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| SIGNAGE LEGEND: | | PAINTING LEGEND: |
| REFER TO SPEC SECTION 10 14 54
TRAFFIC SIGNAGE | | REFER TO SPEC SECTION 32 17 23 PAINTING
TRAFFIC LINES AND MARKINGS |
|  NO TRESPASSING |  LANDSCAPE AREA
REFER TO LANDSCAPE PLAN |  WHITE PAINTED BARRIER-FREE
PARKING SYMBOL AND PARKING
LINES |
|  FIRE ROUTE |  CONCRETE PAD AND SIDEWALK |  WHITE PAINTED CAR PARKING
LINES |
|  BARRIER-FREE PARKING |  ASPHALT |  WHITE PAINTED SYMBOL FOR
ELECTRIC CAR CHARGING STATION |
|  STOP SIGN |  6m WIDE FIRE ROUTE, REFER
TO CIVIL | |
| |  PAVERS
REFER TO LANDSCAPE PLAN | |
| |  LOADING SPACE
PER ZBL SECTION 113, TABLE 113B | |
| |  NEW DEPRESSED CURB | |
| |  NEW CURB | |
| |  IN-GROUND BOLLARD, REFER
TO DETAIL 1/A002 | |
| |  BLOCK HEATER, REFER TO
DETAIL 2/A002 | |
| |  RECEPTACLE, REFER TO
DETAIL 1/A003 | |
| |  CONDUIT STUB UP FOR
FUTURE ELEC. EQUIPMENT | |
| |  EV CHARGER, REFER TO
DETAIL 11/A002 | |

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

CIVIL ENGINEER
NOVATECH
240 MICHAEL COWPLAND DRIVE, SUITE 200
OTTAWA, ON
K2M 1P6

ARCHITECT
N45 ARCHITECTURE INC.
ROBERT MATTHEWS
71 BANK STREET, 7TH FLOOR
OTTAWA, ON
K1P 5N2

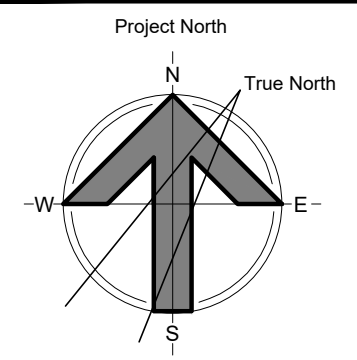
ZONING MECHANISM	REQUIRED	PROVIDED	FUTURE EXPANSION
ADDRESS	5494-5510 BOUNDARY ROAD GLOUCESTER, ON	TRUCK TRANSPORT TERMINAL AND CROSS DOCK	
DEFINITION	RG RURAL GENERAL INDUSTRIAL ZONE		
MIN. LOT WIDTH	30 m	200 m	200 m
MIN. LOT AREA	4, 000 m ²	31,969.7 m ²	31,969.7 m ²
MIN. FRONT YARD SETBACK	15 m	56.39 m	56.39 m
MIN. CORNER SIDE SETBACK	12 m	N/A	N/A
MIN. INT. SIDE YARD SETBACK	8 m	62.9 m	62.9 m
MIN. REAR YARD SETBACK	15 m	167.7 m	126.8 m
MAX. LOT COVERAGE	50%	14%	17%
MAX. BUILDING HEIGHT	15 m	8 m	8 m
MIN. WIDTH OF LANDSCAPING	1.5 m	MIN. 3 m	MIN. 3 m
STANDARD PARKING SPACE	2.6m x 5.2m (max 3.1m wide)	2.6m x 5.2m	
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 5.2m (TYPE A), 2.4 x 5.2m (TYPE B)	
PARKING REQUIREMENTS AREA D: RURAL	46 OFFICE: 2.4 / 100 m ² G.F.A CROSS DOCK: 0.8 / 100 m ² G.F.A	90	90 (54 required)
BARRIER-FREE PARKING	3	2 (TYPE A) + 2 (TYPE B)	
LOADING SPACES	1 (MIN. 3.5 m WIDE x 7 m LONG)	72	90
BICYCLE PARKING RATE	3 (1 / 2000 m ² of G.F.A.)	4	4 (3 required)
GROSS FLOOR AREA		4,440 m ² (47,790 s.f.)	5,435 m ² (58,500 s.f.)
BUILDING AREA (FOOTPRINT)		4,400 m ² (47,360 s.f.)	5,395 m ² (58,070 s.f.)
OFFICE AREA		642 m ² (6,910 s.f.)	642 m ² (6,910 s.f.)
CROSS DOCK AREA		3,758 m ² (40,450 s.f.)	4,753 m ² (51,160 s.f.)



06	SPA COMMENTS RESPONSE	12 DEC 2024
04	ISSUE FOR BUILDING PERMIT	24 OCT 2024
04	ISSUE FOR 90% SUBMISSION	03 OCT 2024
03	ISSUE FOR SITE PLAN CONTROL APPLICATION	24 SEPT 2024
02	ISSUE FOR 60% SUBMISSION	15 AUG 2024
01	ISSUE FOR 30% SUBMISSION	27 JUNE 2024
no.	revision	date

71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

5494-5510 BOUNDARY ROAD
GLOUCESTER, ON



seal

ONTARIO ASSOCIATION
OF
ARCHITECTS
ROBERT C. MATTHEWS
LICENCE
2966

DO NOT SCALE DRAWINGS

06

CITY PLAN NO. XXXX

CITY'S FILE NUMBER: D07-XX-XX-XXXX