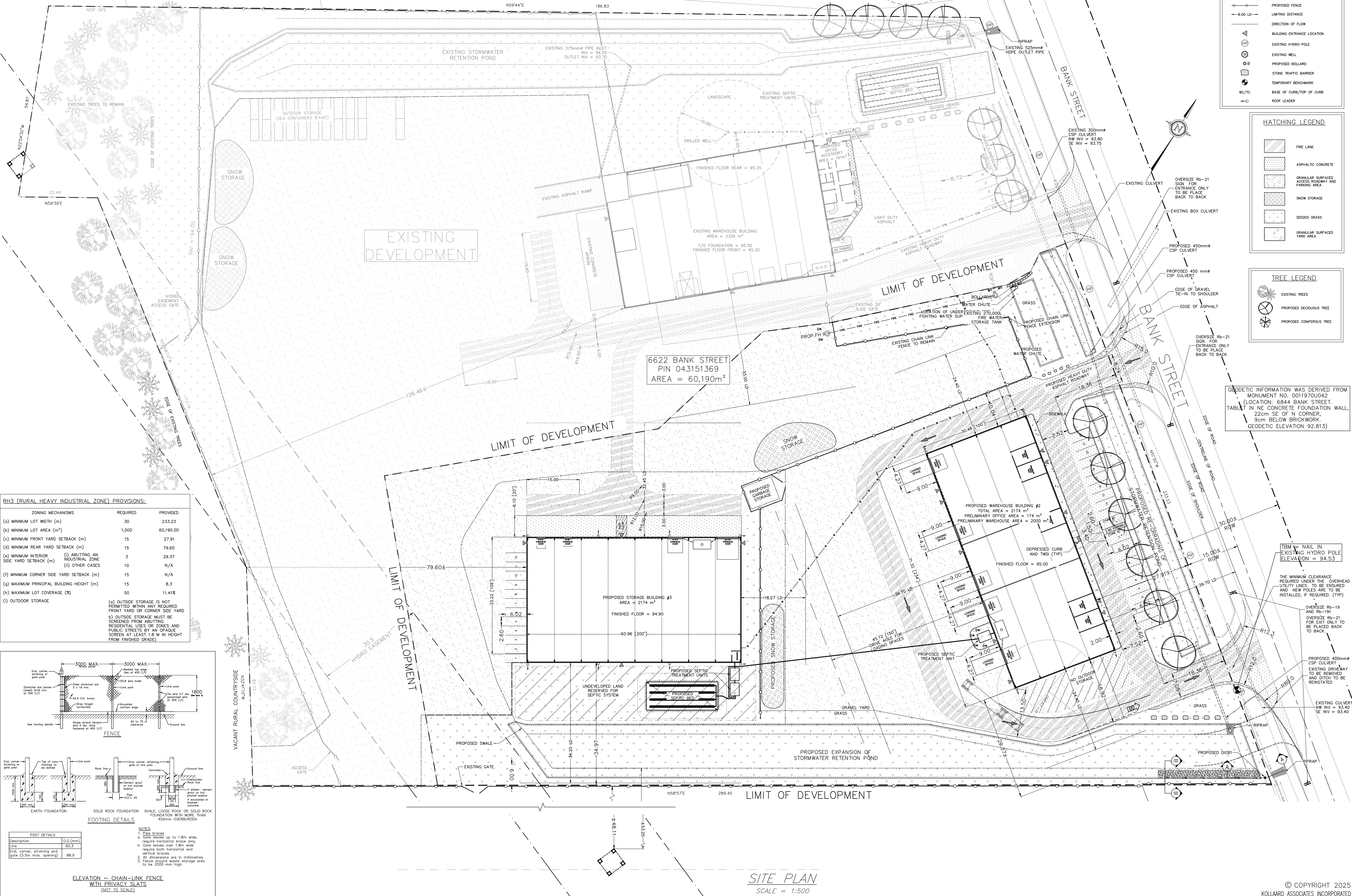


SITE STATISTICS:

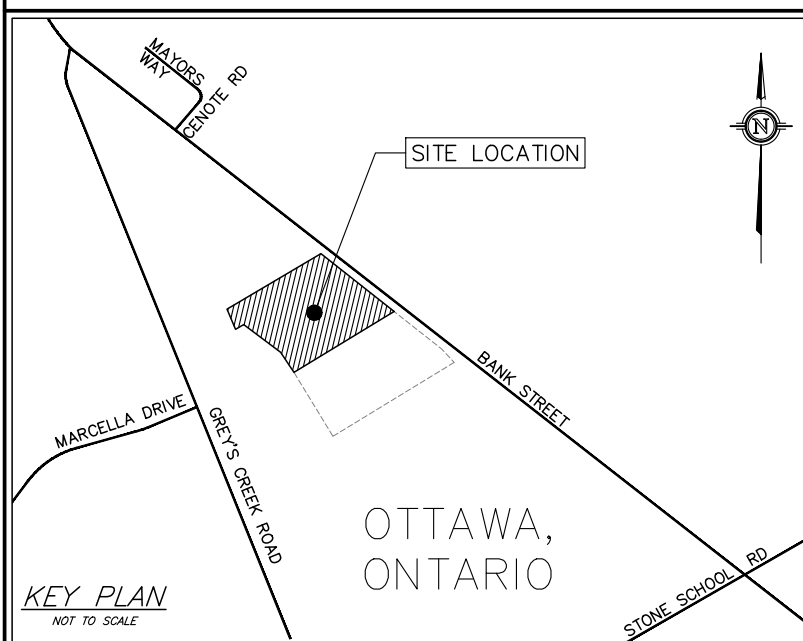
TOTAL AREA	60190	m ²
AREA OF NEW DEVELOPMENT	22423	m ²
EXISTING BUILDING FOOTPRINT	2517	m ²
NEW BUILDING FOOTPRINT	4348	m ²
GROSS FLOOR AREA (TOTAL)	4268	m ²
WAREHOUSE	4094	m ²
ACCESSORY OFFICE	174	m ²

PARKING REQUIREMENTS

VEHICULAR PARKING	REQUIRED	PROVIDED
WAREHOUSE (0.8 per 100m ² OF GFA)	33	35
ACCESSORY OFFICE (2.4 per 100m ² OF GFA)	4	4
TOTAL	37	39
ACCESSIBLE PARKING TYPE A	1	1
ACCESSIBLE PARKING TYPE B	1	1
TOTAL		39
LOADING SPACE	1	5

DRAWING NUMBER:

230156-SP



DRAWING.

SITE PLAN

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED; ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
2. GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970042.
3. TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
4. THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-2559R, (SHIPMAN SURVEYING FILE NUMBER: 10-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
5. CLIENT IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS.
6. CONTRACTOR TO VERIFY THAT APPROPRIATE PERMITS HAVE BEEN ACQUIRED PRIOR TO ANY CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF UTILITIES.
8. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION.
9. THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL ALL APPROVALS HAVE BEEN GRANTED.
10. HYDRO SERVICE TO BE INSTALLED ACCORDING TO THE SPECIFICATIONS OF SERVICE PROVIDER AND THE MECHANICAL ENGINEER.
11. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
12. ANY CHANGES MADE TO THIS PLAN MUST BE VERIFIED AND APPROVED BY KOLLARD ASSOCIATES, INC.
13. THIS DRAWING IS PART OF KOLLARD ASSOCIATES DESIGN REPORTS #230156.

4	ARK	APR 16, 2025	REVISED FOR COMMENTS, DATE CORRECTED
3	ARK	JAN 10, 2025	REVISED FOR CITY COMMENTS
2	ARK	OCT 02, 2024	REVISED AS PER CITY MEMO
1	ARK	SEPT 04, 2024	REVISED AS PER PLANNER
0	ARK	JULY 31, 2024	SUBMITTED FOR SITE PLAN CONTROL
REV	BY	DATE	DESCRIPTION



Kollaard Associates
Engineers

P.O. BOX 189, 210 PRESCOTT ST. (613) 860-0923
KEMPTVILLE, ONTARIO
info@kollaard.ca
KOG 1J0 FAX (613) 258-0475
<http://www.kollaard.ca>

CONSULTANTS:



SHIPMAN SURVEYING LTD.
NORTH OAKW, ONT. K0A 2T0

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECT
333 CARLING AVE. OTTAWA, ONTARIO K2H 8P9



CLIENT

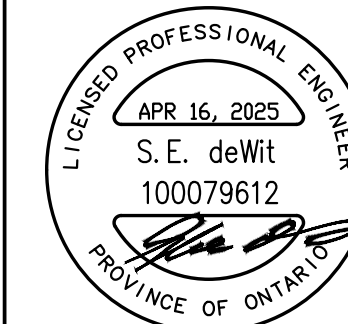
Camm Warehousing and Rentals Inc.

PROJECT

PROPOSED WAREHOUSE WITH OFFICE

LOCATION:

6622 BANK STREET, OTTAWA, ON



DESIGNED BY: ARK	CHECKED BY: SD
DRAWN BY: ARK	APPROVED BY: SD
DATE: JULY 31, 2024	
SCALE: AS NOTED	
PROJECT NUMBER: 230156	

© COPYRIGHT 2025
KOLLAARD ASSOCIATES INCORPORATED

Plan No. 19195

D07-12-24-0106