORMATION		
Zoning By-law 2008-250 Consolidation	TD3	
NET OVERALL SITE AREA BREAKDOWN		
AREA TYPE	m²	ACRE
SITE AREA - BLDG A	5,325.54	1.316
TOTAL PARKLAND AREA	3,329.06	0.823
FUTURE ROAD WIDENING AREA	371.16	0.092
TOTAL PHASE 1 & ASSOCIATED AREAS	9,025.76	2.231
TEMPORARY OFF SITE PARKING	6,804.08	1.681
REMAINING SITE AREA	18,831.16	4.653
TOTAL SITE AREA	34,661.0	8.565

ZONING		
BUILDING HEIGHT	REQUIRED	PROVIDED
GRADE (GEODETIC ELEVATION - ASL)	30 STOREYS / 90.0M	28 STOREYS / 89.7M
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M
DENSITY - MINIMUM 350 units/hectare	206 UNITS	309 UNITS
FRONT YARD SETBACK	3.0M	110.75M
CORNER YARD SETBACK (East / West)	3.0M/3.0M	134.85M/12.5M
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M
AMENITY AREA - TOTAL PER UNIT	6.0M ²	17.4M ²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M ²	4.55M ²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M ²	172.6M ²
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT)	NOT REQUIRED	289
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	165	309
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0M/6.7M	6.7M

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)		
UG1	m ²	ft ²
FLOOR 01		
FLOOR 02		1,339.6
FLOOR 03-05	1,339.6 m ² x 3	4,018.8
FLOOR 06		1,224.1
FLOOR 07		631.4
FLOOR 08 - FLOOR 28	725.2 m ² x 21	15,229.2
TOTAL	22,443.7	241,582
TYP. FLOOR PLATE	725.2	7,806

UNIT STATISTICS		
		UNITS
1B		58
1B+D		82
2B		77
2B+D		61
3B		31
TOTAL		309

VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A			
VISITOR	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30	30	
RESIDENTIAL	N/A	0	
TOTAL		30	

VEHICULAR PARKING SPACES PROVIDED			
VISITOR	0.1 SPACES PER UNIT (309 UNITS)	30	
RESIDENTIAL	0.56 SPACES PER UNIT (309 UNITS)	177	
TOTAL		207	
EXISTING SURFACE PARKING LOT		112	
TOTAL	1.03 PER UNIT (309 UNITS)	319	

ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		4
TOTAL		7

ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		5
TOTAL		8

STANDARD PARKING SPACE	2.6m X 5.2m
PARALLEL PARKING SPACE	2.6m X 6.7m
SMALL PARKING SPACE	2.4m X 4.6m
ACCESSIBLE PARKING SPACE ' TYPE A '	3.4m X 5.2m
ACCESSIBLE PARKING SPACE ' TYPE B '	2.4m X 5.2m
LOADING SPACE	3.5m X 7.0m

BICYCLE PARKING SPACES REQUIRED	
RESIDENTIAL	0.5 PER UNIT (309 UNITS)
TOTAL	155

BICYCLE PARKING SPACES PROVIDED		
RESIDENTIAL	INTERIOR	309
	EXTERIOR	0
TOTAL	1.0 PER UNIT (309 UNITS)	309

AMENITY AREA		
	m ²	ft ²
GRADE EXTERIOR - COMMUNAL	172.6	1,858
INTERIOR - COMMUNAL	1,095.4	11,791
07F EXTERIOR - COMMUNAL	202.1	2,175
TOTAL COMMUNAL	1,470.1	15,824
BALCONIES / TERRACE - PRIVATE	3,506.2	37,741
TOTAL	4,976.3	53,565

REQUIRED (309 UNITS X 6 m²) = 1,854 sq. m.
REQUIRED COMMUNAL @ 50% = 927 sq. m.

SITE COVERAGE		
	m ²	%
BUILDING FOOTPRINT	1,815.4	34.1%
DRIVING SURFACE	1,260.5	23.7%
LANDSCAPE AREA	2,249.6	42.2%
TOTAL BUILDING A	5,325.5	100%

REFUGE REQUIREMENT (309 UNITS)		
	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd ³ /UNIT	17
RECYCLING GMP	0.018 yd ³ /UNIT	6
RECYCLING FIBER	0.038 yd ³ /UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

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SITE PLAN SYMBOLS	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	GAS/HYDRO METER

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

MINIMUM PERMITTED PARKING DIMENSIONS	
TYPICAL PARKING DIMENSIONS	
AISLE WIDTH: MIN 6.7m	
TYPICAL PARKING SPACE: MIN 2.6 x 5.2 x 2.1 m HIGH	
TYPICAL BARRIER FREE SPACE	
MIN 3.66 x 5.2 x 2.1m HIGH	

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1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

Morguard

PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWING
FLOOR 01

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1:200	
DRAWING NO. SPA151	
REV 3	

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6-STOREY OFFICE BLDG.


3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
FLOOR 02

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA152	REV. 3
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6-STOREY OFFICE BLDG.

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2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY




PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

FLOOR 03 - 05

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	
DRAWING NO. SPA153	
REV. 3	



3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

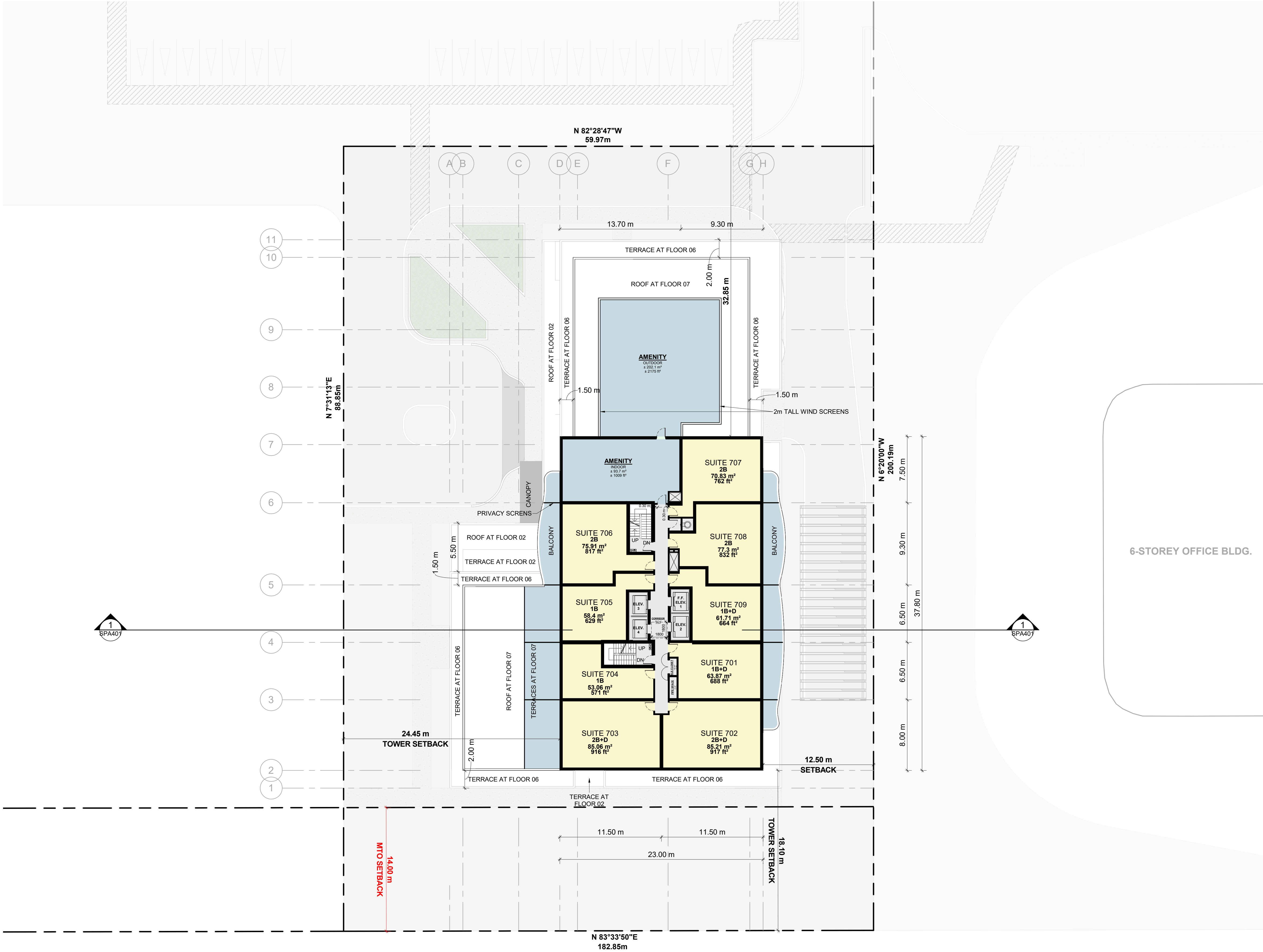
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

FLOOR 06

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA154	REV. 3
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2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

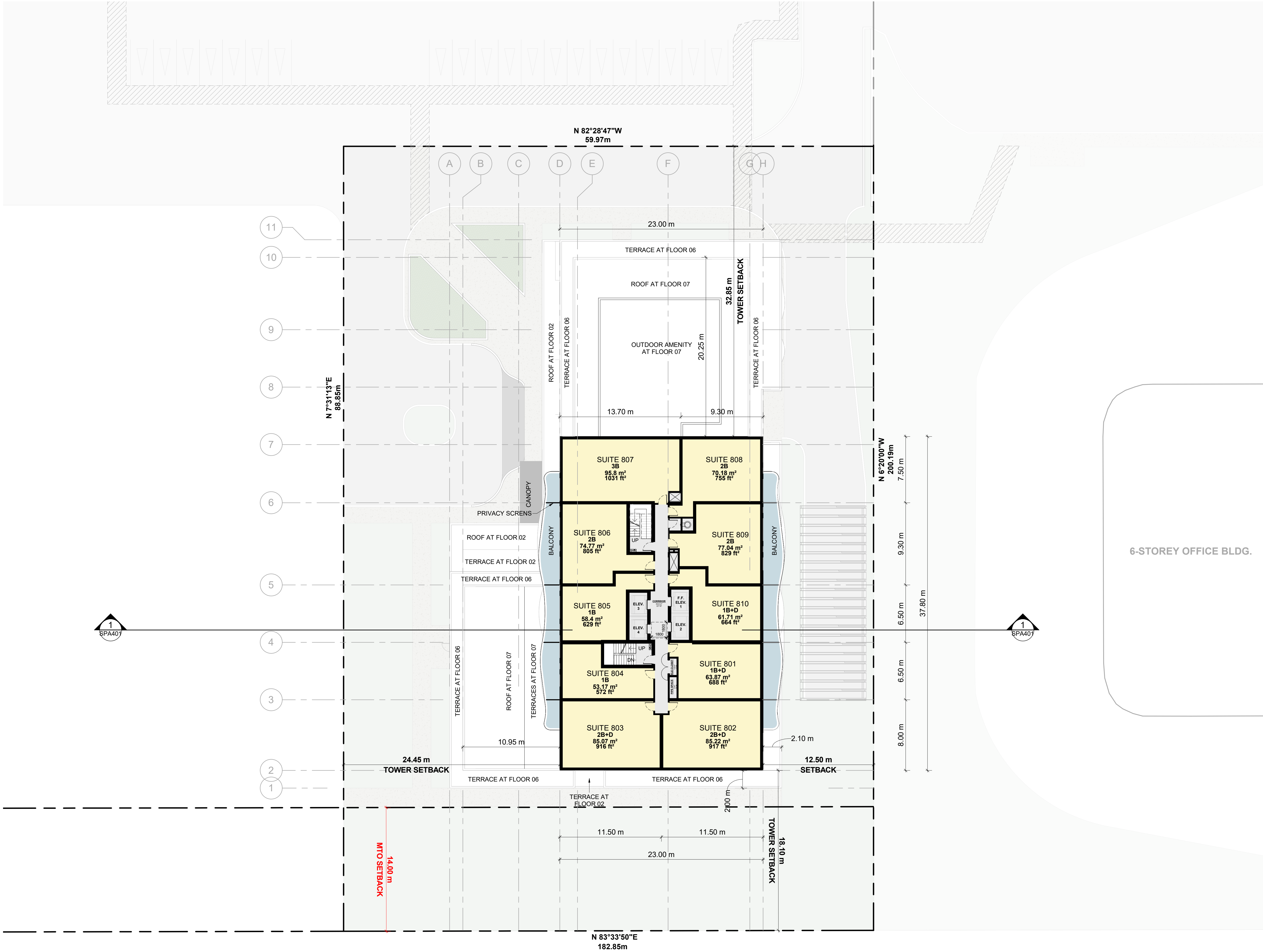


PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
FLOOR 07

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA155	REV. 3
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6-STOREY OFFICE BLDG.



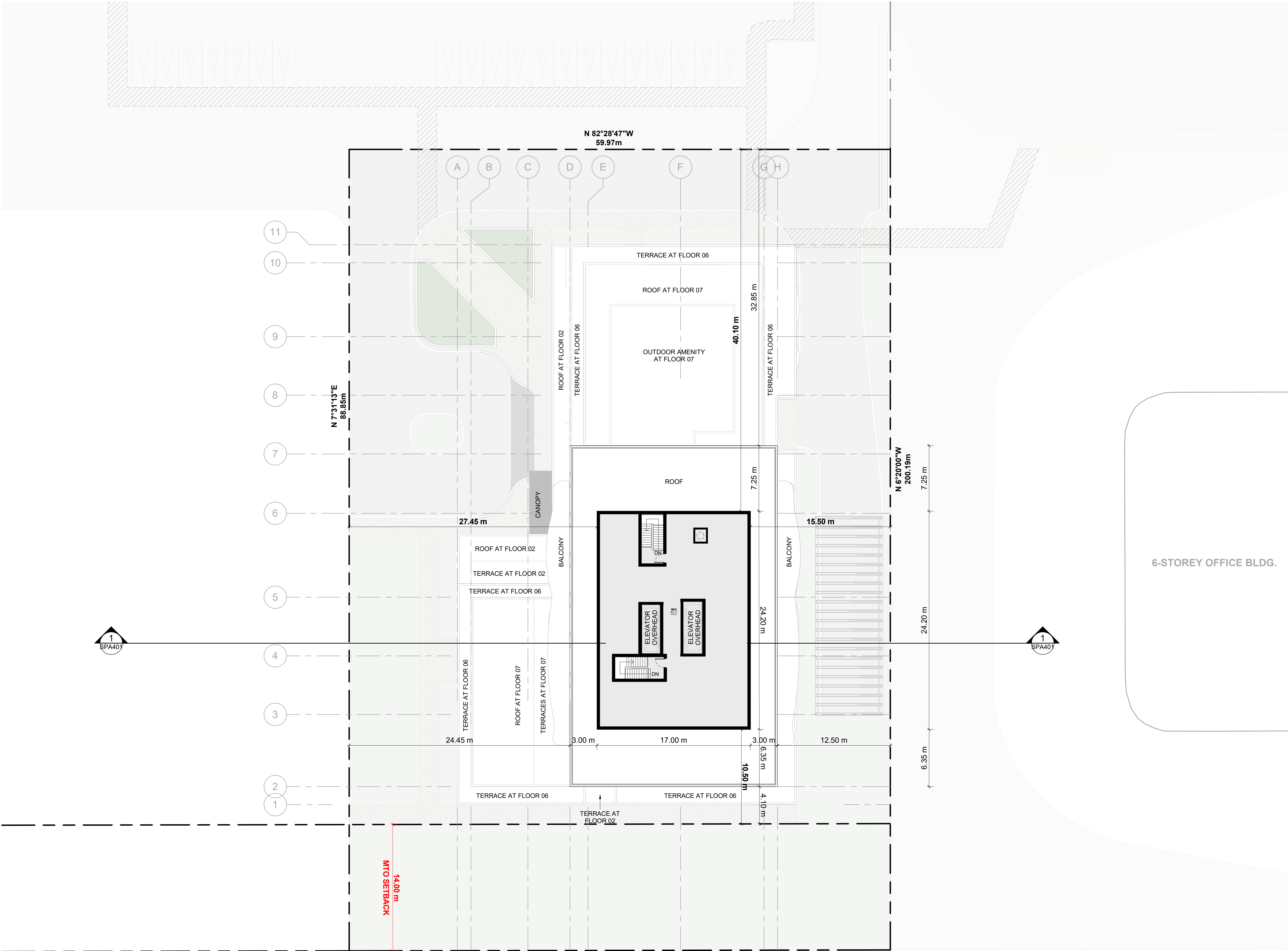
PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
FLOOR 08 - 28

PROJECT NO.
18.050 P01
PROJECT DATE
2025-02-26
DRAWN BY
DRO
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AYU
SCALE
1 : 200



DRAWING NO.
SPA156
REV.
3



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#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWING

MPH

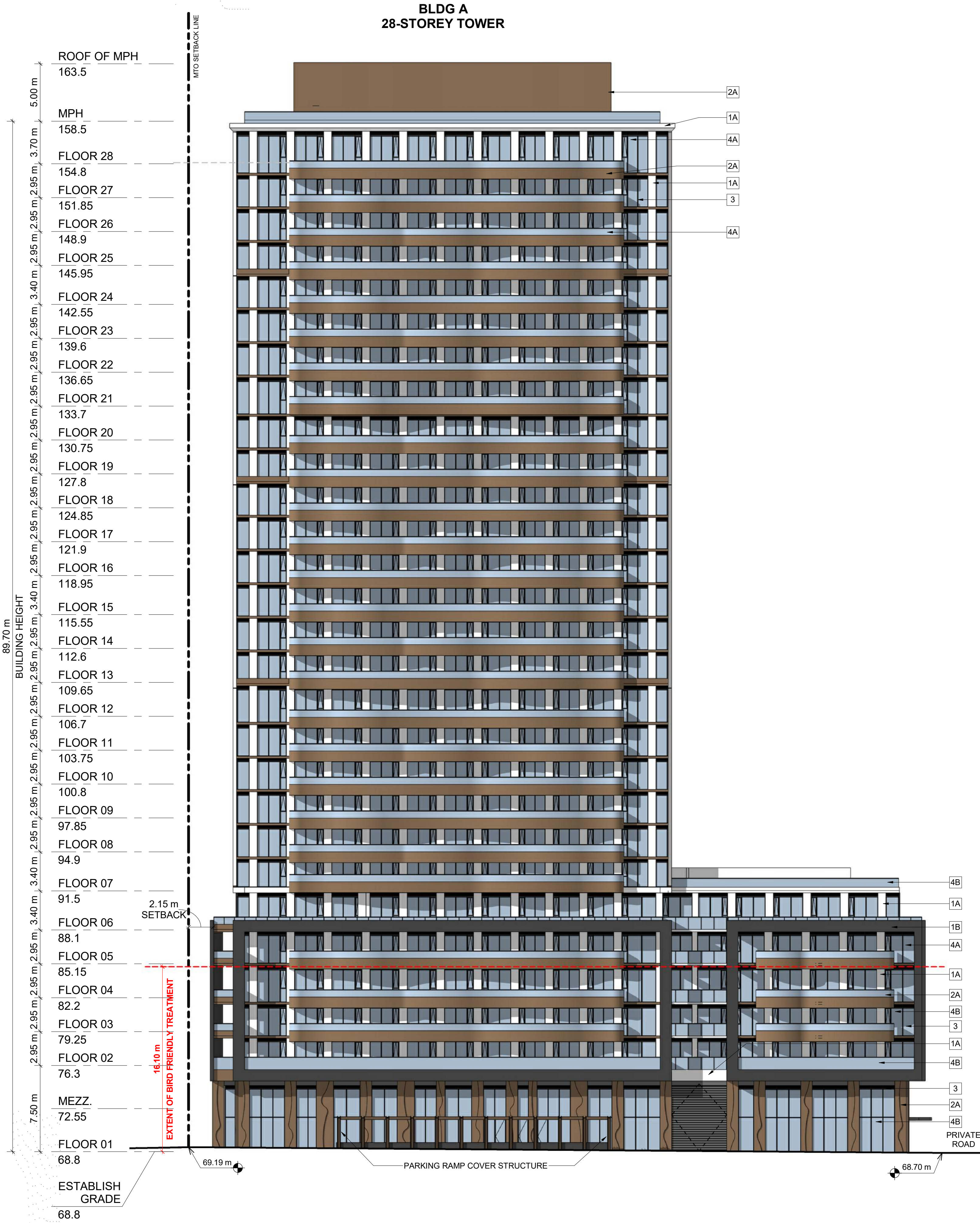
PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	

	DRAWING NO. SPA157	REV. 3
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1
SPA301

EAST Elevation
1 : 200



2
SPA301

NORTH Elevation
1 : 200



TURNER FLEISCHER

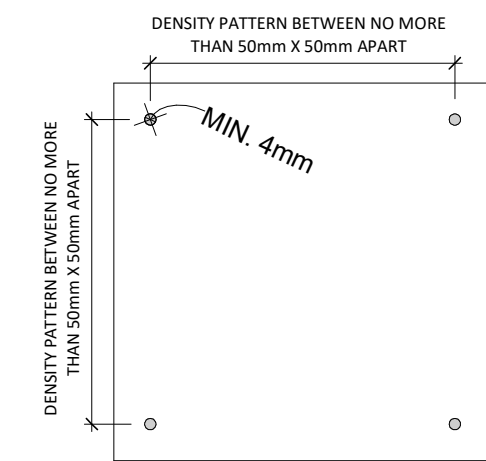
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EXTERIOR FINISH LEGEND	
1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

- PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
 - MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
 - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
 - INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
 - LOW REFLECTANCE OR OPAQUE MATERIALS
 - BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

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1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

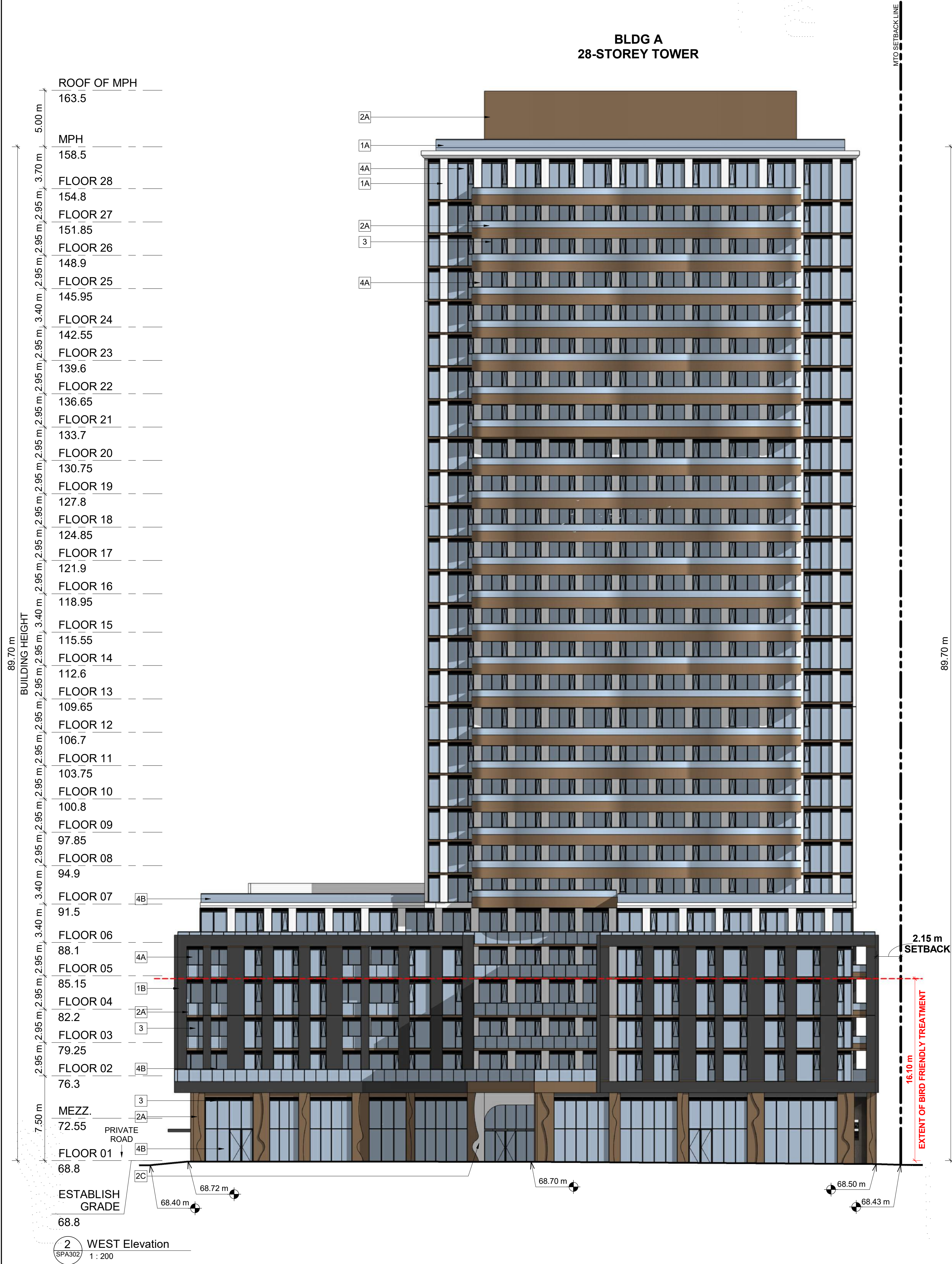


PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
ELEVATIONS

PROJECT NO. 18.050 P01	ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1:200	

DRAWING NO. SPA301
REV. 3



**TURNER
FLEISCHER**

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EXTERIOR FINISH LEGEND

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
- MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTERGRADED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.

DENSITY PATTERN BETWEEN NO MORE THAN 50mm x 50mm APART

MIN. 4mm

DENSITY PATTERN BETWEEN NO MORE THAN 50mm x 50mm APART

DETAIL NOTES:


FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm x 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

Morguard

PROJECT
500 COVENTRY ROAD
500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS
ELEVATIONS

PROJECT NO. 18.050 P01		
PROJECT DATE 2025-02-26		
DRAWN BY DRO		
CHECKED BY AYU		
SCALE 1:200	LICENCE 5004	REV 3

DRAWING NO.
SPA302

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3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

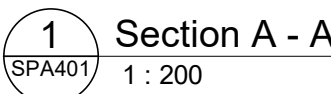


DRAWING

SECTION A - A

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.	REV.
SPA401	3





VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

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3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2025-03-25	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO.
18.050 P01

PROJECT DATE
2025-02-26

DRAWN BY
DRO

CHECKED BY
AYU

SCALE

DRAWING NO.
SPA801

REV.
2



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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2	2025-03-25	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE	
DRAWING NO. SPA802	REV. 2



VIEW FROM TRANS-CANADA HWY LOOKING NORTH

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2	2025-03-25	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVE

PROJECT NO.
18.050 P01
PROJECT DATE
2025-02-26
DRAWN BY
DRO
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA803
REV.
2



VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

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2	2025-03-25	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01		DRAWING NO. SPA804	REV. 2
PROJECT DATE 2025-02-26			
DRAWN BY DRO			
CHECKED BY AYU			
SCALE			



VIEW LOOKING EAST FROM PHASE 2

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2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT

500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE	
DRAWING NO. SPA805	REV. 3



VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

TURNER FLEISCHER

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PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE	

DRAWING NO. SPA806 REV. 3



VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

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2	2025-03-25	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
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PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA807

REV.
2



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2025-03-20	ISSUED FOR SITE PLAN APPROVAL #2	AYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01		DRAWING NO. SPA808	REV. 2
PROJECT DATE 2025-02-26			
DRAWN BY DRO			
CHECKED BY AYU			
SCALE			



VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

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1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
#	DATE	DESCRIPTION	BY



PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES - PARKING RAMP

PROJECT NO.
18.050 P01

PROJECT DATE
2025-02-26

DRAWN BY
DRO

CHECKED BY
AYU

SCALE

The logo for the Ontario Association of Architects, featuring a circular seal with the text "ONTARIO ASSOCIATION OF ARCHITECTS" and a signature.

DRAWING NO.
SPA809

REV.
2



VIEW LOOKING WEST TOWARDS THE PARKING RAMP COVER STRUCTURE

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#	DATE	DESCRIPTION	BY


Morguard

PROJECT
500 COVENTRY ROAD

500 COVENTRY ROAD, OTTAWA, ON.

DRAWINGS

3D PERSPECTIVES - PARKING RAMP

PROJECT NO. 18.050 P01	
PROJECT DATE 2025-02-26	
DRAWN BY DRO	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA810

REV.
2