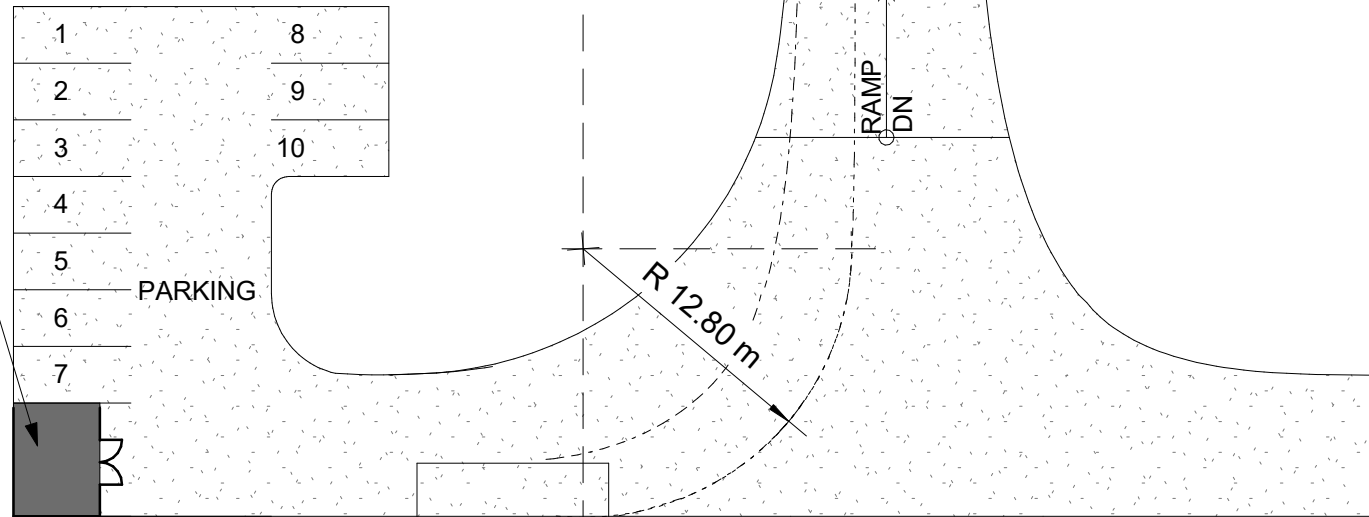
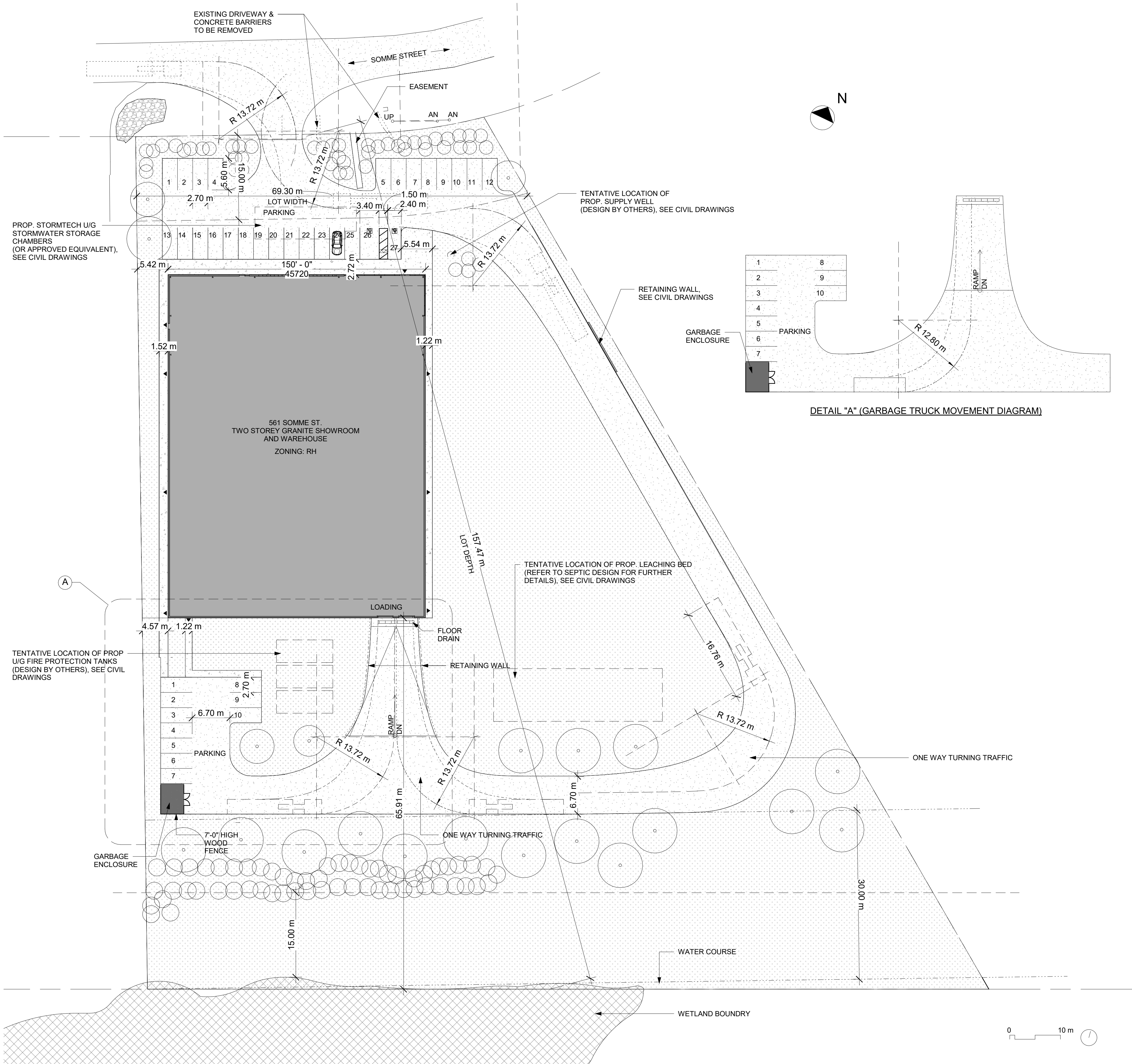
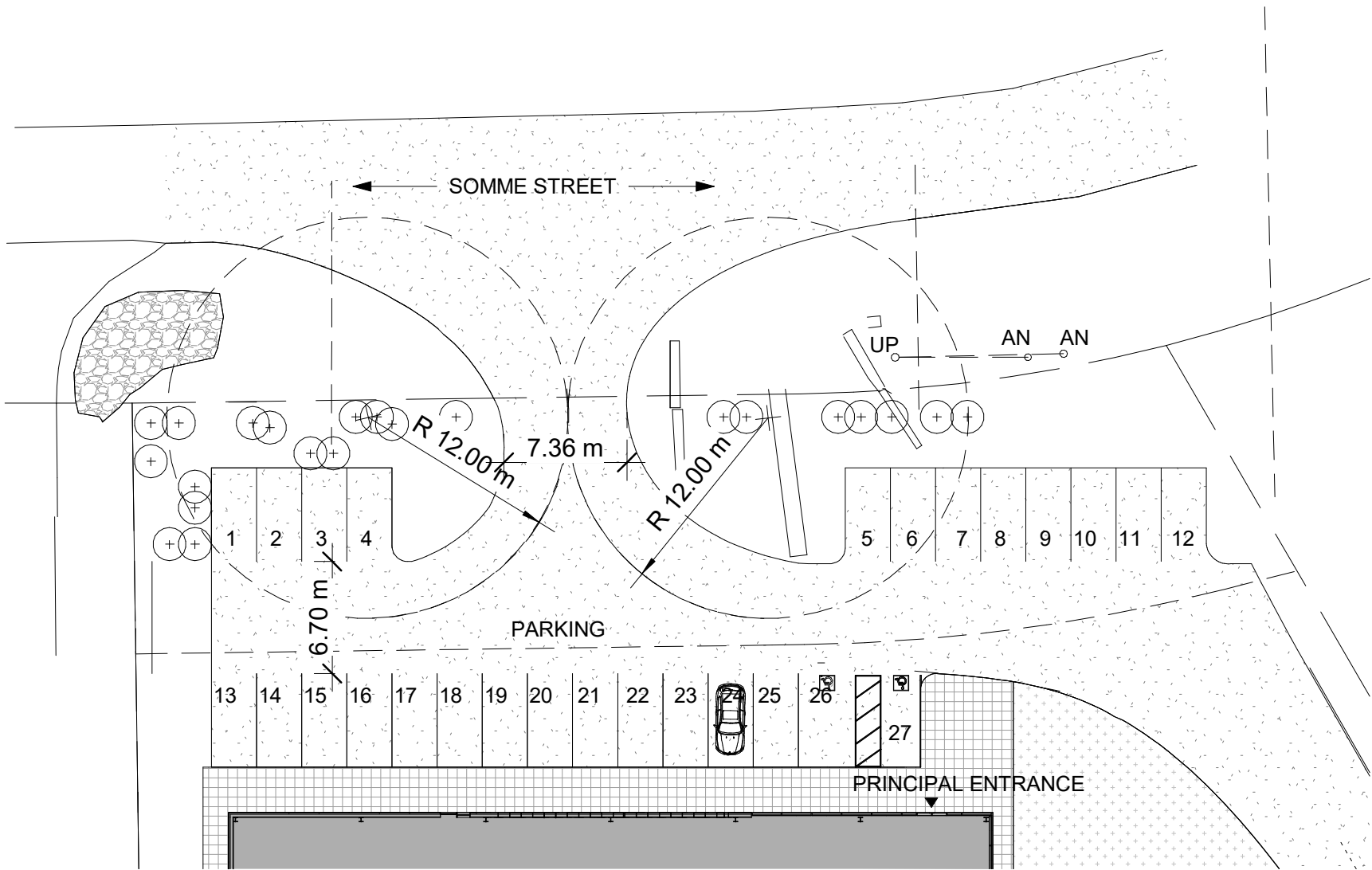




DETAIL "A" (GARBAGE TRUCK MOVEMENT DIAGRAM)

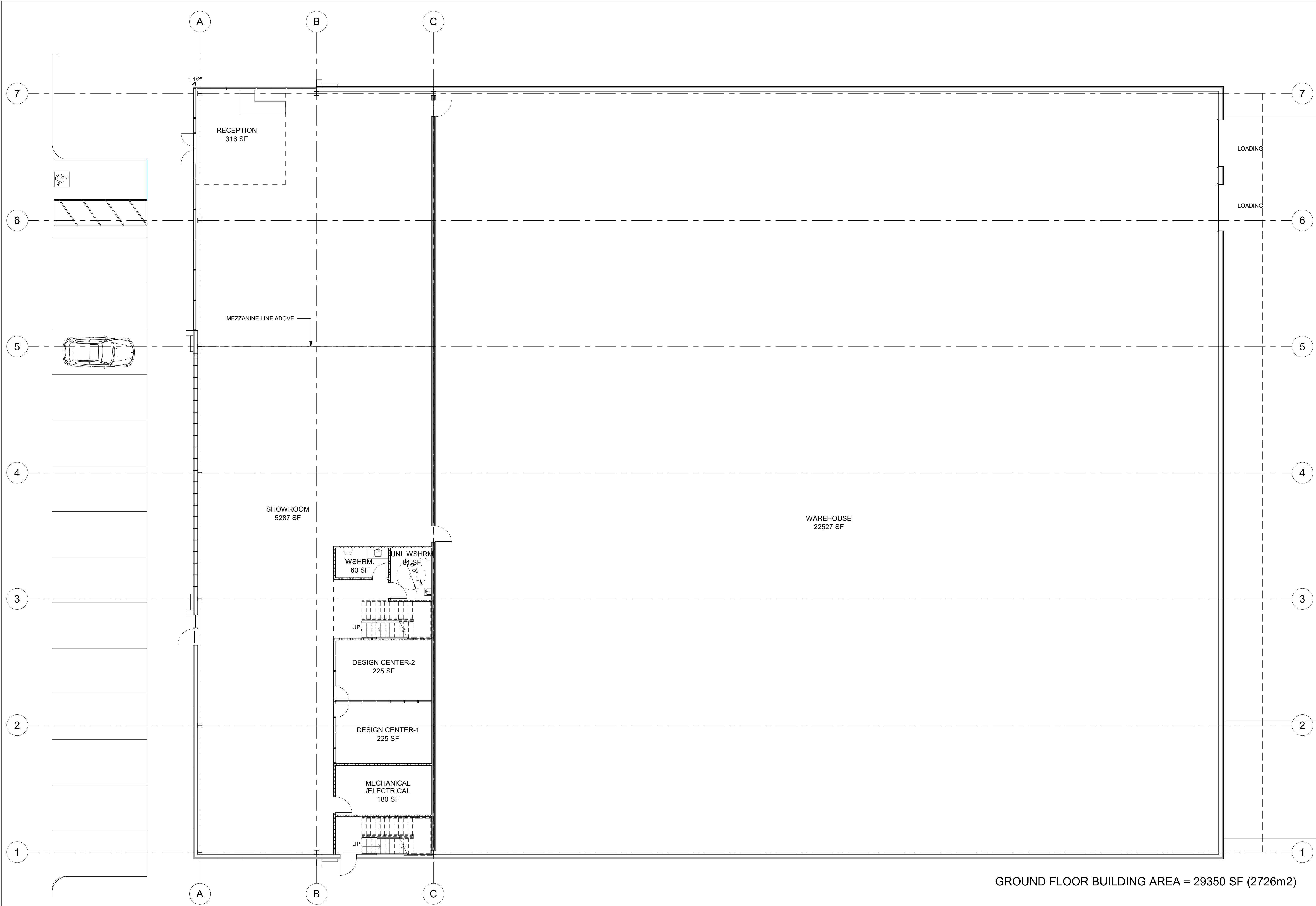
561 SOMME STREET			
SITE PLAN OF SURVEY PART OF BLOCK 2 AND PART OF RESERVE BLOCK 17, REGISTERED PLAN 4M-1388, CITY OF OTTAWA			
PREPARED BY H.A.KEN SHIPMAN SURVEYING LTD. COMPLETED NOVEMBER 1, 2023			
RH - RURAL HEAVY INDUSTRIAL ZONE (SECTIONS 221-222), CITY OF OTTAWA; DWELLING TYPE: LIGHT INDUSTRIAL USE			
ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	8000 m ²	16205.4 m ²	
B) MINIMUM LOT WIDTH	50 m	69.3 m	
C) MINIMUM LOT DEPTH	N/A	157.47 m	
D) MINIMUM FRONT YARD SET BACK	15 m	24.56 m	
E) MINIMUM INTERIOR SIDE YARD SET BACK	3 m	4.57 m & 26.37 m	
F) MINIMUM REAR YARD SETBACK	15 m	66.21 m	
G) MAXIMUM PRINCIPAL BUILDING HEIGHT	15 m	TBD	
H) MAXIMUM LOT COVERAGE	50%	17.2%	
I) PARKING	Warehouse: 0.8 per 100 m ² for the first 5000 m ² of gross floor area Ground floor: (2726 m ² /100)x0.8 = 21.8 spaces Second floor: (414.6 m ² /100)x0.8 = 3.32 spaces Total required: 26 spaces	27 front including 2 barrier free & 10 rear Total: 37	
J) LOADING	1- 7 m x 3.5 m loading space & 9 m driveway accessing the space	2- 7 m x 3.5 m loading spaces & 9 m driveway accessing the space	
K) OUTDOOR STORAGE	Not permitted in front yard and must be screened (1.8 m opaque) from public street and residential uses	None shown on plan	

LEGEND	
	NEW TREE/ SHRUB
	PROPOSED BUILDING
	PROPOSED / EXISTING ENTRY / EXIT
	PROPERTY LINE
	DENOTES HARD LANDSCAPING (CONCRETE)
	DENOTES SOFT LANDSCAPING
	DENOTES ASPHALT



FIREFIGHTING ACCESS ROUTE

1 SITE PLAN
1:400



GROUND FLOOR BUILDING AREA = 29350 SF (2726m2)

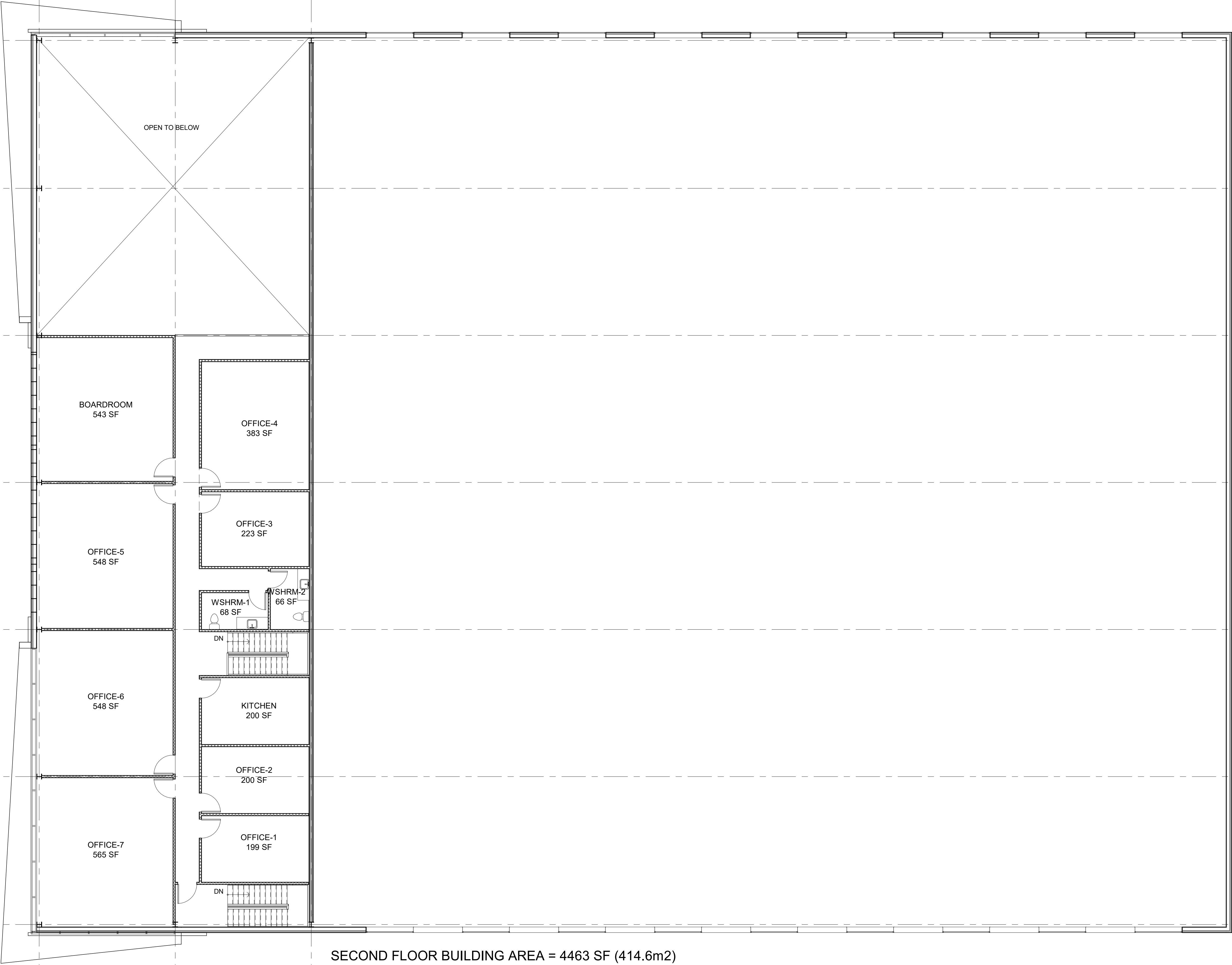
561 SOMME STREET
TWO STOREY GRANITE SHOWROOM
AND WAREHOUSE

CONSULTANTS		
STRUCTURAL -		
MECHANICAL -		
ELECTRICAL -		
NO.	REVISION/ISSUE	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		

PROJECT: **561 SOMME STREET**
EDWARDS, ON N0A 1Y0

PROPOSED FLOOR PLAN

DRAWN BY: SHEET:
DATE: MARCH 22, 2024
SCALE: AS NOTED **A1**



SECOND FLOOR BUILDING AREA = 4463 SF (414.6m2)

1 SECOND FLOOR PLAN
1/8" = 1'-0"



561 SOMME STREET
TWO STOREY GRANITE SHOWROOM
AND WAREHOUSE

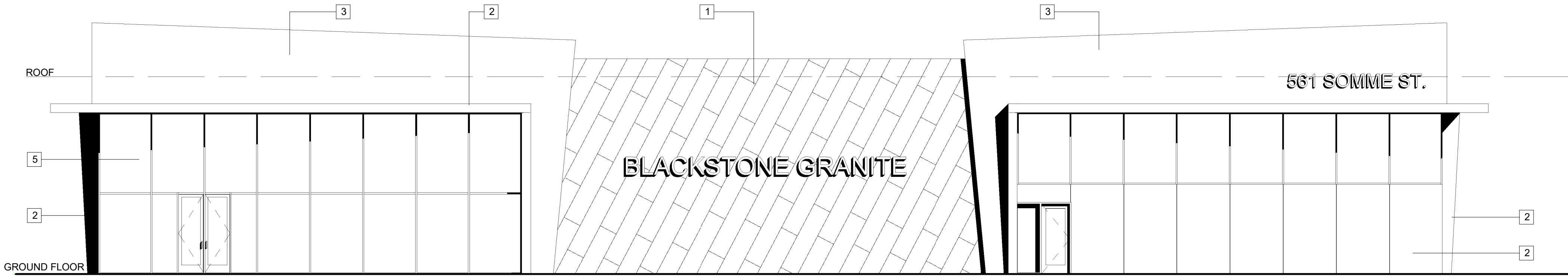
CONSULTANTS
STRUCTURAL -
MECHANICAL -
ELECTRICAL -
MDY

NO.	REVISION/ISSUE	DATE
9		
8		
7		
6		
5		
4		
3		
2		
1		

PROJECT:
561 SOMME STREET
EDWARDS, ON R2A 1Y3

PROPOSED FLOOR PLAN

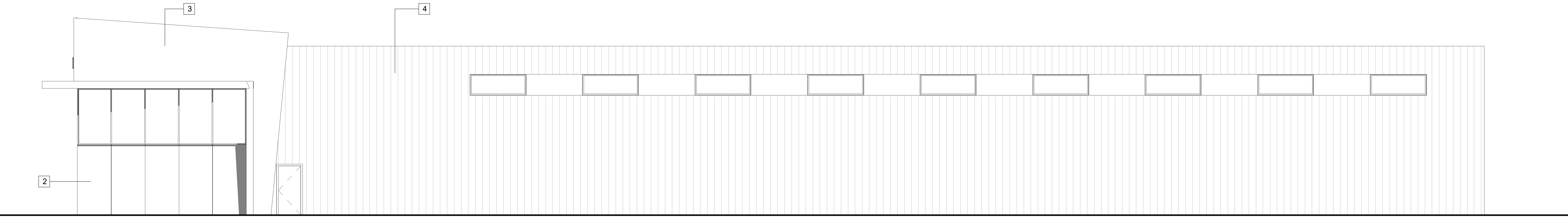
DRAWN BY: SHEET:
DATE: MARCH 22, 2024
SCALE: AS NOTED **A2**



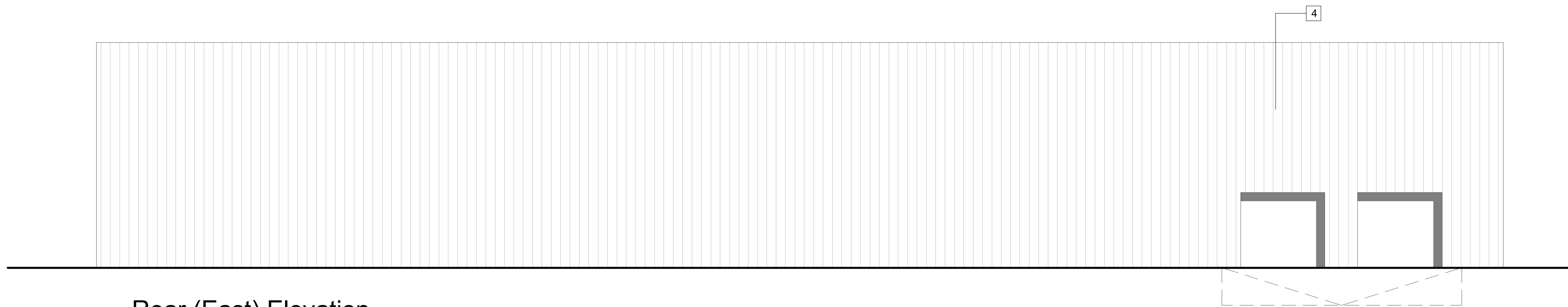
1 Front (West) Elevation
1/8" = 1'-0"

MATERIAL LEGEND & NOTES

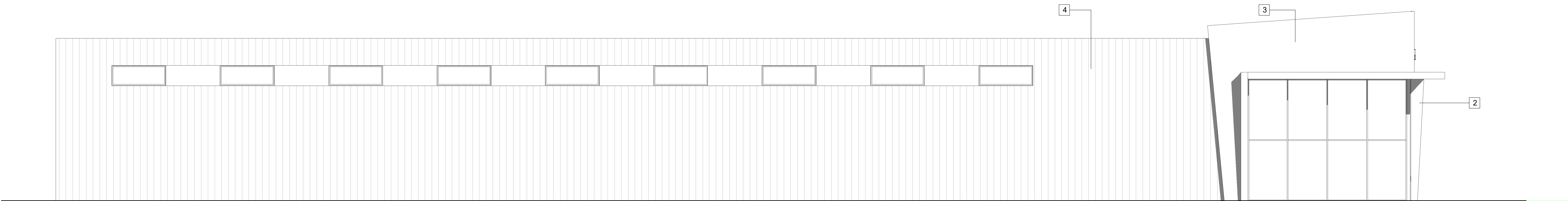
- 1 METAL PANEL, SILVER GREY
2 METAL PANEL, WHITE
3 METAL PANEL, BLACK
4 VERTICAL CORRUGATED METAL SIDING, LIGHT GREY
5 BIRD-SAFE GLASS



2 Side (South) Elevation
1/8" = 1'-0"



3 Rear (East) Elevation
1/8" = 1'-0"



4 Side (North) Elevation
1/8" = 1'-0"

RA REDLINE
ARCHITECTURE

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www.redlinearchitecture.ca

RESPONSIBILITIES:

DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN
ACCORDANCE WITH THE ONTARIO BUILDING
CODE 2015

ALL CONTRACTORS MUST WORK IN
ACCORDANCE WITH ALL LAWS, REGULATIONS
AND BY-LAWS HAVING JURISDICTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE
CONTRACTOR TO CHECK AND VERIFY ALL
DIMENSIONS ON SITE AND REPORT ALL ERRORS
AND OMISSIONS TO THE ARCHITECT/DESIGNER

THIS DRAWING MAY NOT BE USED FOR
CONSTRUCTION UNTIL ISSUED
BY THE ARCHITECT

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GENERAL NOTES:



561 SOMME STREET
TWO STOREY GRANITE SHOWROOM
AND WAREHOUSE

CONSULTANTS

STRUCTURAL -
MECHANICAL -
ELECTRICAL -

MDY

9

8

7

6

5

4

3

2

1

NO. REVISION/ISSUE DATE

PROJECT:

561 SOMME STREET
EDWARDS, ON K0A 1Y0

PROPOSED ELEVATIONS

DRAWN BY: SHEET:

DATE: MARCH 22, 2024

SCALE: AS NOTED

A3