

20054

NAVAN DEVELOPMENT - BLOCK 15

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NAVAN ROAD
DEVELOPMENT2983, Navan Road, Orleans,
ON K1C 7G4

OWNER

788, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL

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3070, CHEMIN DES QUATRE-BOURGEOIS
QUÉBEC (QC) G1W 2M4
PMAARCHITECTES.COM53, BOUL. SAINT-RAYMOND,
GATINEAU, QC J8Y 1R8

CIVIL ENGINEERS / PLANNER



ENGINEERS - ARCHITECTS - PLANNERS

1965 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 8R1

MECHANICAL & ELECTRICAL ENGINEERS

9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 7X6

SURVEYOR

1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2C 3G4

ARCHITECT SEAL



REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2025-03-02
2	FOR CITY REVIEW	2024-10-23
3	FOR CITY REVIEW	2024-10-23
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FILE NUMBER **D07-12-24-0128**
PLAN NUMBER **#19207**FOR CITY REVIEW
DO NOT USE FOR
CONSTRUCTION
2025-03-02DATE
2025-03-02DESIGNED
P.POMERLEAUDRAWN
P.POMERLEAUPROJECT NO
20054CHECKED
P.MARTIN

SHEET TITLE

GLOBAL SITE PLAN

SHEET NO

A100

LOTS AREAS

LOT NUMBER	AREAS (M2)
B01-1	394
B01-2	184
B01-3	184
B01-4	189
B01-5	189
B01-6	184
B01-7	184
B01-8	299
B02-1	281
B02-2	176
B02-3	184
B02-4	184
B02-5	174
B02-6	233
B03-1	250
B03-2	182
B03-3	182
B03-4	182
B03-5	182
B03-6	182
B03-7	250
B04-1	233
B04-2	174
B04-3	184
B04-4	174
B04-5	184
B04-6	174
B04-7	278
B05-1	368
B05-2	154
B05-3	163
B05-4	163
B05-5	154
B05-6	206
B06-1	206
B06-2	154
B06-3	163

LOT NUMBER	AREAS (M2)
B06-4	154
B06-5	163
B06-6	154
B06-7	369
B07	2,002
B08-1	525
B08-2	174
B08-3	184
B08-4	174
B08-5	184
B08-6	174
B08-7	234
B09-1	234
B09-2	174
B09-3	184
B09-4	184
B09-5	174
B09-6	234
B10-1	234
B10-2	174
B10-3	184
B10-4	184
B10-5	174
B10-6	487
B11-1	748
B11-2	286
B11-3	265
B11-4	246
B11-5	242
B11-6	242
B11-7	321
B12	240
B13	1,232
B14	5,728
B16	7,811

SITE PLAN LEGEND

	EXISTING BUILDING		LOT LINE
	NEW BUILDING		SETBACKS
	NEW BUILDING WITH COMMERCIAL SPACE AT-GRADE		NEW TREE
	GRASS		FIREWALL
	ASPHALT		SIDEWALK

SITE INFORMATION & DEVELOPMENT STATISTICS

LOTS	PIN
	04756 - 0303
	04756 - 0315
	04756 - 0316
	04756 - 1337
ZONING	GM(2546) H(14.5)
SITE AREA	
TOTAL SITE AREA:	~52,680.757 m ² (5.26ha)
TOTAL DEVELOPABLE AREA:	~41,769.178 m ² (4.17ha)
NET SITE AREA:	~30,341.826 m ² (3.03ha)
UNITS	
TOWNHOUSES:	
MAIN UNIT:	67 UNITS
BASEMENT UNIT:	48 UNITS
TOTAL NUMBER OF UNITS:	115 UNITS
BLOCK 01:	
1 X RESIDENTIAL APARTMENT BUILDING	48 UNITS
1 X MIXED USE BUILDING	
RESIDENTIAL:	36 UNITS
COMMERCIAL SPACES:	~899 m ²
BLOCK 02:	
1 X RESIDENTIAL APARTMENT BUILDING	47 UNITS
1 X MIXED USE BUILDING	
RESIDENTIAL:	36 UNITS
COMMERCIAL SPACES:	~899 m ²
BLOCK 03:	
2 X RESIDENTIAL APARTMENT BUILDING	96 UNITS
TOTAL NUMBER OF UNITS:	397 UNITS
TOTAL COMMERCIAL SPACES:	~1,798 m ²

	REQUIRED	PROVIDED
MAXIMUM DENSITY	NO MAX.	102 units/net ha
MINIMUM LOT WIDTH	NO MIN.	5.8 m
MINIMUM LOT AREA	NO MIN.	174 m ²
MAXIMUM BUILDING HEIGHT	14.5 m	14.5 m
SETBACKS		
MINIMUM FRONT YARD:	3 m	3 m
MINIMUM CORNER SIDE YARD:	3 m	3 m
MINIMUM INTERIOR SIDE YARD:		
NON-RESIDENTIAL OR MIXED-USE:	5 m	5 m
LOW-RISE RESIDENTIAL :	1.2 m	1.2 m
MID-RISE RESIDENTIAL :	3 m	3 m
MINIMUM REAR YARD:		
ABUTTING A STREET:	3 m	3 m
FROM A RESIDENTIAL ZONE:	7.5 m	7.5 m
FOR A RESIDENTIAL BUILDING:	7.5 m	7.5 m

PARKING RATES		
R9 - TOWNHOUSES:	1 p/main unit = 67	67 (GARAGES)
VISITOR:	0	67 DRIVE AISLES
BLOCK 14:		
R12 - APARTEMENTS	1.0 p/unit = 84	84 (UNDERGROUND)
VISITOR:	0.2 p/unit = 17	18 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.6	32 (EXTERIOR)
		TOTAL: 134
BLOCK 15:		
R12 - APARTEMENTS	1.0 p/unit = 83	83 (UNDERGROUND)
VISITOR:	0.2 p/unit = 16.6	16 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.6	32 (EXTERIOR)
		TOTAL: 131
BLOCK 17:		
R12 - APARTEMENTS	1.0 p/unit = 96	96 (UNDERGROUND)
VISITOR:	0.2 p/unit = 19.2	19 (15 EXT. + 4 UND.)
		TOTAL: 115

GROSS FLOOR AREA	
TOWNHOUSE A:	267 m ²
TOWNHOUSE B:	239 m ²
TOWNHOUSE C:	232 m ²
TOWNHOUSE C (CORNER UNIT):	236 m ²
TOWNHOUSE D:	225 m ²
TOTAL MODEL 01 (A888888A)	1,968 m ²
TOTAL MODEL 02 (A888888A)	1,729 m ²
TOTAL MODEL 03 (A88888A)	1,490 m ²
TOTAL MODEL 04 (C0C0C0C)	1,611 m ²
TOTAL MODEL 05 (C0C0C0C)	1,386 m ²

MIXED USE BUILDING (TOTAL OF 2 BUILDINGS):	TOTAL: 3,926 m ²
RESIDENTIAL:	3,027 m ²
COMMERCIAL:	899 m ²
RESIDENTIAL APARTMENT BUILDING (TOTAL OF 4 BUILDINGS):	TOTAL: 3,927 m ²
RESIDENTIAL:	3,927 m ²

NOTE

1. ASSUMES TYPICAL RESIDENTIAL FLOOR HEIGHT OF 3m.
2. THE BASE PLAN (LOT LINES, EXISTING ROADS AND SURROUNDING AREAS) IS BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY, SURVEYED STANTEC GEOMATICS LTD.
3. DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

2983, NAVAN ROAD - SITE PLAN
1:500

NAVAN ROAD
DEVELOPMENT2983, Navan Road, Orleans,
ON K1C 7G4

OWNER

788, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL

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GATINEAU, QC J8Y 1R8

CIVIL ENGINEERS / PLANNER

ENGINEERS - ARCHITECTS - PLANNERS
1965 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 6R1

MECHANICAL & ELECTRICAL ENGINEERS

9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 7X6

SURVEYOR

1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2G 3G4

ARCHITECT SEAL



REVISIONS

NO	DESCRIPTION	DATE
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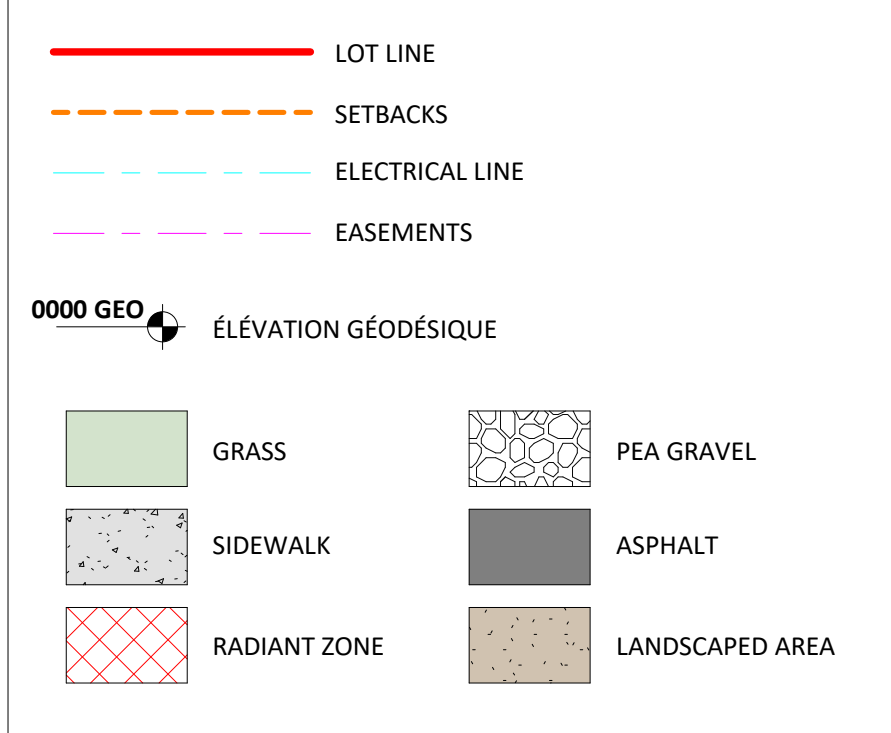
SHEET TITLE

SITE PLAN - BUILDING C & D

SHEET No

A101

LEGEND - SITE PLAN



SITE INFORMATION & DEVELOPMENT STATISTICS

LOTS	PIN
04756 - 1337	
ZONING	GM(2546) H(14.5)
SITE AREA	
TOTAL SITE AREA:	~5,398.92 m ² (0.54ha)
UNITS	
BUILDING C:	
RESIDENTIAL:	47 UNITS
BUILDING D:	
RESIDENTIAL:	36 UNITS
COMMERCIAL SPACES:	~840 m ²
TOTAL NUMBER OF UNITS:	83 UNITS
TOTAL COMMERCIAL SPACES:	~840 m ²
SPECIFIC PROVISIONS	REQUIRED PROVIDED
MAXIMUM DENSITY	NO MAX. 153 units/net ha
MINIMUM LOT WIDTH	NO MIN. -
MINIMUM LOT AREA	NO MIN. 5,732.75 m ²
MAXIMUM BUILDING HEIGHT	14.5 m 16 m
SETBACKS	
MINIMUM FRONT YARD:	3 m 3 m
MINIMUM CORNER SIDE YARD:	3 m 3 m
MINIMUM INTERIOR SIDE YARD:	
NON-RESIDENTIAL OR MIXED-USE:	5 m 5 m
MID-RISE RESIDENTIAL :	3 m 3 m
MINIMUM REAR YARD:	
FROM A RESIDENTIAL ZONE:	7.5 m 7.5 m
FOR A RESIDENTIAL BUILDING:	7.5 m 7.5 m
PARKING RATES	REQUIRED PROVIDED
BUILDING D:	
R12 - APARTEMENTS	1.0 p/unit = 47 47 (UNDERGROUND)
VISITOR:	0.2 p/unit = 9.6 9 (UNDERGROUND)
BUILDING C:	
R12 - APARTEMENTS	1.0 p/unit = 36 36 (UNDERGROUND)
VISITOR:	0.2 p/unit = 7.2 7 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.4 32 (EXTERIOR)
TOTAL:	131

NUMBER OF CAR PARKING				NUMBER OF BIKE PARKING		
TYPE OF PARKING	LEVEL	NUMBER	SYMBOL	TYPE	LEVEL	NUMBER
PARKING - COMMERCIAL	GROUND	32	C	BIKE - COMMERCIAL	GROUND	4
PARKING - RESIDENTIAL	LEVEL U1	82	R	BIKE - RESIDENTIAL	LEVEL U1	63
PARKING - VISITOR	LEVEL U1	18	R			
TOTAL		132				63

STATISTICS - NUMBER OF UNITS - BUILDING C				STATISTICS - AMENITY AREA - BUILDING C			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	18	53 m ²	50%	AMENITY COMMUNAL	147 m ²	(36*6)*0.5=108m2	
2 BED	18	81 m ²	50%	AMENITY PRIVATE	452 m ²	(36*6)*0.5=108m2	
	36	133 m ²			600 m ²		
STATISTICS - NUMBER OF UNITS - BUILDING D				STATISTICS - AMENITY AREA - BUILDING D			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	26	53 m ²	55%	AMENITY COMMUNAL	147 m ²	(47*6)*0.5=141m2	
2 BED	21	81 m ²	45%	AMENITY PRIVATE	590 m ²	(47*6)*0.5=141m2	
	47	134 m ²			738 m ²		

GFA - CITY OF OTTAWA - BUILDING C		GFA - CITY OF OTTAWA - BUILDING D	
LEVEL	AREA	LEVEL	AREA
C - LEVEL 1	792 m ²	C - LEVEL 1	682 m ²
C - LEVEL 2	803 m ²	C - LEVEL 2	803 m ²
C - LEVEL 3	803 m ²	C - LEVEL 3	803 m ²
C - LEVEL 4	803 m ²	C - LEVEL 4	803 m ²
TOTAL	3200 m ²	TOTAL	3092 m ²

GROSS FLOOR AREA						
LEVEL	GFA	PARKING	COMMERCIAL	COMMON	RESIDENTIAL	BALCONIES
LEVEL U1	3681 m ²	3681 m ²	0 m ²	0 m ²	0 m ²	0 m ²
	3681 m ²	3681 m ²	0 m ²	0 m ²	0 m ²	0 m ²
BUILDING C						
LEVEL 1	951 m ²	0 m ²	840 m ²	111 m ²	0 m ²	0 m ²
LEVEL 2	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
LEVEL 3	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
LEVEL 4	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
ROOF	213 m ²	0 m ²	0 m ²	213 m ²	0 m ²	0 m ²
	4040 m ²	0 m ²	840 m ²	664 m ²	2535 m ²	452 m ²
BUILDING D						
LEVEL 1	952 m ²	90 m ²	0 m ²	139 m ²	723 m ²	138 m ²
LEVEL 2	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
LEVEL 3	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
LEVEL 4	958 m ²	0 m ²	0 m ²	113 m ²	845 m ²	151 m ²
ROOF	213 m ²	0 m ²	0 m ²	213 m ²	0 m ²	0 m ²
	4040 m ²	90 m ²	0 m ²	692 m ²	3258 m ²	590 m ²

STATISTICS - UNITS DESCRIPTION						
UNIT TYPE	BEDROOM	KITCHEN SINK	BATH SINK	TOILETS	SHOWER/TUB	SHOWER
BUILDING C						
TYPE A	2 BED	1	2	2	1	1
TYPE B	1 BED	1	2	1		1
TYPE C	1 BED	1	2	2	1	
TYPE D	1 BED	1	1	1		
TYPE E	2 BED	1	3	2	1	1
TYPE F	2 BED	1	2	2	1	
TYPE H	2 BED	1	2	2	1	1
TYPE I	2 BED	1	3	2	1	1
TYPE J	2 BED	1	3	2	1	1
BUILDING D						
TYPE A	2 BED	1	2	2	1	1
TYPE B	1 BED	1	2	1		1
TYPE C	1 BED	1	2	2	1	
TYPE D	1 BED	1	1	1		
TYPE E	2 BED	1	3	2	1	1
TYPE F	2 BED	1	2	2	1	
TYPE G	1 BED	1	2	2	1	
TYPE H	2 BED	1	2	2	1	1
TYPE I	2 BED	1	3	2	1	1
TYPE J	2 BED	1	3	2	1	1

plateau PALEO Heights

BUILDING - C
4 STORY CONDOMINIUM BUILDING
(36 UNITS)
AT GRADE COMMERCIAL SPACELEVEL 1 = 100 000 ARCH = 85 950 GEO
LEVEL P1 = 96 400 ARCH = 81 900 GEO
USF = 95 650 ARCH = 81 150 GEO

45m MAX. FROM SIAMISE

plateau PALEO Heights

NORTH

FIRE HYDRANT

BRIAN COBURN

BUILDING - D
4 STORY CONDOMINIUM BUILDING
(47 UNITS)LEVEL 1 = 100 000 ARCH = 85 800 GEO
LEVEL P1 = 96 400 ARCH = 81 900 GEO
USF = 95 650 ARCH = 81 150 GEO

1 SITE PLAN - BLOCK 15

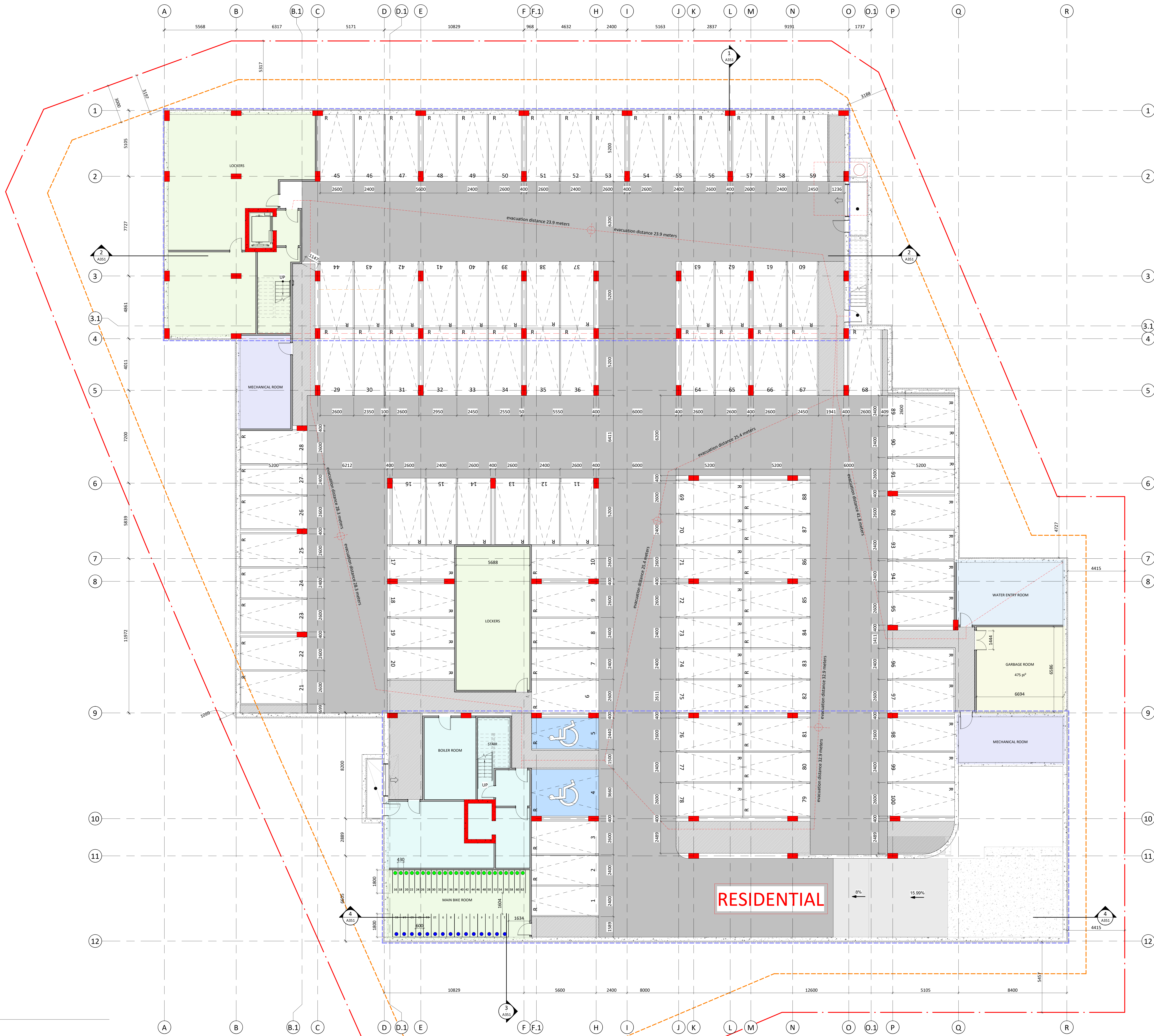
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10m

*** NOTE : THE BASE PLAN (LOT LINES, EXISTING ROADS AND SURROUNDINGS AREAS) IS BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY OF STANTEC GEOMATICS LTD REFERENCE NUMBER 161613834-114.



PROJECT

NAVAN ROAD DEVELOPMENT

2983, Navan Road, Orleans, ON K1C 7G4

OWNER

GROUPHEafeyGROUP

768, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL

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CIVIL ENGINEERS / PLANNER

J.L.Richards

ENGINEERS - ARCHITECTS - PLANNERS
1565 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 8R1

MECHANICAL & ELECTRICAL ENGINEERS

M&EENGINEERING

9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 1X6

SURVEYOR

Stantec

1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2C 3G4

ARCHITECT SEAL

ONTARIO ASSOCIATION
OF
ARCHITECTS

Pierre Martin
PIERRE MARTIN
LICENCE
8767

REVISIONS

NO	DESCRIPTION	DATE
6	FOR CITY REVIEW	2024-03-02
4	FOR REVIEW ONLY	2024-12-12
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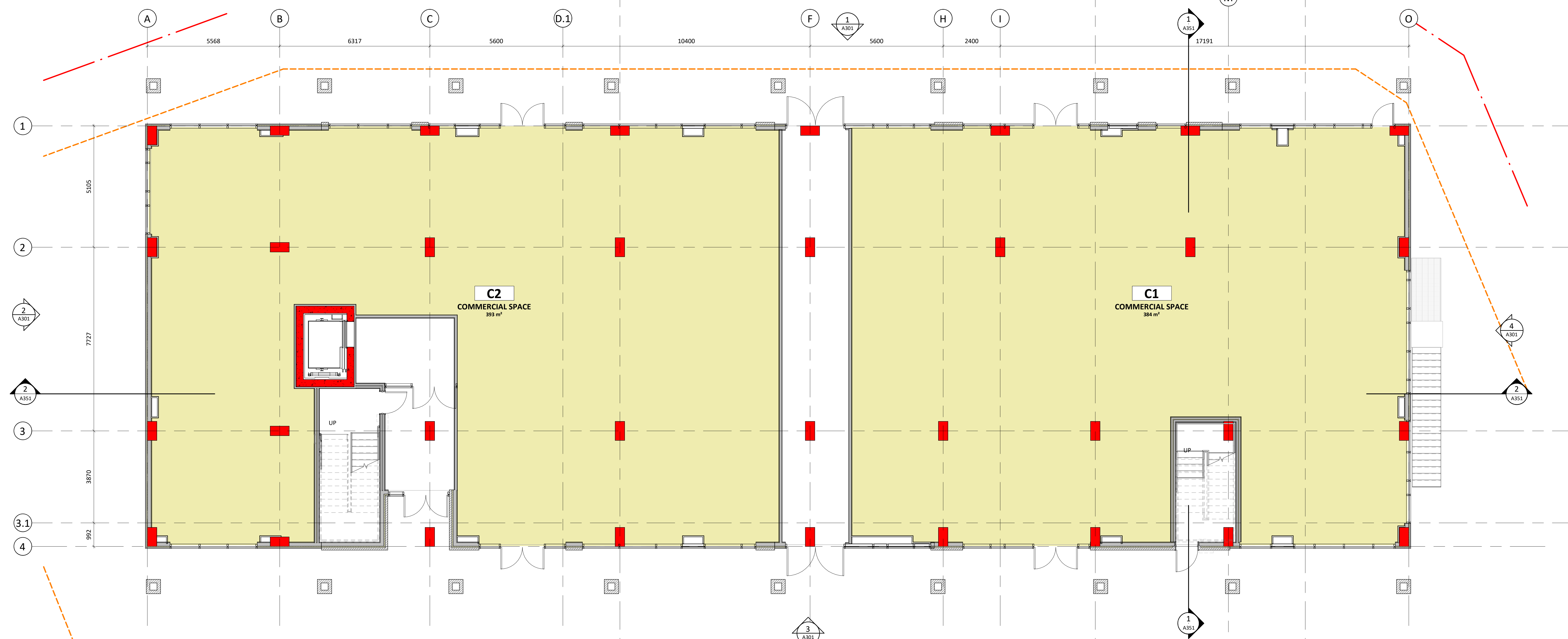
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FILE NUMBER **D07-12-24-0128**
PLAN NUMBER **#19207**

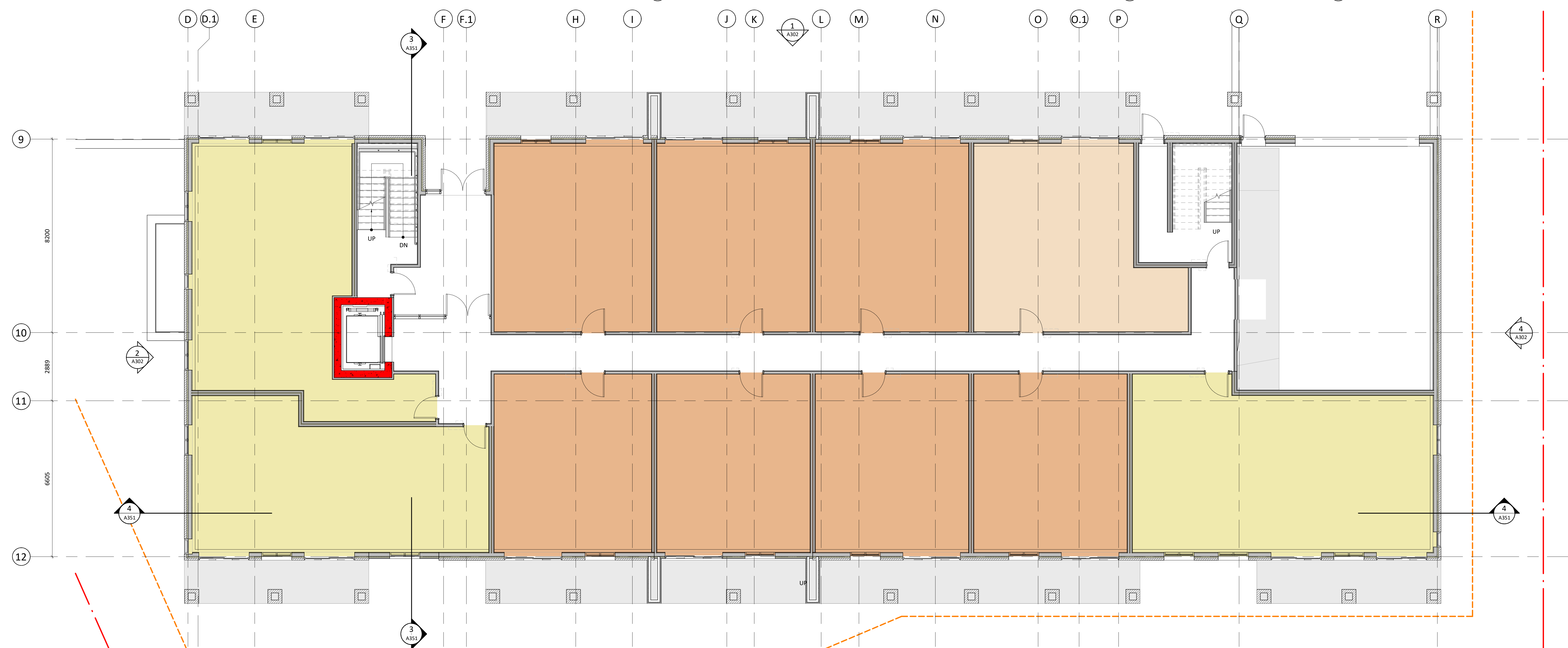
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DATE	DESIGNED
2025-03-02	P.POMERLEAU
DRAWN	
	P.POMERLEAU
CHECKED	
	P.POMERLEAU
SHEET TITLE	
GROUND FLOOR - BUILDING C & D	

SHEET No
A202



1 A301 1:75
BUILDING C - GROUND LEVEL 1



2 A302 1:75
BUILDING D - GROUND LEVEL 1

NO	DESCRIPTION	DATE
6	FOR CITY REVIEW	2024-03-02
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	DRAWN P.POMERLEAU
PROJECT No 20054	CHECKED P.MARTIN

SHEET TITLE
**2ND TO 4TH FLOOR - BUILDING C
& D**



NO	DESCRIPTION	DATE
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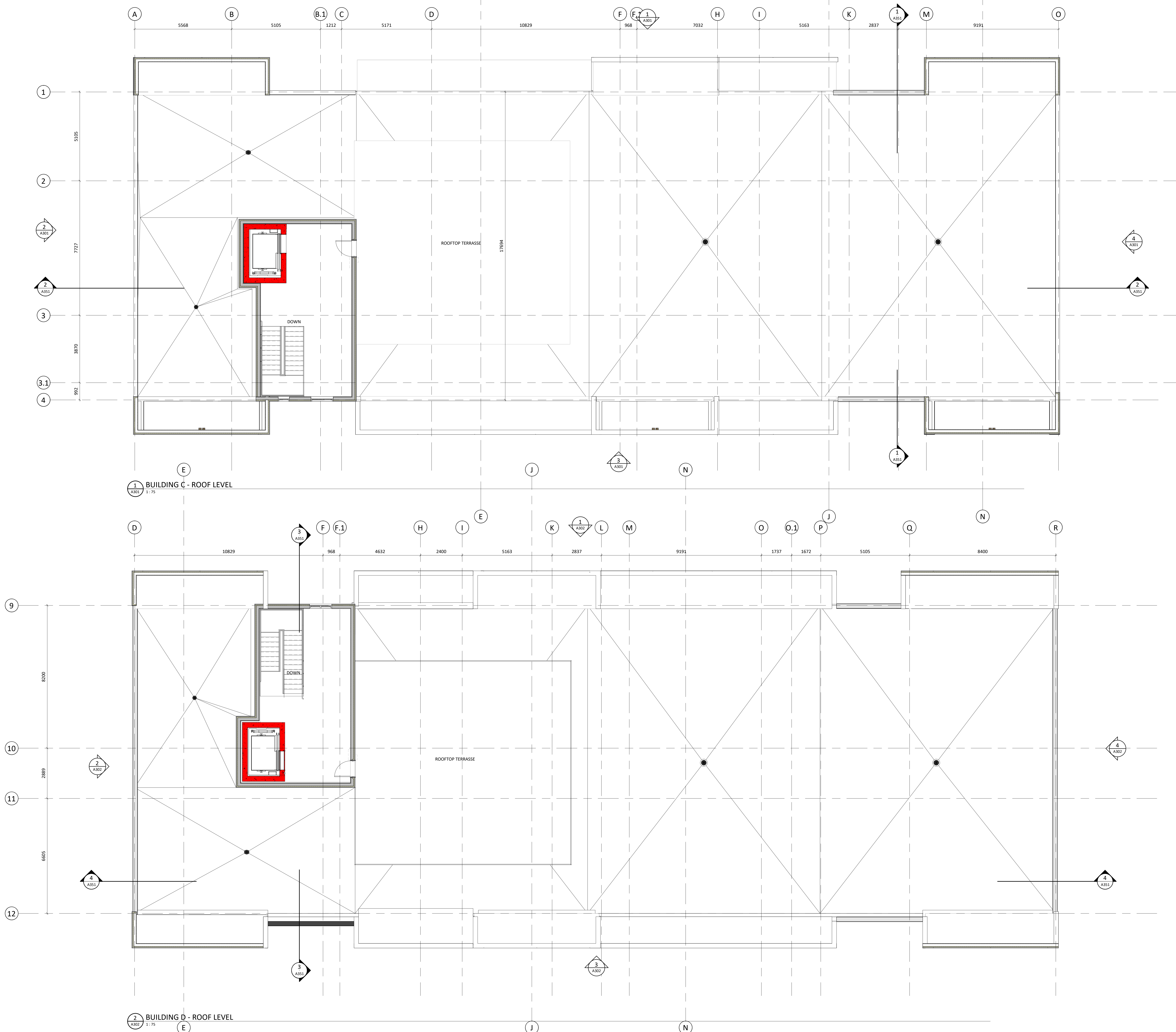
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PROJECT No 20054	CHECKED P.MARTIN
SHEET TITLE	

ROOF PLAN - BUILDING C & D



PROJECT

NAVAN ROAD DEVELOPMENT

2983, Navan Road, Orleans,
ON K1C 7G4

OWNER



788, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL



(418) 651-8954
INFO@PMAARCHITECTES.COM

3070, CHEMIN DES QUATRE-BOURGEOIS
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53, BOUL. SAINT-RAYMOND,
GATINEAU, QC J8Y 1R8

CIVIL ENGINEERS / PLANNER



ENGINEERS - ARCHITECTS - PLANNERS

1565 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 8R1

MECHANICAL & ELECTRICAL ENGINEERS



9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 7X6

SURVEYOR



1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2C 3G4

ARCHITECT SEAL



PIERRE MARTIN
LICENCE 8767

REVISIONS

NO	DESCRIPTION	DATE
6	FOR CITY REVIEW	2024-03-02
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1	FOR CITY REVIEW	2024-03-02

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DATE
2025-03-02

DESIGNED
P.POMERLEAU

DRAWN
P.POMERLEAU

PROJECT No
20054

CHECKED
P.MARTIN

SHEET TITLE

ELEVATION - BUILDING C

SHEET No
A301



1 EAST ELEVATION - BUILDING C
A202 1:100



2 NORTH ELEVATION - BUILDING C
A202 1:100



VERTICAL
LAP SIDING



VERTICAL BOARD &
BATTEN
DARK GREY



ALUMINUM
PANEL
BLACK



VERTICAL BOARD &
BATTEN
WHITE



ALUMINUM
PANEL
WHITE



MASONRY



3 WEST ELEVATION - BUILDING C
A202 1:100



4 SOUTH ELEVATION - BUILDING C
A202 1:100



1 EAST ELEVATION - BUILDING D
A302 1:100



2 NORTH ELEVATION - BUILDING D
A302 1:100



VERTICAL
LAP SIDING



VERTICAL BOARD &
BATTEN
DARK GREY



ALUMINUM
PANEL
BLACK



VERTICAL BOARD &
BATTEN
WHITE



ALUMINUM
PANEL
WHITE



MASONRY



3 WEST ELEVATION - BUILDING D
A302 1:100



4 SOUTH ELEVATION - BUILDING D
A302 1:100

PROJECT

NAVAN ROAD DEVELOPMENT

2983, Navan Road, Orleans,
ON K1C 7G4

OWNER



768, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL



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GATINEAU, QC J8Y 1R8

CIVIL ENGINEERS / PLANNER



ENGINEERS - ARCHITECTS - PLANNERS
1965 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 8R1

MECHANICAL & ELECTRICAL ENGINEERS



9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 1X6

SURVEYOR



1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2C 3G4

ARCHITECT SEAL



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DATE
2025-03-02

DESIGNED
P.POMERLEAU

DRAWN
P.POMERLEAU

PROJECT No
20054

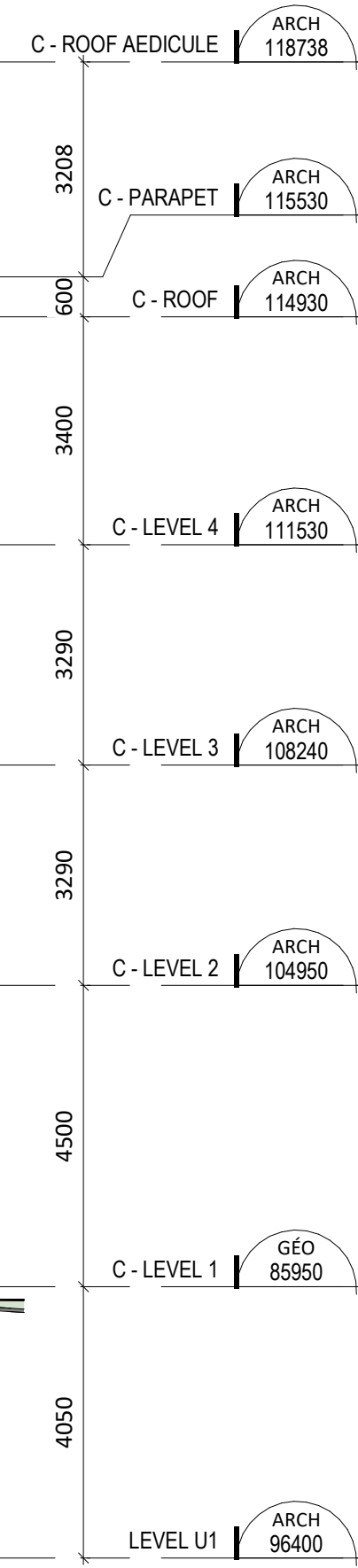
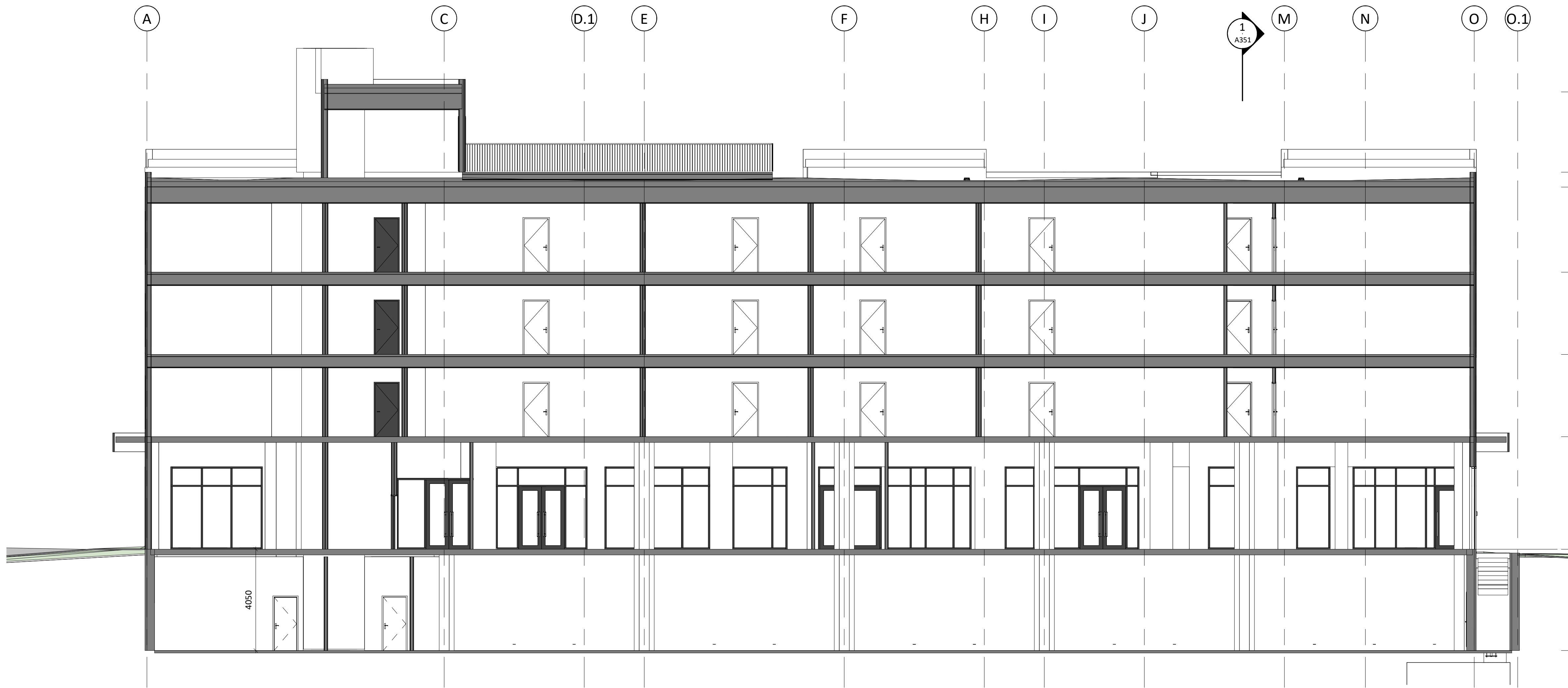
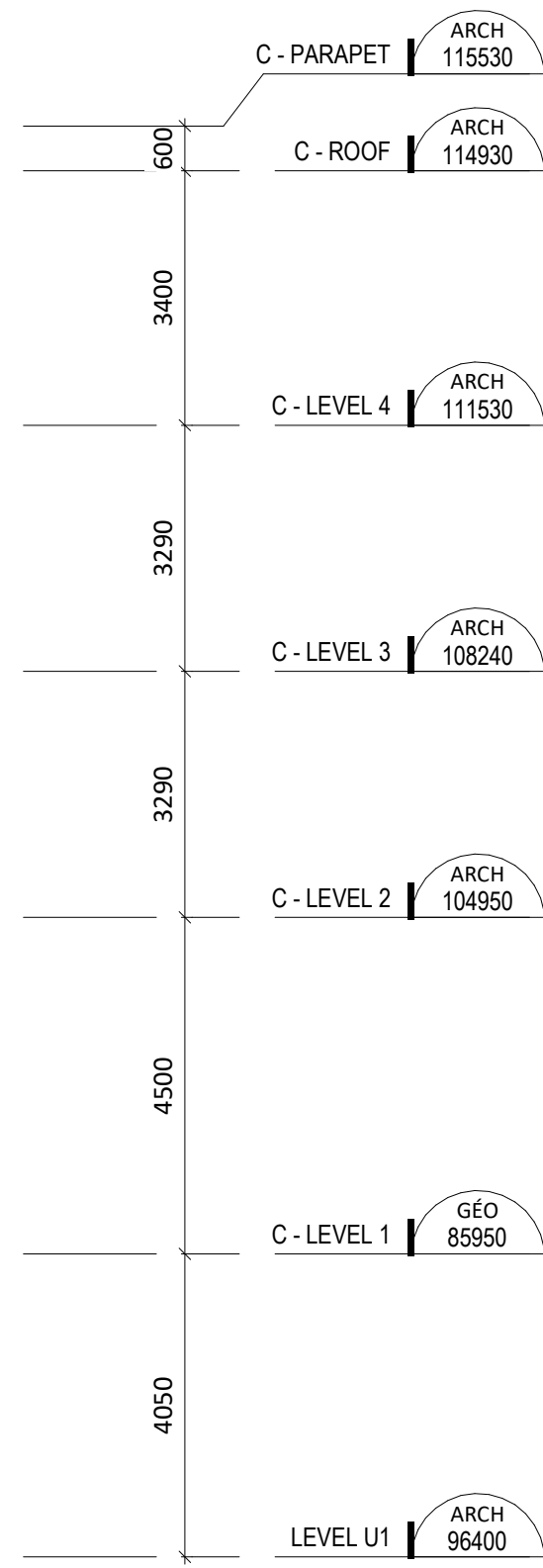
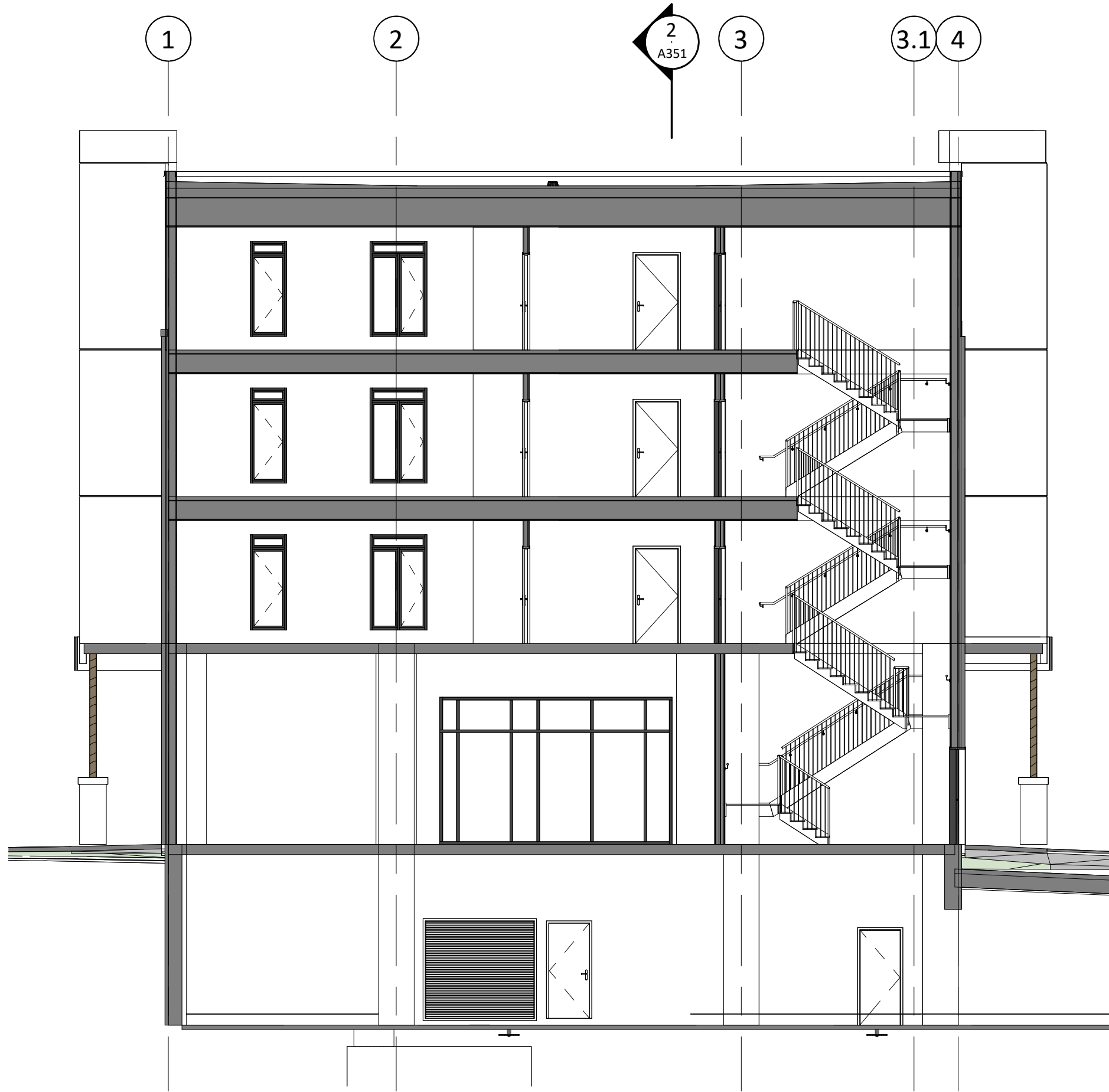
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P.MARTIN

SHEET TITLE

ELEVATION - BUILDING D

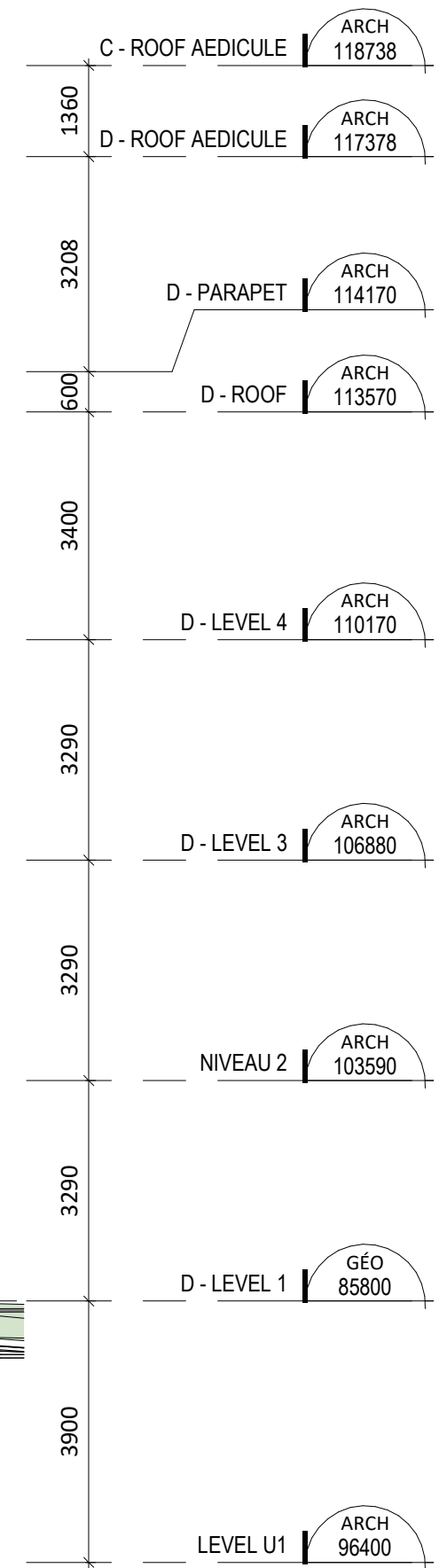
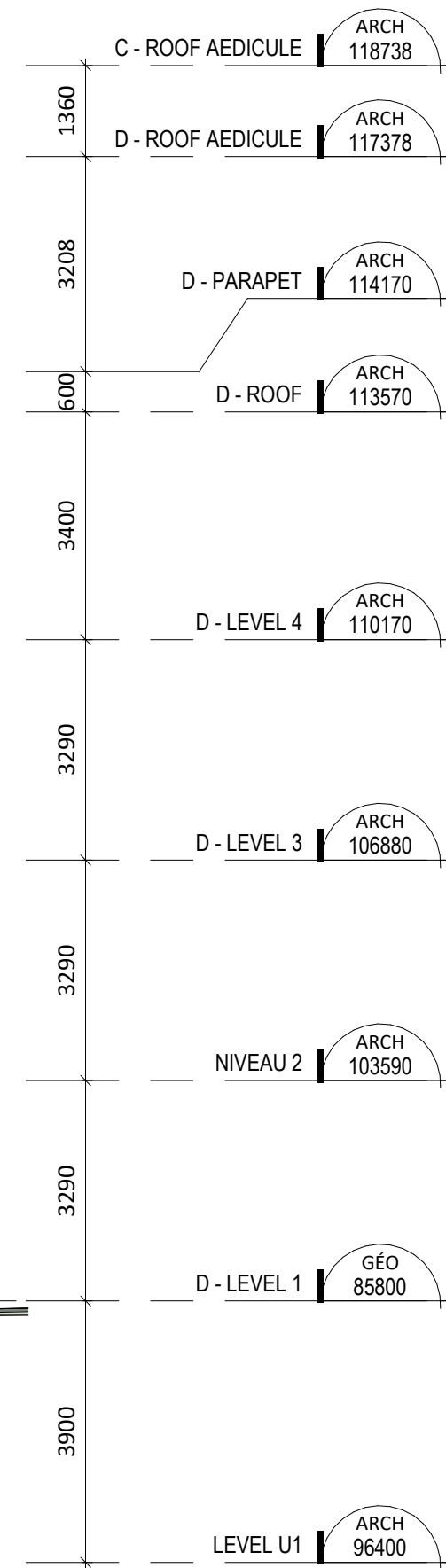
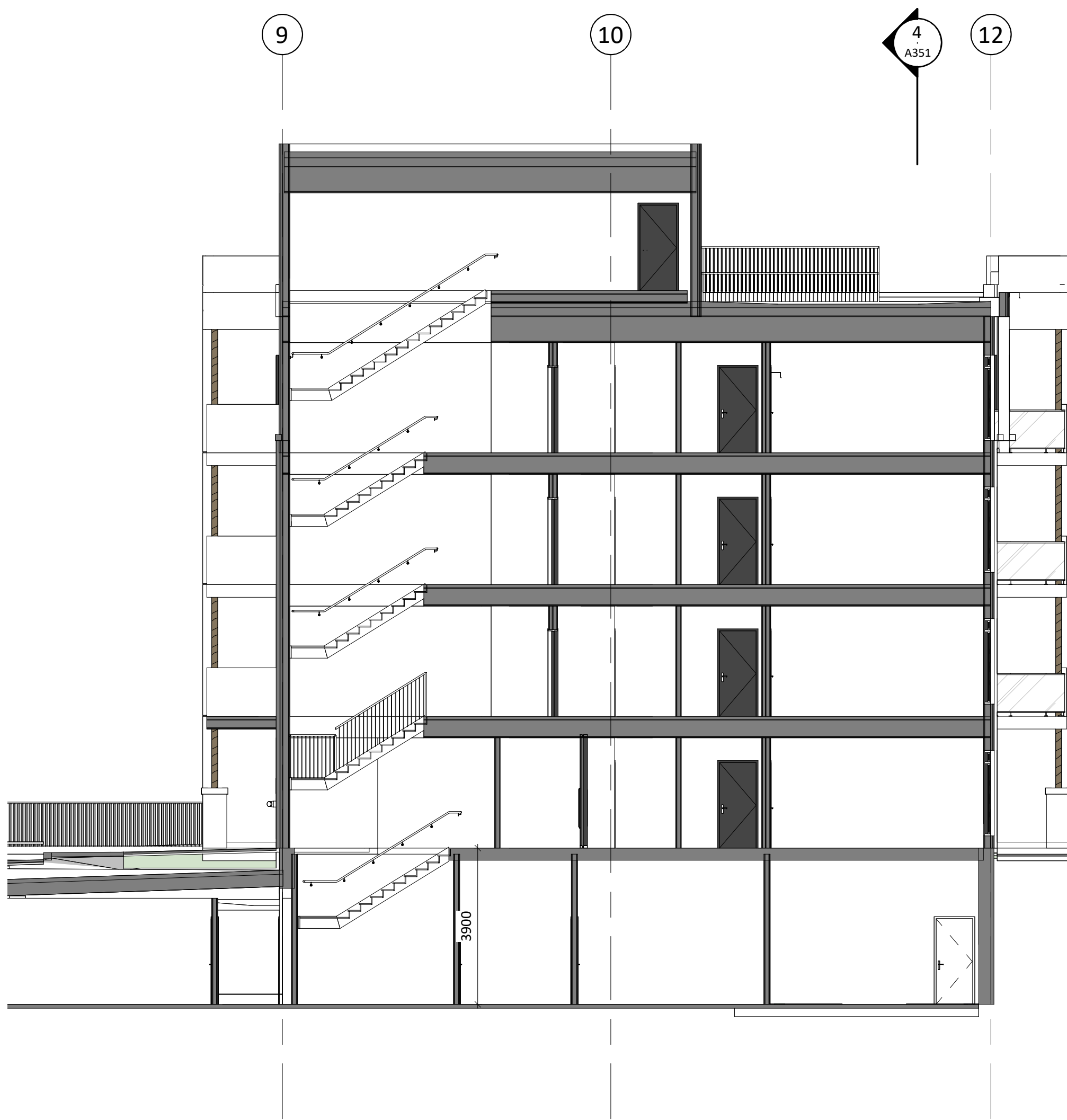
SHEET No

A302



1 TRANSVERSAL SECTION - BUILDING C
A351 1:100

2 LONGITUDINAL SECTION - BUILDING C
A201 1:100



3 TRANSVERSAL SECTION - BUILDING D
A351 1:100

4 LONGITUDINAL SECTION - BUILDING D
A201 1:100

PROJECT

NAVAN ROAD
DEVELOPMENT

2983, Navan Road, Orleans,
ON K1C 7G4

OWNER

GROUPHE
Heafey
GROUP

768, BOUL. SAINT-JOSEPH, SUITE 100
GATINEAU, QC J8Y 4B8

ARCHITECTURAL

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CIVIL ENGINEERS / PLANNER

J.L.Richards
ENGINEERS - ARCHITECTS - PLANNERS

1965 CARLING AVENUE, SUITE 700,
OTTAWA, ON K1Z 8R1

MECHANICAL & ELECTRICAL ENGINEERS

M&E
ENGINEERING

9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 7X6

SURVEYOR

Stantec

1331 CLYDE AVENUE, SUITE 400,
OTTAWA, ON K2C 3G4

ARCHITECT SEAL



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PROJECT No 20054	CHECKED P.MARTIN

SHEET TITLE

GENERAL SECTION

SHEET No

A351