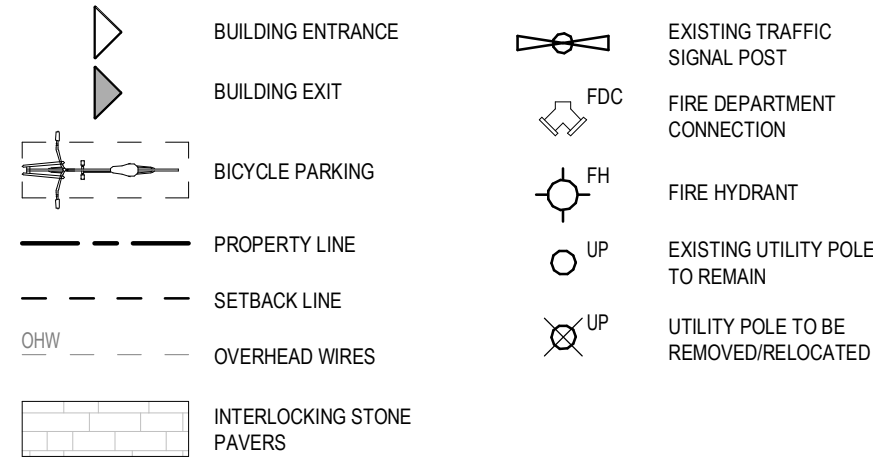


SURVEYOR'S REAL PROPERTY REPORT  
WITH TOPOGRAPHIC DETAILS  
PART 1 - PLAN SHOWING  
PART OF LOT 31  
REGISTERED PLAN 294  
CITY OF OTTAWA  
J.D. BARNES LTD. 2022

**SURVEY INFO**  
SCALE: 1 : 100

#### SITE PLAN SYMBOLS LEGEND



**LOCATION PLAN**  
SCALE: NTS

#### KEYNOTE LEGEND

- S1 ASPHALT
- S2 SOFT LANDSCAPING
- S3 EXISTING STRUCTURE TO BE DEMOLISHED
- S4 EXISTING ASPHALT SIDEWALK
- S5 PROPOSED CONCRETE SIDEWALK
- S6 DEPRESSED CURB
- S7 RAISED PLANTER
- S8 EXISTING CHAIN LINK FENCE
- S9 CANOPY ABOVE
- S10 RETAINING WALL
- S11 PLANTING BED
- S12 PAVING STONES
- S13 3m x 3m CORNER SIGHT TRIANGLE

**OWNER**  
CONCORDE PROPERTIES  
408 TWEEDSMUIR AVENUE  
OTTAWA, ON, K1Z 5N5

**ARCHITECT**  
PROJECT1 STUDIO  
260 ST. PATRICK ST, SUITE 300  
OTTAWA, ON, K1N 5K5

**SURVEYOR**  
J.D. BARNES LIMITED  
62 STEACIE DRIVE, SUITE 103  
OTTAWA, ON, K2K 2A9

**PLANNER**  
NOVATECH  
240 MICHAEL COWPLAND DR  
SUITE 200  
OTTAWA, ON, K2M 1P6

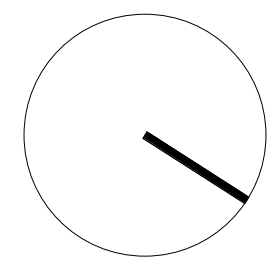
**CIVIL ENGINEER**  
D.B. GRAY ENGINEERING INC.  
700 LONG POINT CIRCLE  
OTTAWA, ON, K1T 4E9

**LANDSCAPE ARCHITECT**  
RUHLAND & ASSOCIATES LTD.  
1750 COURTWOOD CRESCENT  
SUITE 200  
OTTAWA, ON, K2C 2B5

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- |    |                                |            |
|----|--------------------------------|------------|
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| 10 | REISSUED FOR SITE PLAN CONTROL | 2024-11-26 |
| 9  | REISSUED FOR SITE PLAN CONTROL | 2024-07-25 |
| 8  | ISSUED FOR COORDINATION        | 2024-05-27 |
| 7  | ISSUED FOR COORDINATION        | 2024-05-17 |
| 6  | REISSUED FOR SITE PLAN CONTROL | 2024-04-15 |
| 5  | ISSUED FOR SITE PLAN CONTROL   | 2024-03-05 |
| 4  | ISSUED FOR COORDINATION        | 2024-02-14 |
| 3  | ISSUED FOR COORDINATION        | 2024-01-24 |
| 2  | ISSUED FOR COORDINATION        | 2023-11-29 |
| 1  | ISSUED FOR COORDINATION        | 2023-10-16 |

#### ISSUE RECORD



**project1 studio**

Project1 Studio Incorporated  
(613) 884-9399 | mail@project1studio.ca

#### 1066 SILVER

1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

#### SITE PLAN

**SP-01**



**1 SITE PLAN**  
SCALE: 1 : 150

Site Statistics		
Current Zoning Designation:	R4UC(2812)	
Lot Width:	51.8m	
Total Lot Area:	5349.4m <sup>2</sup>	
Average Existing Grade:	83.39m	
Gross Floor Area:	3255.59m <sup>2</sup>	
Building Area:	816.22m <sup>2</sup>	
Floor Space Index:	N/A	
Proposed Development - Planned Unit Development (96 Total Units)		
Existing 3 Storey Low-Rise Apartment Building - 1305 Summerville Avenue (16 Units)		
Existing 3 Storey Low-Rise Apartment Building - 1295 Summerville Avenue (8 Units)		
Under Construction 4 Storey Low-Rise Apartment Building - 1291 Summerville Avenue (16 Units)		
Proposed 4 Storey Low-Rise Apartment Building - 1066 Silver Street (46 Units)		
Zoning Mechanism	Required	Provided
Minimum Lot Width 162A	15m	51.8m
Minimum Lot Area 162A	450m <sup>2</sup>	5349.4m <sup>2</sup>
Min. Front Yard Setback 144 (f)	4.5m	4.5m
Corner Side Yard Setback 144 (f)	4.5m	4.5m
Min. Interior Side Yard Setback 144 (f)	1.5m + 7.5m after 18m	1.4m
Min. Rear Yard Setback 162 (f), 144 (f)	No Minimum	8.7m
Maximum Building Height 162A	11m	10.5m
Max. Projections into Height Limit Section 64	0.3m	0m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X)	24 Spaces (see breakdown below)	35 Spaces
	1305 Summerville - 16 Units 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces	
	1295 Summerville - 18 Units 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit for 6 units - Table 101(R15) = 3 Spaces	
	1291 Summerville - 16 Units 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces	
	1066 Silver - 46 Units 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit for 34 units - Table 101(R15) = 17 Spaces	
Minimum Visitor Parking Rates 101 (Sch. 1A - Area X)	8 Spaces 0 spaces for first 12 units - Section 102(3) 0.1 spaces / unit for 84 units - Table 102	8 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	23 Spaces 0.5 spaces / unit for 46 units(111A)(b)(i)	37 Spaces
Landscaped Area 161 (b)	1604.8m <sup>2</sup> (Lots ≥ 450m <sup>2</sup> , minimum 30% of lot area)	1690.98m <sup>2</sup>
Front Yard Soft Landscaping Table 161	93.25m <sup>2</sup> (40% of front yard)	113.89m <sup>2</sup>
Rear Yard Soft Landscaping Table 161 (150)(ii)	178.92m <sup>2</sup> (50% of rear yard)	113.04m <sup>2</sup> (32%)
Width of Private Drive 131 (i)	6m	3.1m
Minimum 2-Bedroom Unit Rates 161 (14)(v)	12 Units (Minimum 25% of units)	16 Units
Front Facade Minimum Glazing 161 (g)	129.16m <sup>2</sup> (25% of front facade)	239.21m <sup>2</sup>
Corner Side Facade Minimum Glazing 161 (g)(i)	38.34m <sup>2</sup> (15% of front facade)	92.49m <sup>2</sup>
Facade Articulation / Balconies 161 (150)(i)(i)	N/A	Porches and balconies provided as required

**SITE & PROJECT STATISTICS**  
SCALE: 1 : 1

UNIT COUNT						
NAME	LVL 00	LVL 01	LVL 02	LVL 03	TOTAL COUNT	PERCENTAGE
1-BEDROOM	5	6	7	7	25	54%
1-BEDROOM + DEN	1	1	1	1	4	9%
2-BEDROOM	3	3	5	5	16	36%
STUDIO	1	0	0	0	1	2%
TOTAL	10	10	13	13	46	100%

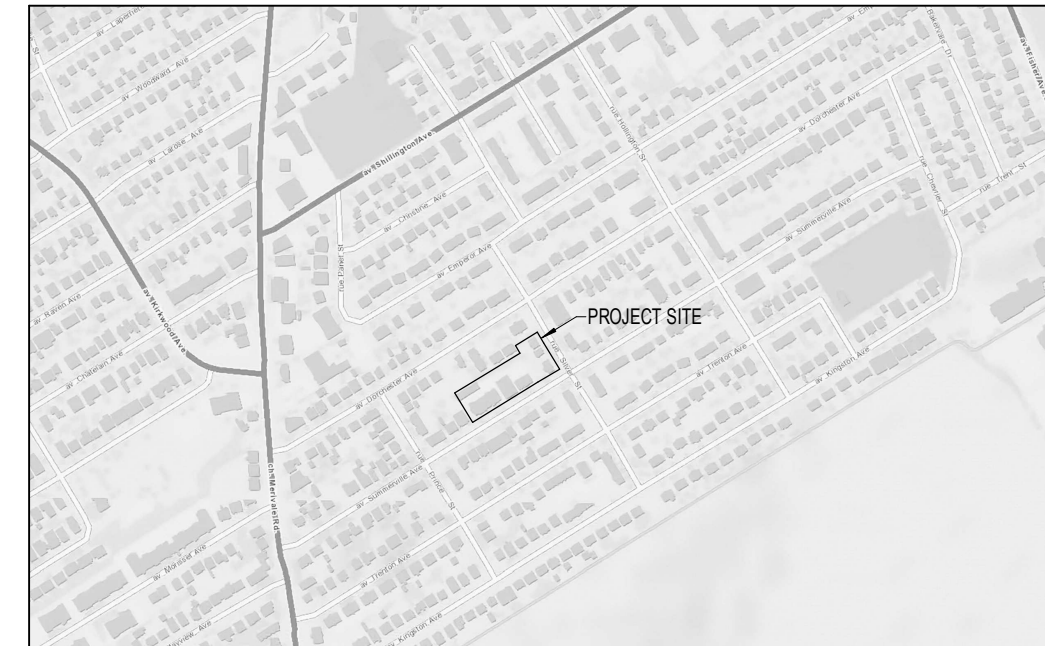
AMENITY SCH. (PRIVATE)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 00	TERRACE	102.89 m <sup>2</sup>	1107 SF
LEVEL 01	BALCONY	23.73 m <sup>2</sup>	255 SF
LEVEL 02	BALCONY	31.83 m <sup>2</sup>	343 SF
LEVEL 03	BALCONY	33.77 m <sup>2</sup>	363 SF
TOTAL		192.22 m <sup>2</sup>	2069 SF

RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 00	590.41 m <sup>2</sup>	6355 SF
LEVEL 01	594.60 m <sup>2</sup>	6400 SF
LEVEL 02	788.76 m <sup>2</sup>	8490 SF
LEVEL 03	782.41 m <sup>2</sup>	8422 SF
TOTAL	2756.17 m <sup>2</sup>	29667 SF

GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 00	751.46 m <sup>2</sup>	8089 SF
LEVEL 01	816.22 m <sup>2</sup>	8786 SF
LEVEL 02	867.19 m <sup>2</sup>	9277 SF
LEVEL 03	850.94 m <sup>2</sup>	9158 SF
TOTAL	3275.71 m <sup>2</sup>	35299 SF

**SITE PLAN SYMBOLS LEGEND**

	BUILDING ENTRANCE		EXISTING TRAFFIC SIGNAL POST
	BUILDING EXIT		FIRE DEPARTMENT CONNECTION
	BICYCLE PARKING		FIRE HYDRANT
	PROPERTY LINE		EXISTING UTILITY POLE TO REMAIN
	SETBACK LINE		UTILITY POLE TO BE REMOVED/RELOCATED
	OVERHEAD WIRES		
	INTERLOCKING STONE PAVERS		



2 LOCATION PLAN  
SP-02 SCALE: NTS

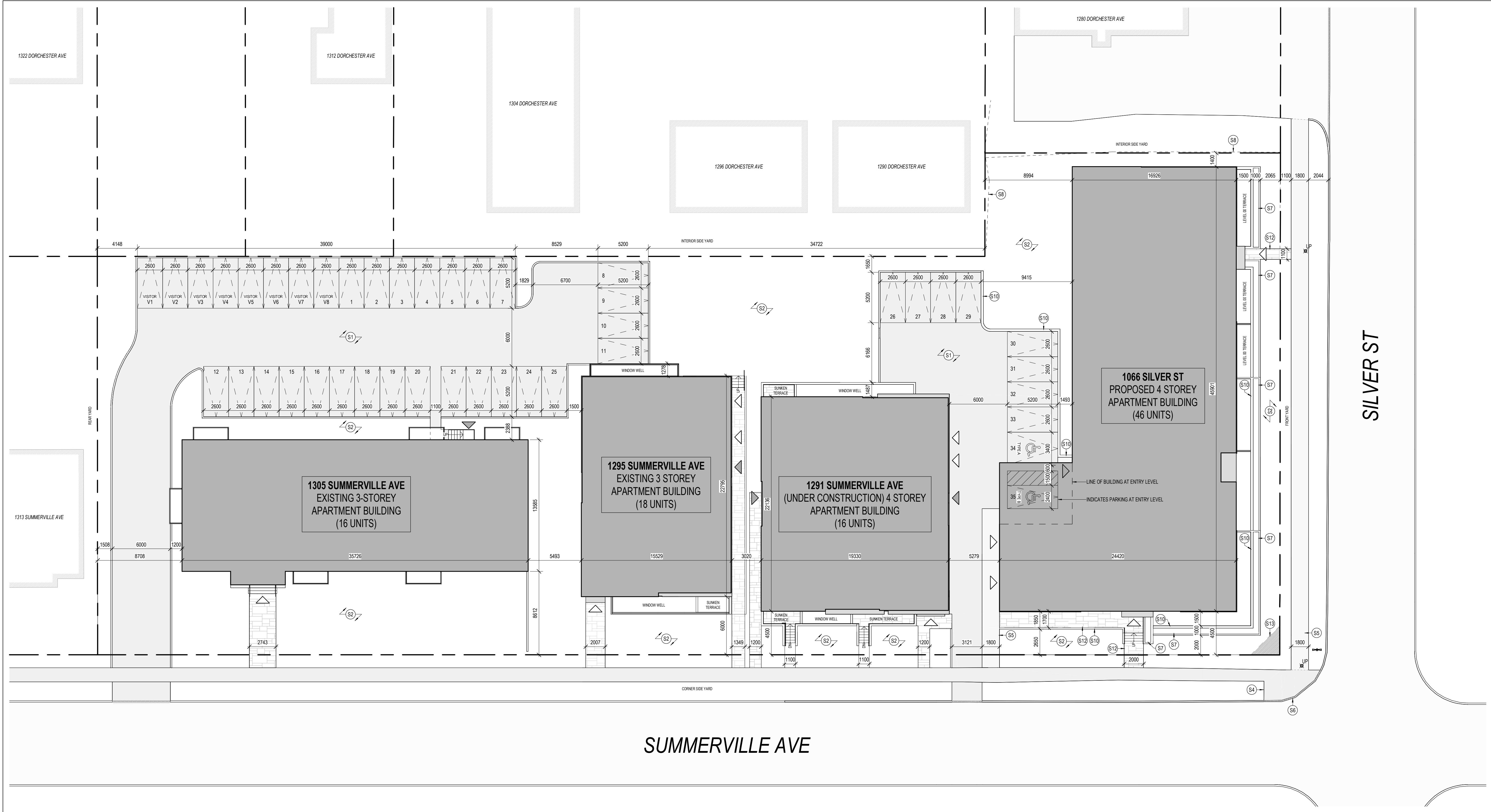
**KEYNOTE LEGEND**

S1	ASPHALT
S2	SOFT LANDSCAPING
S3	EXISTING STRUCTURE TO BE DEMOLISHED
S4	EXISTING ASPHALT SIDEWALK
S5	PROPOSED CONCRETE SIDEWALK
S6	DEPRESSED CURB
S7	RAISED PLANTER
S8	EXISTING CHAIN LINK FENCE
S9	CANOPY ABOVE
S10	RETAINING WALL
S11	PLANTING BED
S12	PAVING STONES
S13	3m x 3m CORNER SIGHT TRIANGLE

**PUD PARKING STATISTICS**

Total Number of Units:	96 Units
Total Required Parking:	32 Spaces (24 Resident + 8 Visitor)
Total Provided Parking:	43 Spaces (35 Resident + 8 Visitor)

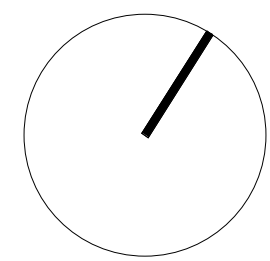
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1 CONSOLIDATED SITE PLAN  
SP-02 SCALE: 1 : 200

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4	ISSUED FOR COORDINATION	2024-02-14
3	ISSUED FOR COORDINATION	2024-01-24

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Project1 Studio Incorporated  
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1066 SILVER

1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

CONSOLIDATED SITE PLAN

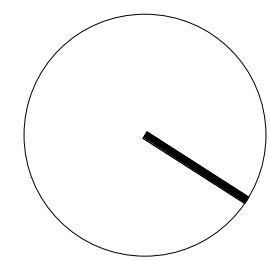
SP-02

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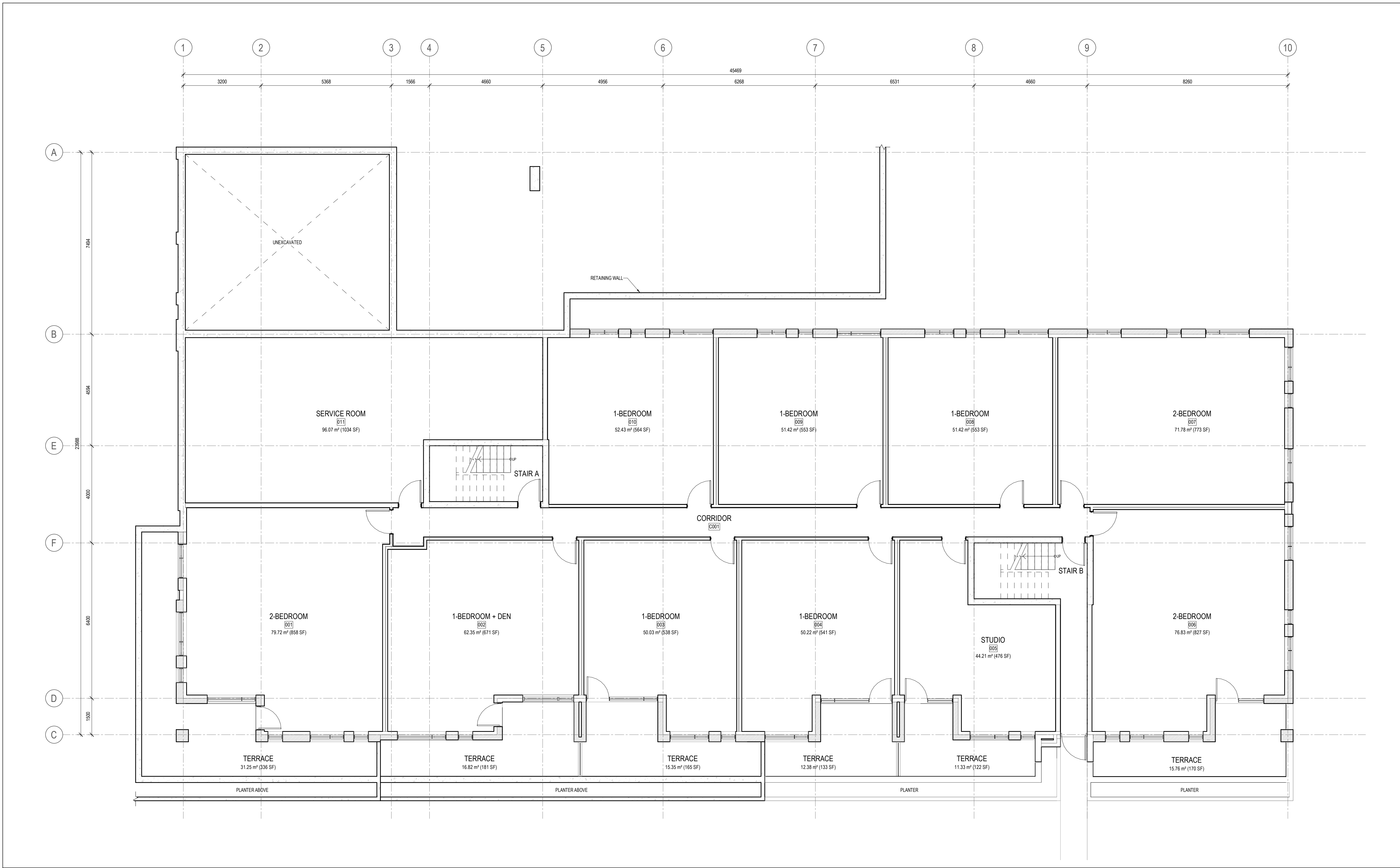
1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

FLOOR PLAN - LEVEL 00

A100

# 19295



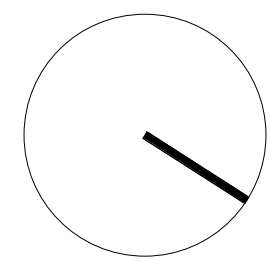
1 FLOOR PLAN - LEVEL 00  
A100 SCALE: 1 : 75

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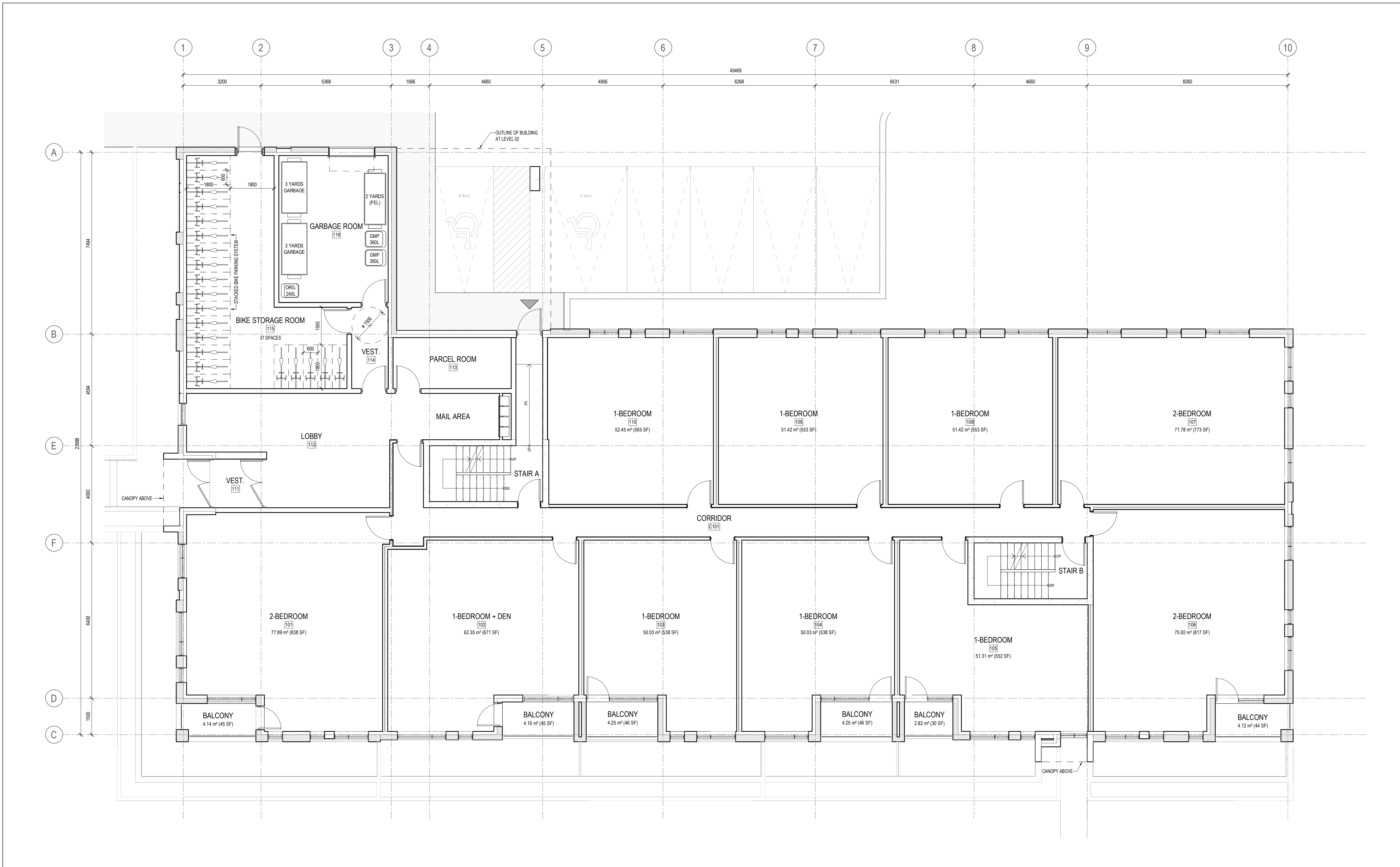
1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

FLOOR PLAN - LEVEL 01

A101

# 19295



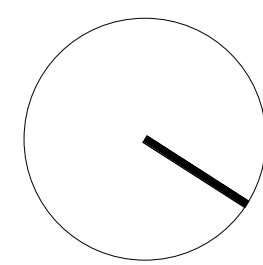
1 FLOOR PLAN - LEVEL 01  
A101 SCALE: 1 : 75

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1066 Silver Street  
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PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

FLOOR PLAN - LEVEL 02

A102

# 19295



1 FLOOR PLAN - LEVEL 02  
A102 SCALE: 1 : 75

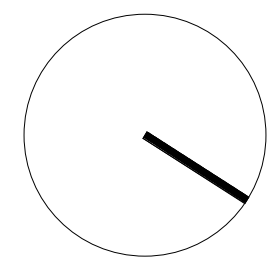


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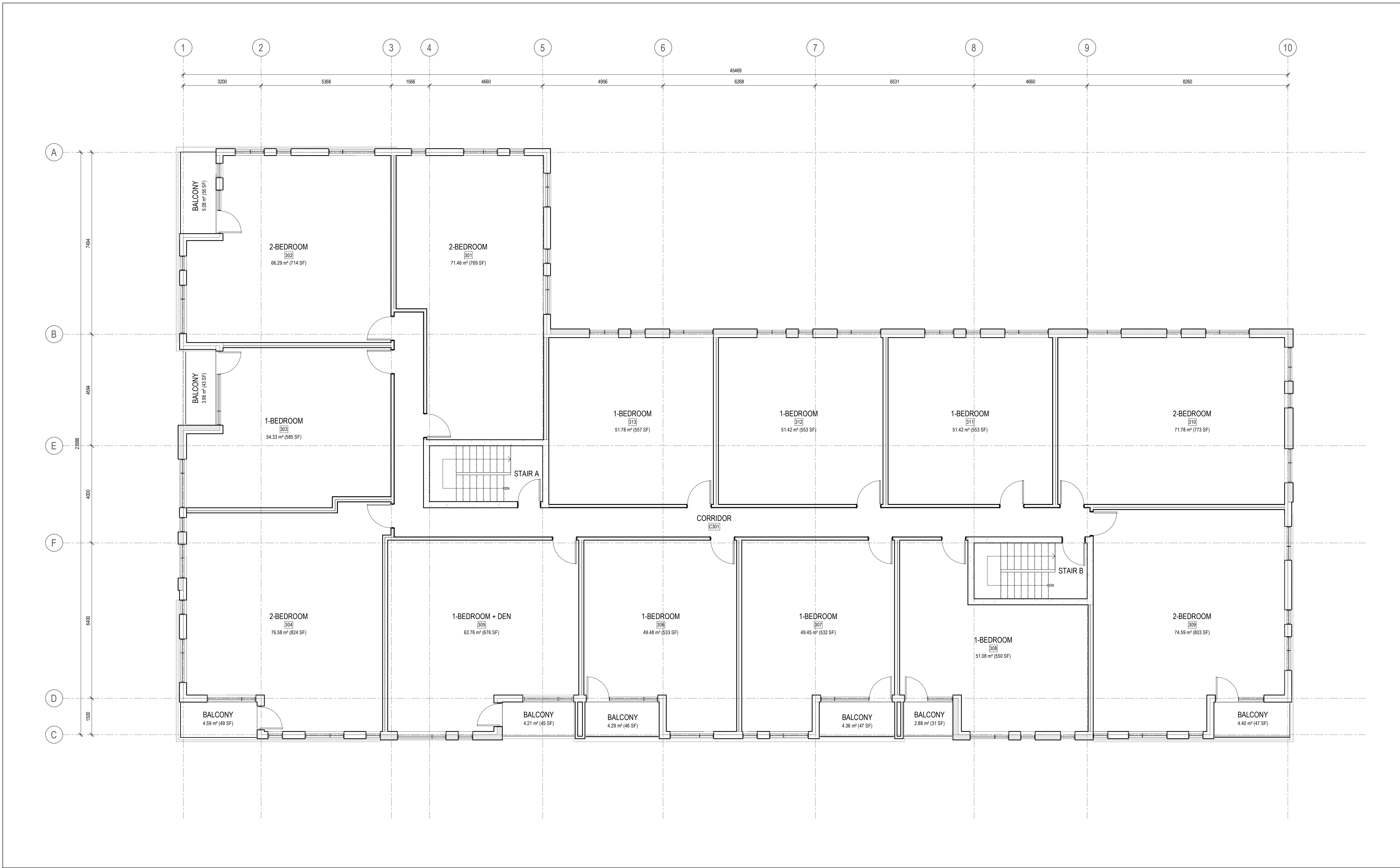
1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

FLOOR PLAN - LEVEL 03

A103

# 19295

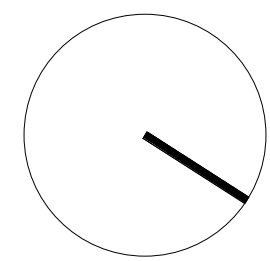


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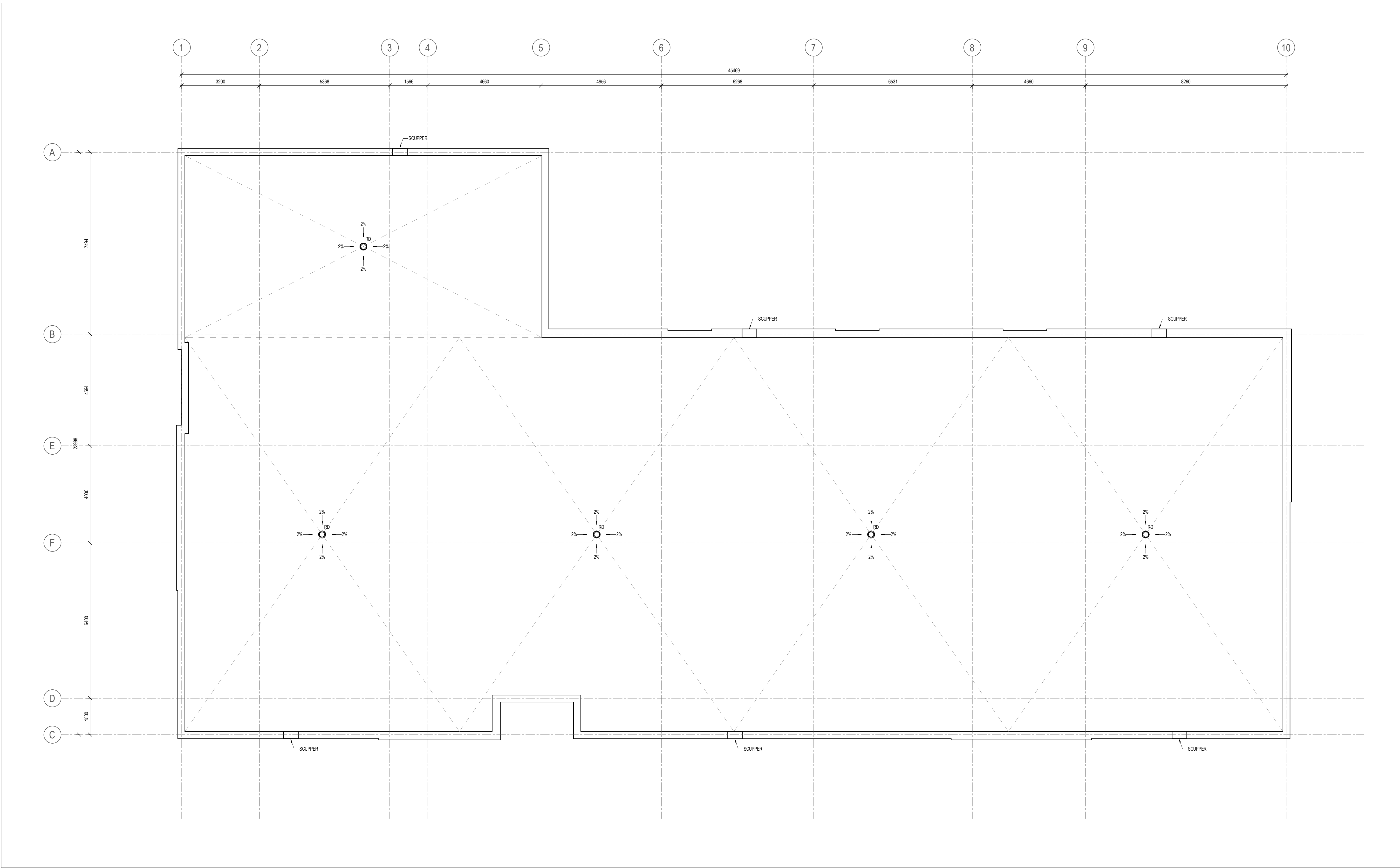
1066 SILVER

1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

ROOF PLAN

A104





- CLADDING LEGEND:**
- FC-1 FIBRE CEMENT PANEL DARK GREY
  - FC-2 FIBRE CEMENT PANEL LIGHT GREY
  - BR-1 BRICK MASONRY GREY
  - BR-2 BRICK MASONRY RED
  - WD-1 WOOD VENEER PANEL CEDAR
  - WD-2 WOOD VENEER PANEL CHARCOAL
  - C-1 CONCRETE
  - GL-1 ALUMINUM AND GLASS RAILING

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**2 SOUTH ELEVATION**  
A201 SCALE: 1 : 75



**1 EAST ELEVATION**  
A201 SCALE: 1 : 75

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4	ISSUED FOR COORDINATION	2024-02-14
2	ISSUED FOR COORDINATION	2023-11-29

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[613.884.3939] | mail@project1studio.ca

**1066 SILVER**

1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

**ELEVATIONS**

**A201**





- CLADDING LEGEND:**
- FC-1 FIBRE CEMENT PANEL DARK GREY
  - FC-2 FIBRE CEMENT PANEL LIGHT GREY
  - BR-1 BRICK MASONRY GREY
  - BR-2 BRICK MASONRY RED
  - WD-1 WOOD VENEER PANEL CEDAR
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1 NORTH ELEVATION  
A202 SCALE: 1 : 75



2 WEST ELEVATION  
A202 SCALE: 1 : 75

11	REISSUED FOR SITE PLAN CONTROL	2025-04-14
8	ISSUED FOR COORDINATION	2024-05-27
5	ISSUED FOR SITE PLAN CONTROL	2024-03-05
4	ISSUED FOR COORDINATION	2024-02-14
2	ISSUED FOR COORDINATION	2023-11-29

**ISSUE RECORD**



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PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

**ELEVATIONS**

**A202**