

GENERAL SITE PLAN NOTES:

TOPOGRAPHICAL INFORMATION:
 PART OF BLOCK 1
 REGISTRATION PLAN 4M-1563
 GEOGRAPHIC TOWNSHIP OF MARCH
 CITY OF OTTAWA

SURVEY BY: STATATED GEOMATICS LTD.
 BY LAW NUMBER: 2008-250
 SCHEDULE 11A AREA: AREA C

SITE AND BUILDING DATA:

NEW SITE SUB-DIVISION AREA	4,624 m ²
BUILDING HEIGHT:	
MINIMUM HEIGHT:	N/A
MAXIMUM HEIGHT:	45M
BUILDING HEIGHT PROVIDED:	9.25M
AREAS:	
GROSS BUILDING AREA (1) (1*)	1270 m ² 13668.84 ft ²
GROSS FLOOR AREA (2) (2*)	1070 m ² 11609.94 ft ²

(1*) SEE GROSS BUILDING AREA NOTES BELOW

GENERAL NOTES:

- FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO LANDSCAPE ARCHITECTURE DRAWINGS.
- FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.

GROSS BUILDING AREA:
 (1*) (ONTARIO BUILDING CODE DEFINITION):
 THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.

GROSS FLOOR AREA:
 (2*) (CITY OF OTTAWA ZONING, BYLAW):
 DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND:

EXCLUDING:

- INTERIOR PARKING / LOADING (DRIVE THRU).
- FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING. (BY-LAW 2008-326)
- COMMON HALLWAYS; CORRIDORS; STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS. (BY-LAW 2008-326)
- BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES; COMMON LAUNDRY, STORAGE AND WAREHOUSE FACILITIES THAT SERVE THE BUILDING OR TENANTS.
- COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING. (BY-LAW 2008-326)
- COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING. (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.

ZONING:

ZONING DESIGNATIONS (PART 10):

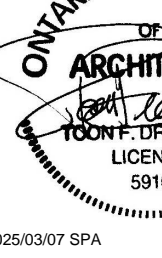
EXISTING ZONING: MC-MIXED USE CENTRE (H45)

GENERAL NOTES

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

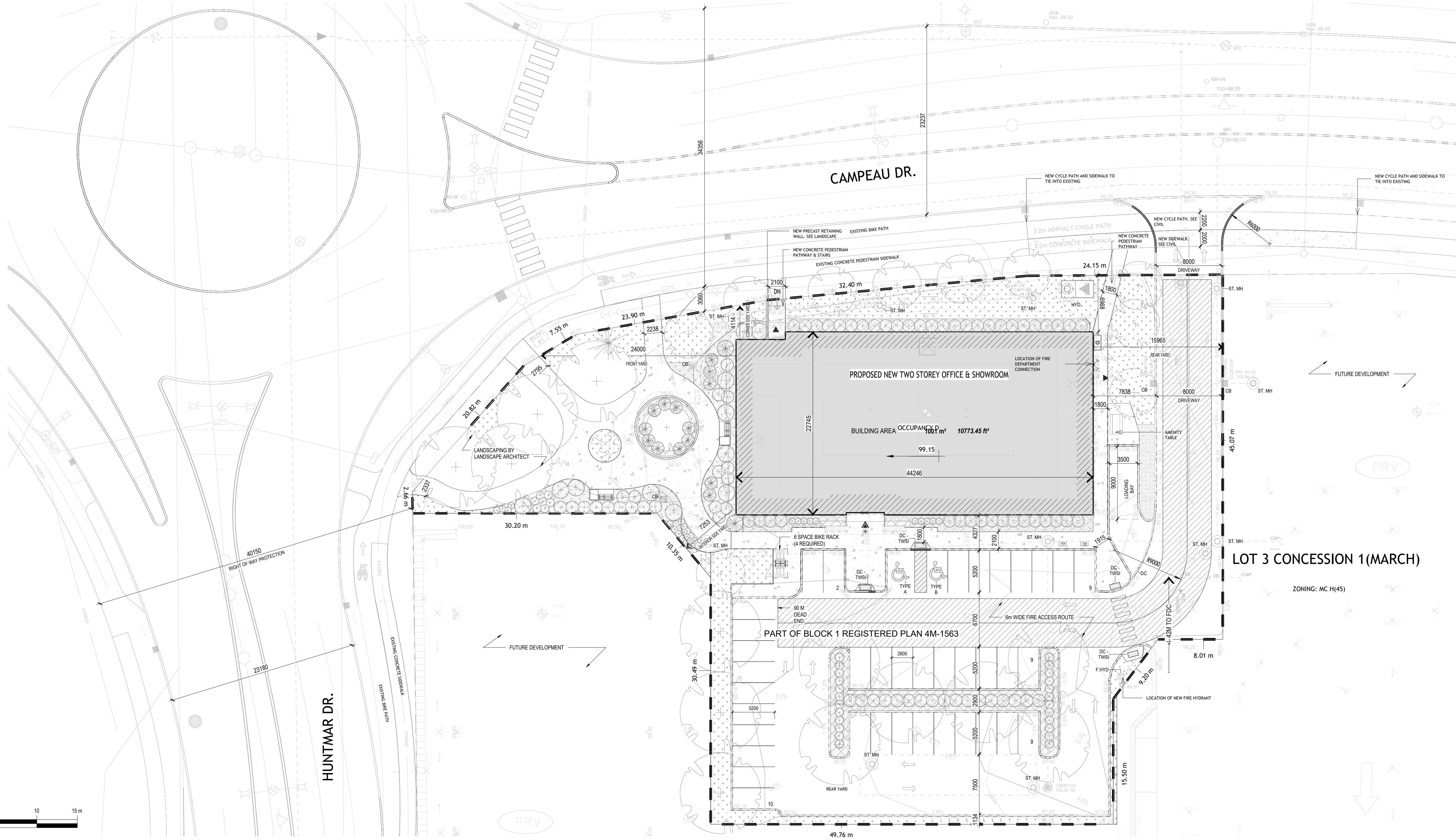
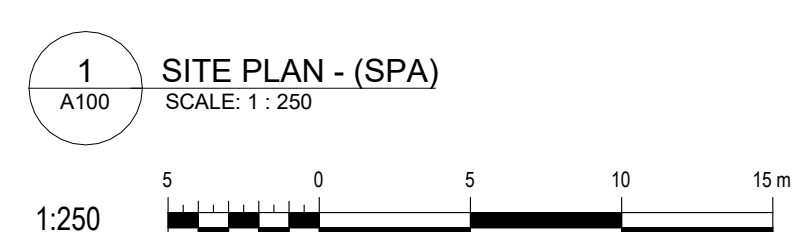
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2025-03-27 5PM

ISSUE RECORD		
NO.	DESCRIPTION	DATE
1	SITE PLAN APPLICATION	2024-10-15
2	SITE PLAN APPLICATION UPDATE	2025-01-27
3	SITE PLAN APPLICATION UPDATE	2025-03-06



PROVISIONS		REQUIRED	PROHIBITED
MINIMUM LOT WIDTH (m):		NO MIN.	19.81 M
MINIMUM LOT AREA (m ²):		NO MIN.	24.34 M
MINIMUM FRONT YARD SETBACK:		NO MIN.	24.34 M
MINIMUM REAR YARD SETBACK:		NO MIN.	15.9 M
MINIMUM INTERIOR SIDE YARD SETBACK:		NO MIN.	15.9 M
MINIMUM CORNER SIDE YARD SETBACK:		NO MIN.	4.1 M
MAXIMUM FLOOR SPACE INDEX:		NO MAX.	0.24

LANDSCAPING (SECTION 110):

REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA

PARKING AREA (HARDSCAPE)	PAVING / HARDSCAPE AREAS PROVIDED	PAVING / HARDSCAPE AREAS REQUIRED
2396 m ²	359.3 m ²	LANDSCAPE AREA PROVIDED
LANDSCAPING		1228 m ²

VEHICLE PARKING (SECTION 101):

OFFICE: N59° 12' E 100 m± = 124.6 m ± 0.034

MINIMUM REQUIRED: 26

PARKING FOR THE PHYSICALLY DISABLED (PARKING BYLAW 2003-30, SECTION 122):

MINIMUM REQUIRED: No. [1x TYPE 'A' 1x TYPE 'B']

NUMBER PROVIDED: No. [1x TYPE 'A' 1x TYPE 'B']

(*) PARKING PROVIDED:	PARKING BY TYPE:	No.
PARK-S-2X2-6	1. SITE PARKING	37
PARK-BF-S-2X3-4-TYPE-A-2	2. BARRIER FREE BAY TYPE A 1	1
PARK-BF-S-2X2-6-TYPE-B-3	3. BARRIER FREE BAY TYPE B 1	1
PARKING TOTAL PROVIDED:		39

BICYCLE PARKING (SECTION 111):	
MINIMUM REQUIRED (OFFICE): NUMBER PROVIDED:	[1 / 250m ²] : 1085 / 250 = 4 6

LOADING ZONE (SECTION 113):	
MINIMUM REQUIRED: NUMBER PROVIDED:	1 1* [3.5M x 9M]

CLIENT
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200 180 KENT STREET, OTTAWA, ON, K1P 0B6
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JAMES B. LENNOX & ASSOCIATES INC.
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DCA

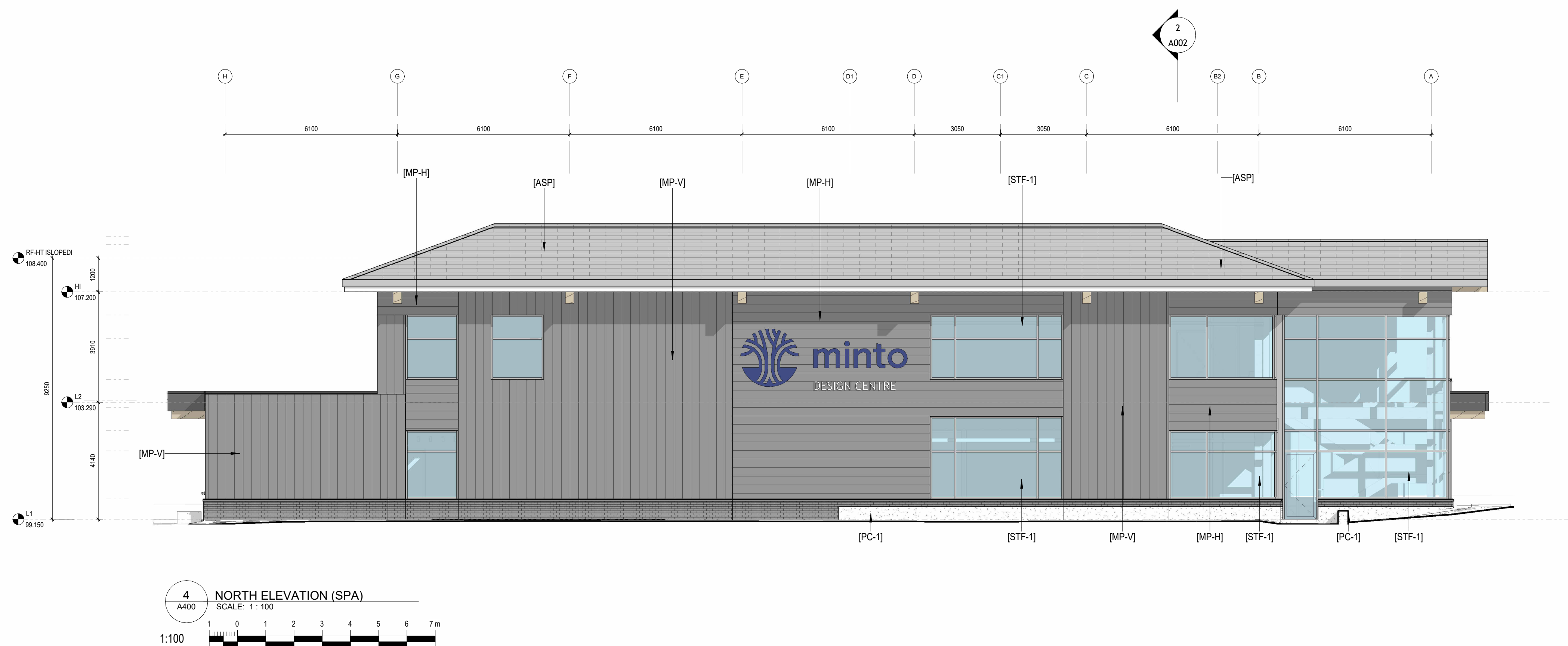
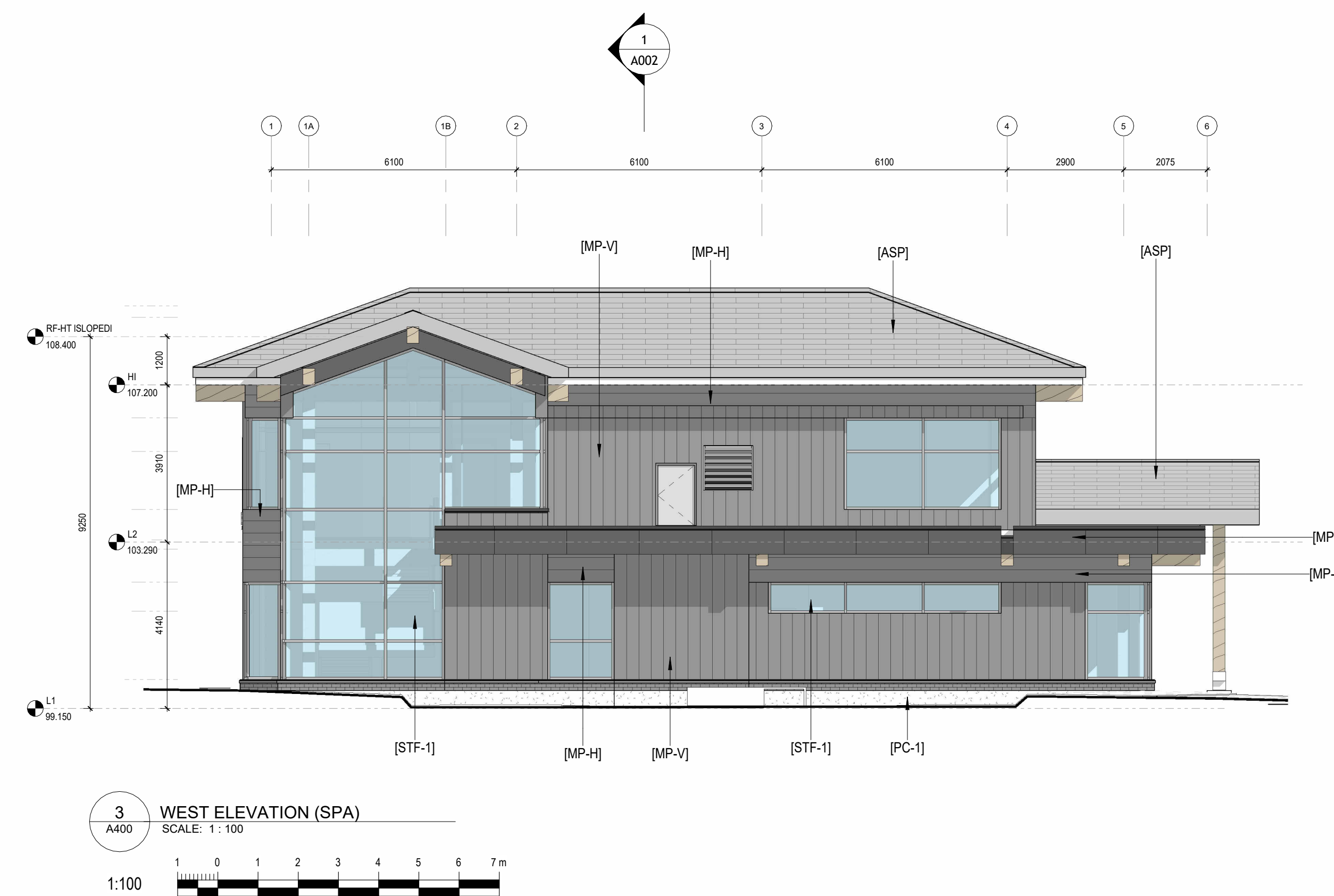
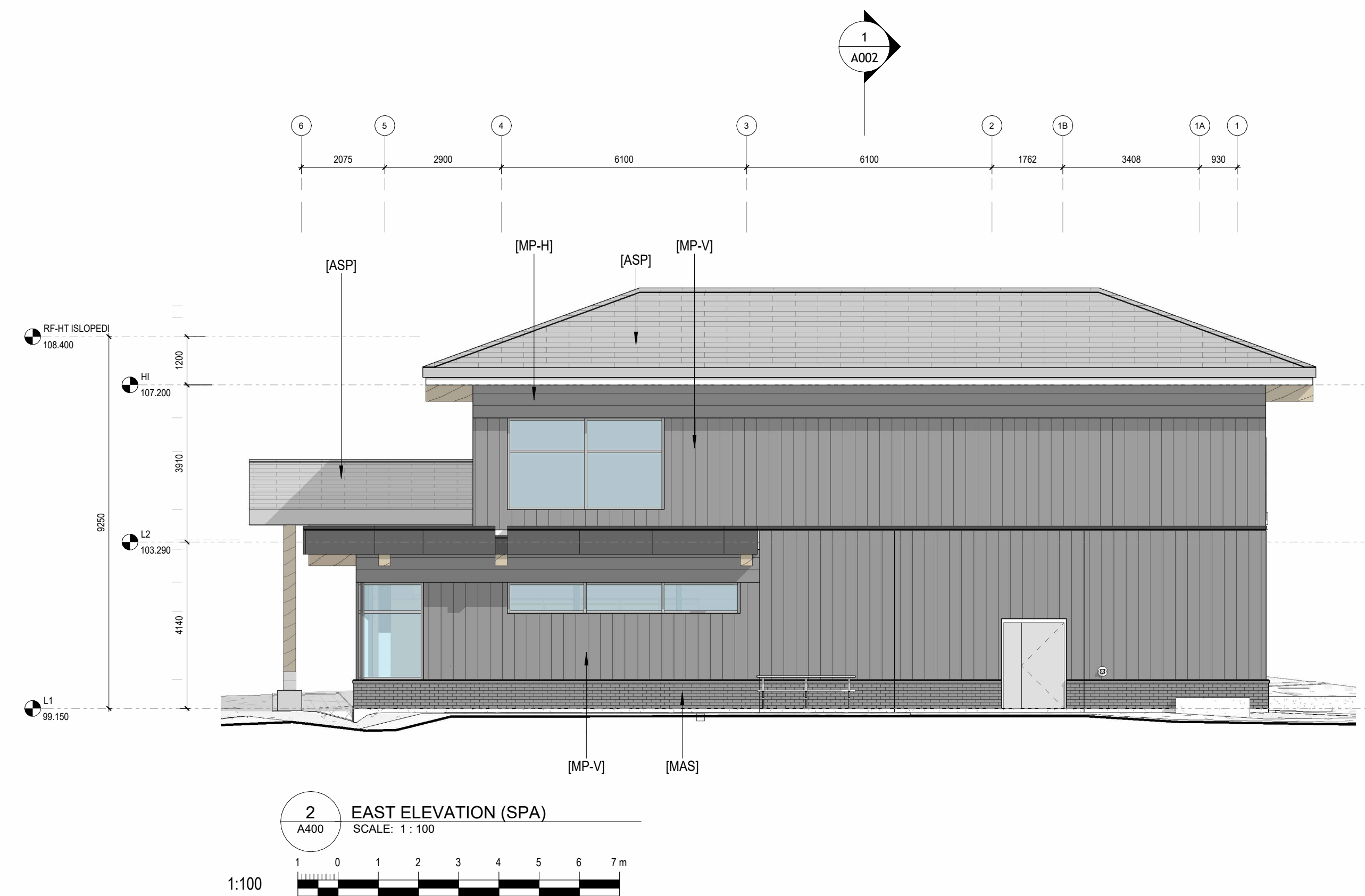
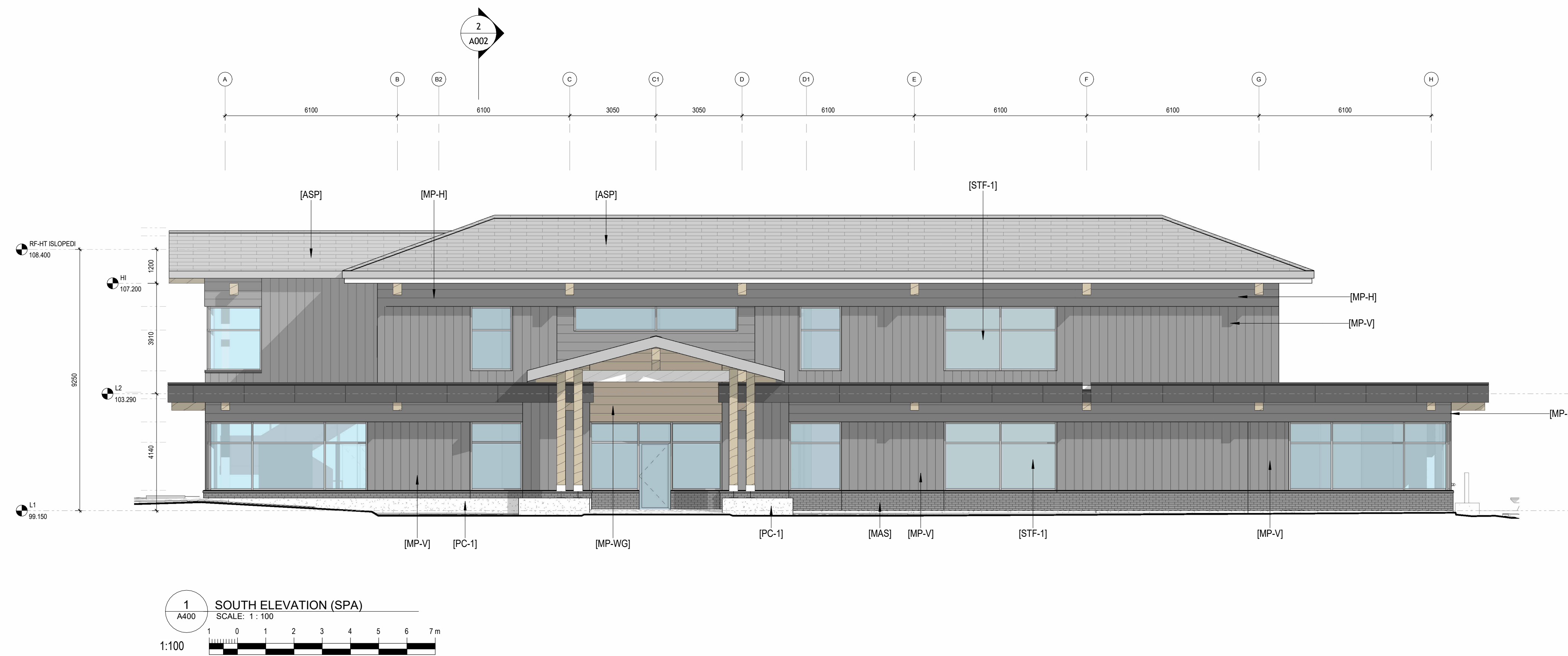
A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8

PROJECT TITLE
MINTO DESIGN CENTRE

DRAWING TITLE
SITE PLAN (SPA)

DATE 2025-01-17	DRAWN	JOB NO. 3622	DRAWING NO. A100
SCALE As indicated	REVIEWED Checker		

ARCHITECTURAL



ELEVATION LEGEND:	
[MP]	METAL PANEL. SEE SPECIFICATIONS.
[MP-H]	HORIZONTAL METAL SIDING.
[MP-V]	VERTICAL METAL SIDING.
[MP-WG]	HORIZONTAL METAL SIDING (WOOD GRAIN).
[ASP]	ASPHALT SHINGLE.
[PFC]	PREFINISHED METAL CAP.
[PFM]	PREFINISHED METAL.
[MAS]	MASONRY VENEER.
[PC-1]	PRECAST CONCRETE. SEE STRUCTURAL.
[STF-1]	CURTAINWALL STOREFRONT GLAZING.
[CW00]	CURTAIN WALL WINDOW. SEE SCHEDULE.

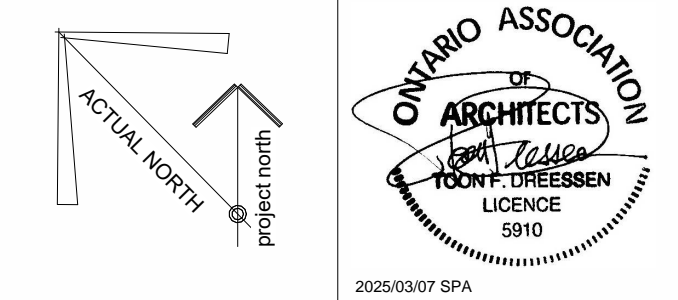
NOTES

GENERAL NOTES

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2. IF DIMENSIONS ARE IN CONFLICT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY.
3. CONTRACTOR TO VERIFY DIMENSIONS ON SITE. REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY.
4. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION SEQUENCE AND SCHEDULING TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
5. ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITIONS ON THE ONTARIO REGISTRY OF PROFESSIONAL ENGINEERS AND ARCHITECTS (R.P.E.A.) NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
6. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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TEL: 613-722-5168



PROJECT TITLE	MINTO DESIGN CENTRE
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DRAWING TITLE
ELEVATIONS (SPA)

DATE 2025-01-17	DRAWN	JOB NO. 3622	DRAWING NO. A400
SCALE As indicated	REVIEWED Checker		

ARCHITECTURAL