

GENERAL NOTES DISCLAIMER

NOTES LISTED IN "GENERAL NOTES" SCHEDULE. DO NOT APPLY TO ALL PLANS.

GENERAL NOTES

RETAINING WALL (REFER TO CIVIL)

HYDRO TRANSFORMER

PAV C PODIUM OUTLINE ABOVE

BUILDING OUTLINE ABOVE

PARKING LEVEL P1 OUTLINE

PARKING LEVEL P2 OUTLINE

HYDRO POLE & OVERHEAD LINE

HYDRO OTTAWA TOWER ON CONCRETE PAD

METAL STAIRS & PATHWAY TOWARDS ADJACENT BLOCK WILL BE PROVIDED AT LATER STAGE IN THE FUTURE.

BOLLARD

WATER TANK OUTLINE BELOW & ACCESS HATCH W LADDER

EXTERIOR BIKE RACK (FRONT LOADING) SET BACK 1800 (MIN) FROM PATHWAY (REFER TO ADD FOR BIKE RACK DESIGN.)

OUTLINE OF POOL

MINI-HOLE / CATCH BASIN (REFER TO CIVIL)

TRENCH DRAIN

CONCRETE CURB (REFER STRUCT. ENG.)

FIRE HYDRANT

MECHANICAL SHAFT

GARAGE DOOR - DOOR HEIGHT (2.1 MIN REQ.)

GUARD RAIL EXTERIOR AT PODIUM PARAPETS & RETAINING WALLS

SIAMSESE CONNECTION

OIL GRIT SEPARATOR

TRANSFER BEAM

VEHICLE CIRCULATION ON PODIUM ABOVE

DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)

GROUND FLOOR BUILDING OUTLINE

TACTILE WALKING SURFACE INDICATOR

PARKING LEGEND

BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)

BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)

TYPICAL PARKING FOR VISITORS 5.2m X 2.6m (min.)

COMMERCIAL BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)

ZONE WITH A CLEAR HEIGHT OF 2300mm min.

PEDESTRIAN TRAFFIC

DRIVING AISLE IN GARAGE.

ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND THUS CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL SERVICES NOT SERVING THE EXIT

EXTERIOR BIKE RACK

Overall Length 6000

The Space 2.75

Overall Width 27.13

Overall Height 28.56

Overall Width 14.37

Top View

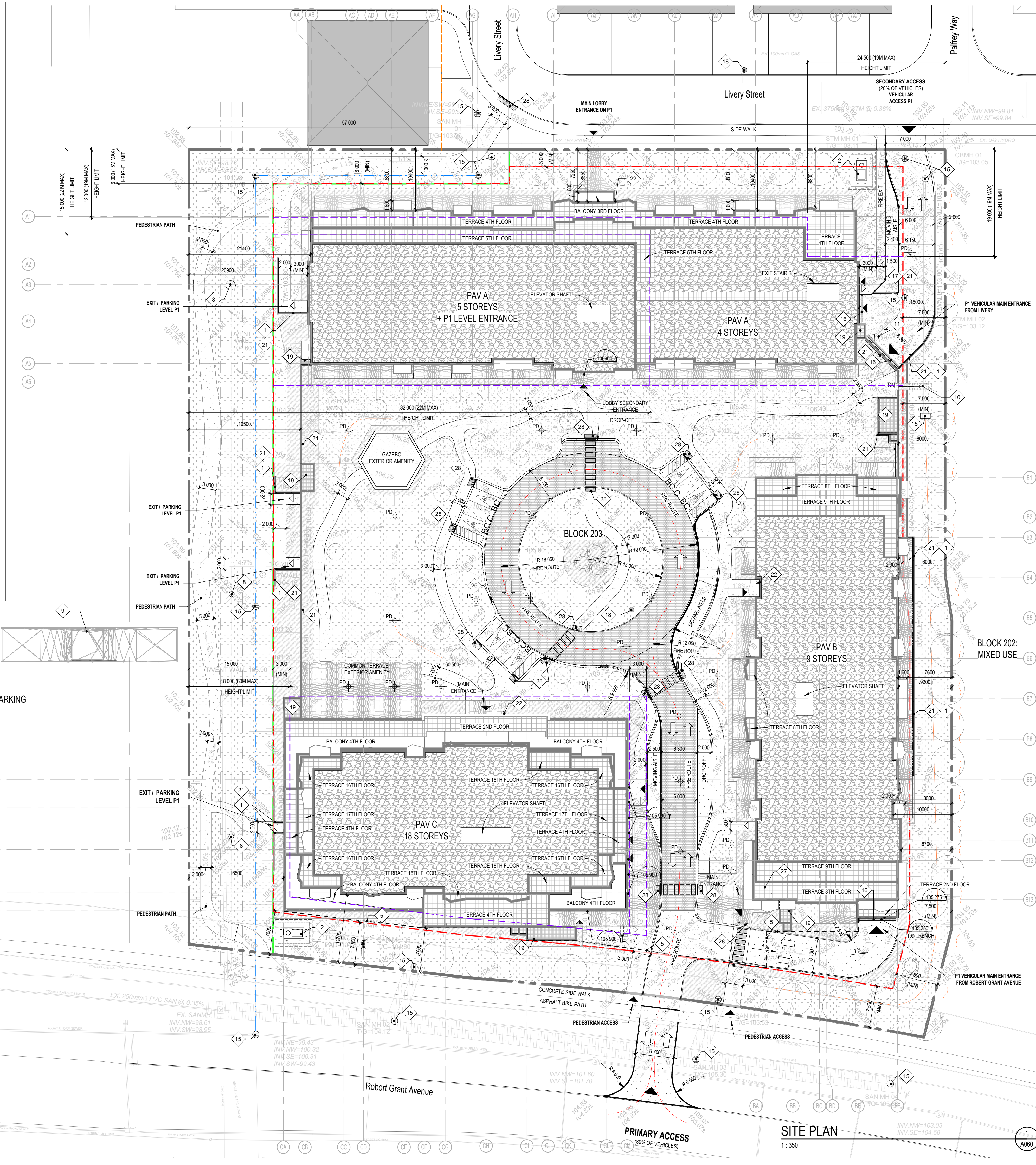
Side View

SNOW STORAGE

THERE WILL BE NO SNOW STORAGE AT SITE. THE SNOW WILL BE TRUCKED OFFSITE.

BLOCK 200: FUTURE TRANSIT PARKING

Autodesk Docs://1186_RENE'S COURT/RENE'S COURT/RENE'S COURT_11186_ARC_PARK_R22.mxd



LINE TYPE & ACCESS LEGEND

PROPERTY LINE

SETBACK LINE

EASEMENT LIMIT

SETBACK LINE FOR TRUNK SEWER

P1 SLOPE SLAB

MOUNTABLE CURB (REFER TO CIVIL)

VEHICULAR ENTRY ACCESS TO BUILDING

ACCESS TO COMMERCIAL

EXITS

FIRE ROUTE (ON PODIUM)

NEIGHBOUR 330 PROPERTY LINE ON LIVERY STREET

SWALE (REFER TO CIVIL)

SURFACE LEGEND

PAVERS STACKED PATTERN (UPPER TERRACE)

PAVERS MODULAR PATTERN (PODIUM & GRADES)

CONCRETE FINISH

LIGHT DUTY ASPHALT PAVEMENT (REFER TO CIVIL)

HEAVY ASPHALT DUTY PAVEMENT (REFER TO CIVIL)

WOONERF PAVERS

STONE BALLAST ON ROOF

LANDSCAPING

EXISTING BUILDINGS

DEPRESSED CURB (REFER TO CIVIL)

BARRIER FREE UNLOADING

GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION

GROSS FLOOR AREA (RESIDENTIAL)

GROSS FLOOR AREA (COMMERCIAL)

TOTAL GROSS FLOOR AREA (RESIDENTIAL & COMMERCIAL)

5000 ROBERT GRANT - SITE STATISTICS

LOT AREA (BLOCK 203)

FOOTPRINT PAV A

FOOTPRINT PAV B

FOOTPRINT PAV C

GROSS BUILDING AREA ABOVE GRADE PAV A

GROSS BUILDING AREA ABOVE GRADE PAV B

GROSS BUILDING AREA ABOVE GRADE PAV C

CONSTRUCTION AREA UNDERGROUND (PARKADE LEVEL P1, P2 & P3)

GROSS FLOOR AREA PAV A, B & C (ABOVE + BELOW GRADE)

LEGAL DESCRIPTION OF PROPERTY

BLOCK 203 (PIN 04450-2006)

PROPERTY DERIVED FROM REGISTERED PLAN 4M-1503 ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

5000 ROBERT GRANT - NUMBER OF UNITS

LEVEL

P1 FLOOR

UNITS AT STREET LEVEL

1ST FLOOR

UNITS AT STREET LEVEL

2nd FLOOR

UNITS ON A LEVEL

3RD FLOOR

UNITS ON A LEVEL

4TH FLOOR

UNITS ON A LEVEL

5TH FLOOR

UNITS ON A LEVEL

6TH FLOOR

UNITS ON A LEVEL

7TH FLOOR

UNITS ON A LEVEL

8TH FLOOR

UNITS ON A LEVEL

9TH FLOOR

UNITS ON A LEVEL

10TH TO 16TH FLOOR

UNITS ON A LEVEL

17TH FLOOR

UNITS ON A LEVEL

18TH FLOOR

UNITS ON A LEVEL

TOTAL (EACH PAV)

TOTAL (PAV A, B & C)

ZONE PROVISIONS BLOCK 203 - 5000 ROBERT GRANT

ZONING BY-LAW 2008 250

CURRENT ZONING: AM(2152) F(3.5) S437 & S437-h

PERMITTED USES

AM(2152 F(3.5) S437

AM(2152 F(3.5) S437-h

FRONT & CORNER YARD SETBACK

INTERIOR SIDE YARD SETBACK

REAR YARD SETBACK

BUILDING HEIGHT PAV A (AS PER SCHEDULE 437)

BUILDING HEIGHT PAV B (AS PER SCHEDULE 437)

BUILDING HEIGHT PAV C (AS PER SCHEDULE 437)

LANDSCAPE AREA

PRIVATE AMENITY SPACE

COMMUNAL AMENITY AREA

BICYCLE PARKING (RESIDENTIAL)

BICYCLE PARKING (COMMERCIAL)

NUMBER OF PARKING SPACES

PARKING (RESIDENTIAL)

PAV A & B (PHASE 1)

PARKING (MIXED USE)

PAV C (PHASE 2)

TOTAL (TOTAL - 207)

PARKING (VISITOR)

PAV A & B (PHASE 1)

PAV C (PHASE 2)

TOTAL

PARKING (SURFACE)

COMMERCIAL

TOTAL (TOTAL - 10%)

BARRIER FREE PARKING

TYPE A = 7"

TYPE B = 8"

TOTAL PARKING REQUIRED FOR PAV A, B & C

UNDERGROUND PARKING

WHERE ALL EXCEPT 16 REQUIRED AND PROVIDED PARKING SPACES ARE LOCATED BELOW GRADE IN THE SAME BUILDING AS THE LAND USE, PARKING RATES CAN BE REDUCED BY THE LESSER OF 10% OR 20 SPACES.

BARRIER FREE PARKING: COUNT OF PARKING REQUIRED AS PER ADDA GUIDELINES. HAS BEEN INCLUDED IN THE REQUIRED TOTAL.

NOTES GÉNÉRALES General Notes

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CLIENT Client

★★★★★

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COMPANY NAME

FERNBANK APARTMENTS INC.

RENÉS COURT

EMPLACEMENT Location

5000 Robert Grant Avenue OTTAWA

NO PROJET No. 11186

DATE d'ouverture du projet / project start date (aa-mm-jj) 17.10.20

NO RELEASE DATE (aa-mm-jj) 25/04/01

1.A. ISSUED FOR PHASE 1 PRE-CONSULTATION 2023-08-09

1.B. ISSUED FOR PHASE 3 PRE-CONSULTATION 2023-10-27

DESSINÉ PAR Drawn by A.W

VÉRIFIÉ PAR Checked K.P.

DATE (aa-mm-jj) 25/04/01

ÉCHELLE Scale As indicated

TITRE DU DESSIN Drawing Title SITE PLAN

PREVIOUS REVISION: 1.3

CURRENT REVISION: 1.4

REVISION Revision

NO. DESSIN Dwg Number

1.4 A060

FILE # D07-12-24-0172, PLAN #19239