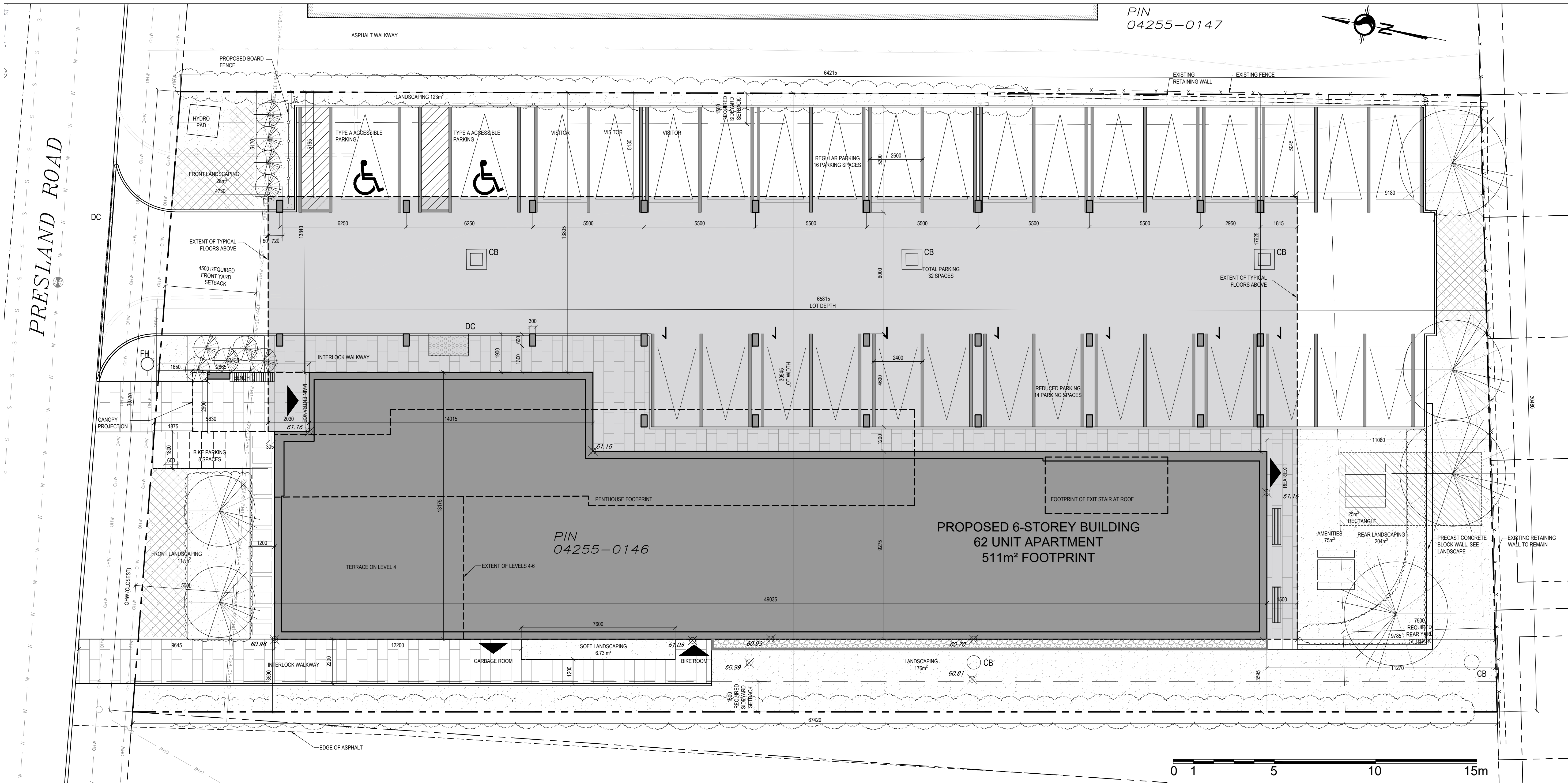




KEY PLAN

PROPOSED SITE

PROPERTY DESCRIPTION

SIX STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04255-0146
MUNICIPAL ADDRESS	240 PRESLAND ROAD

SITE INFORMATION

LOT AREA:	2,010m ²
LOT FRONTAGE:	30.7m
LOT DEPTH:	67m

BUILDING INFORMATION

BUILDING AREA:	FOOTPRINT: 511m ² , LEVELS 2-3: 1108 m ² , LEVELS 4-6: 1042 m ²
GROSS FLOOR AREA:	5,833m ²
PROPOSED USE:	APARTMENT DWELLING, MID-RISE
UNIT BREAKDOWN:	
LEVEL 2 & 3 (EACH):	13 UNITS
LEVEL 4:	12 UNITS
LEVEL 5 & 6 (EACH):	12 UNITS
TOTAL:	62 UNITS

ZONING TABLE		R4-UC [493]	
		REQUIRED	PROPOSED
CITY OF OTTAWA ZONING BY-LAW No. 2008-250			
MINIMUM LOT AREA		450m ²	2,010m ² (Existing)
MINIMUM LOT WIDTH		15m	30m (Existing)
FRONT YARD SETBACK		4.5m	4.73m
MINIMUM INTERIOR SIDE YARD SETBACK		1.5m	5.045m along East 3.590m along West
MINIMUM REAR YARD SETBACK		30% of lot depth and 25% lot area 67m x 30% = 20.1m 25% lot area = 502.5m ²	9.18m 288.5 m ² (14% of lot area)
MAXIMUM BUILDING HEIGHT		11m	20.14m
MAX. FLOOR SPACE INDEX		N/A	
LANDSCAPED AREA			
TOTAL SITE = 2010 m ²		30% = 603m ²	653m ² (32.5%)
FRONT YARD = 178m ²		40% front = 71.2m ²	145m ² (81.5%)
REAR YARD = 334m ²		50% rear = 167m ²	204m ² (61%)
VEHICLE PARKING			
RESIDENT	0.5 spaces per unit over 12 = 25		29
VISITOR	0.1 spaces/unit over 12 = 5		3
SMALL CAR	Up to 50% of required = 13		14
AMENITY AREA			
	6m ² per unit = 372m ²		Roof top = 478m ² Rear Garden = 75m ² Terrace 4th floor = 60m ² TOTAL = 613m ² All communal
BICYCLE PARKING SPACES			
	0.5 per dwelling unit = 31		68 Interior + 8 Exterior Total = 76

- NOTES**
- LANDSCAPE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO LANDSCAPE DRAWINGS FOR SPECIFIC PLANTING INFORMATION AND LOCATION.
 - CIVIL ELEMENTS SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR SPECIFIC SITE DRAINAGE AND GRADING INFORMATION.
 - PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. AND DATED MAY 23, 2024.

LEGEND

RIVERSTONE REFER TO LANDSCAPE

EXISTING BUILDING ELEMENT TO BE REMOVED

EXISTING FENCE

NEW BOARD FENCE REFER TO LANDSCAPE

LOT LINE

SETBACK LINE

DESIGNATED BUILDING ENTRANCE / EXIT

FIRE HYDRANT. REFER TO CIVIL

CATCH BASIN

MANHOLE

FLOOR DRAIN

UTILITY POLE

OVERHEAD UTILITY WIRES

LIGHT STANDARD

DEPRESSED CURB

EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)

NEW TREE (REFER TO LANDSCAPE DRAWINGS)

NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)

SNOW STORAGE

EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)

NEW GROUND ELEVATION REFER TO CIVIL

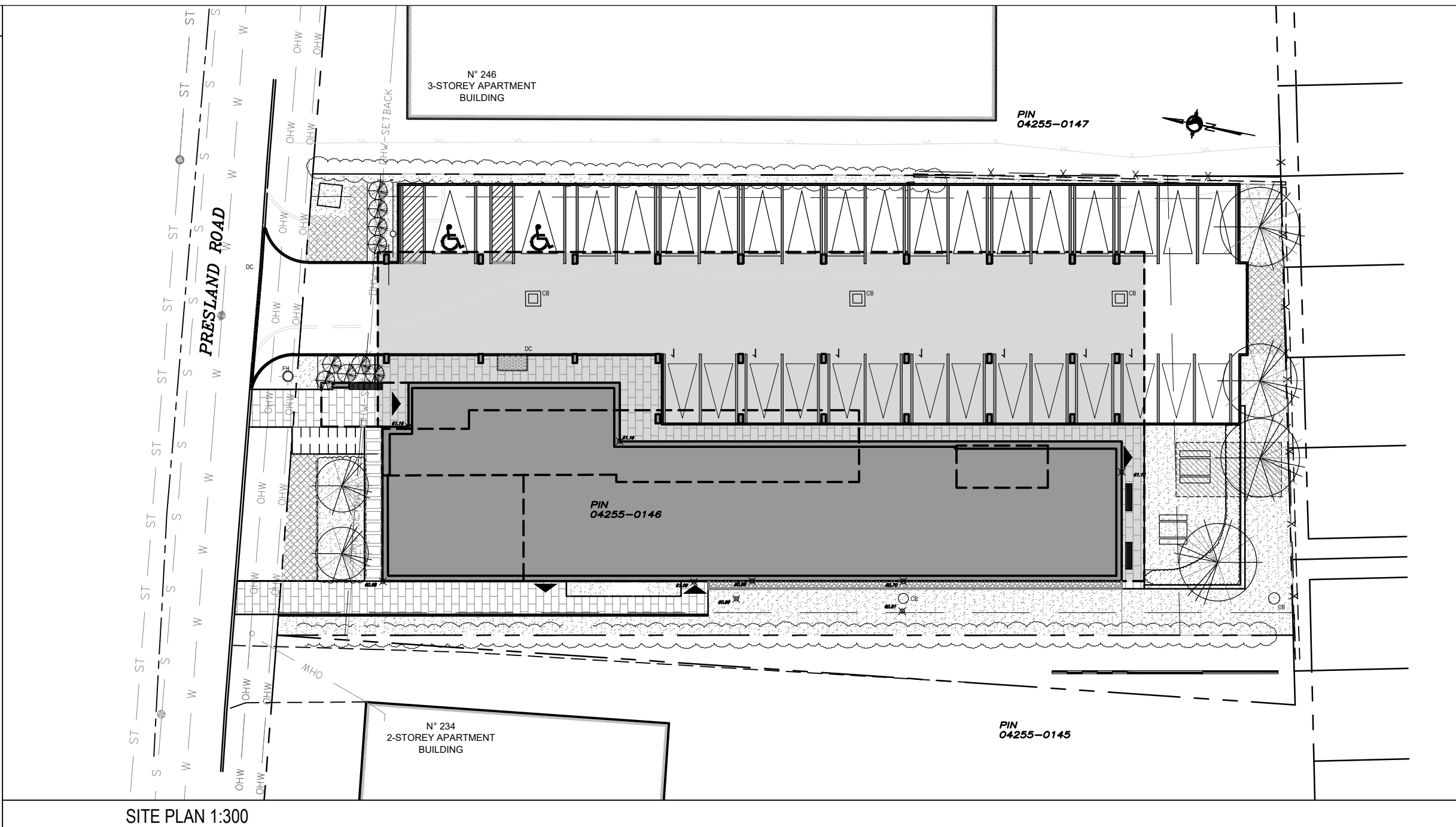
NOTE: 'X'-E INDICATES EXISTING TO REMAIN

STANDARD PARKING SPACE

SMALL PARKING SPACE

TYPE 'A' BARRIER-FREE PARKING SPACE OR AISLE, PAINTED MARKINGS & SIGN WHERE SHOWN

BICYCLE PARKING (HORIZONTAL) N.T.S.



No. Date Envs pour / Object

- 2025-03-05 COORDINATION
- 2025-03-18 COORDINATION
- 2025-04-11 SITE PLAN CONTROL

Architect / Architect
(paysagiste / Landscape)

NAK
design strategies

Ingenieur / Engineer
(Civil / Civil)

Stantec

Ingenieur / Engineer
(Mechanical & Electrical / Mechanical & Electrical)

Smith + Andersen

Ingenieur / Engineer
(Structure / Structure)

D+M STRUCTURAL ENGINEERING

Client / Client

Centretown Citizens Ottawa Corporation
415 Gilmour St., Suite 200, Ottawa, ON, K2P 2M8

Architecte / Architect
Collectif architectes / Architects Collective

Fig. 1
3550, Saint-Antoine O.
Montreal QC H4C 1A8
T. 514. 881.9122

Fig. 2
252 Argyle Ave
Ottawa ON K2P 1B9
T. 613. 959.6122

www.figur.ca

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Scelus / Seal

Note:
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et avant immédiatement l'approbation de toutes erreurs ou omissions.
Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Project / Project

SIX STOREY APARTMENT BUILDING

240 Presland Road
Ottawa, ON

SITE PLAN

Dessiné par / Drawn by
GM

No. sheet / Project number
2424

Vérifié par / Verified by
ZK

No. dessin / Drawing number

Revison / Revision

Échelle / Scale
1:100

Date de création du dessin / Drawing creation date
2025-04-04

A100