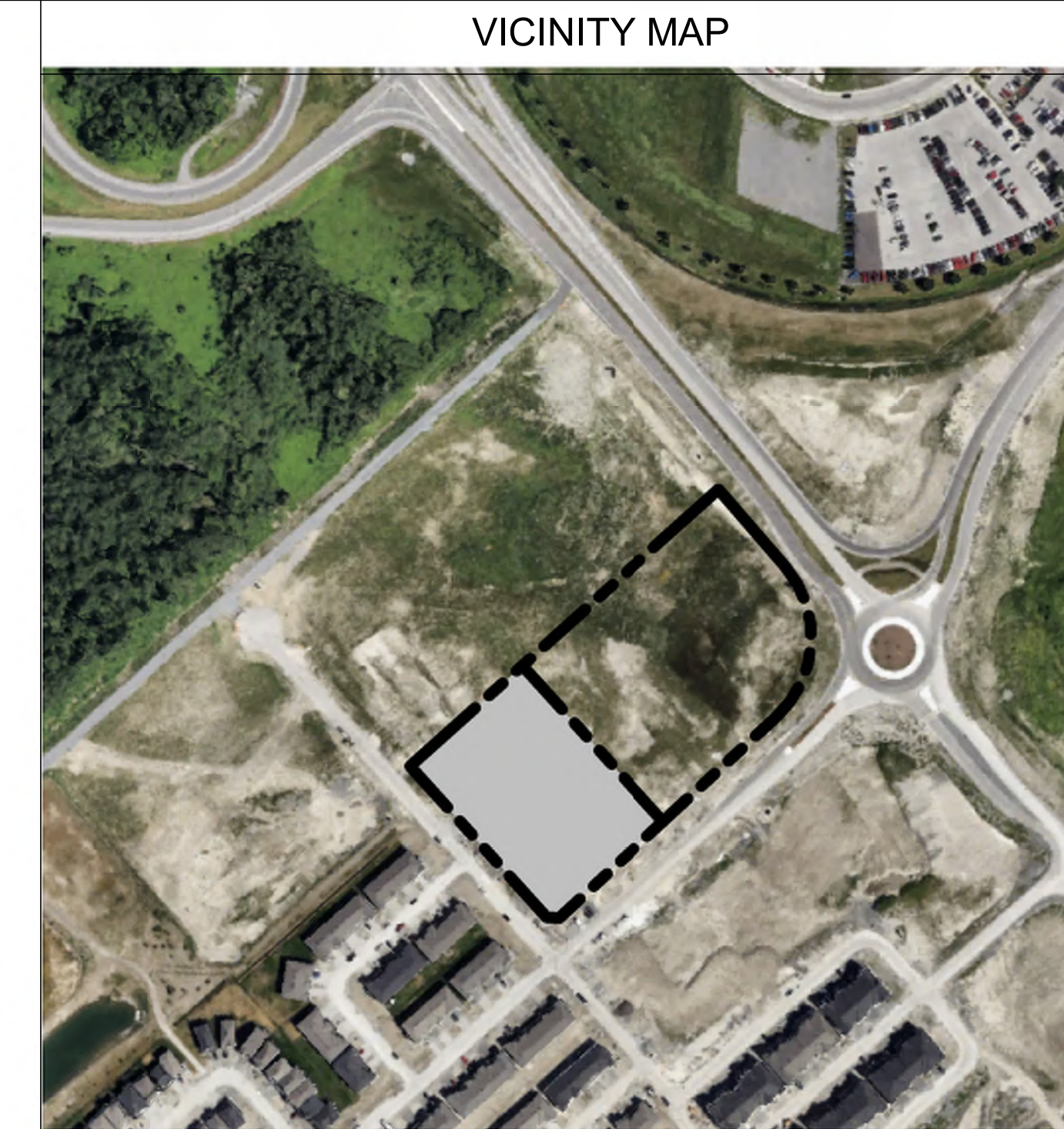


**LIST OF DRAWINGS**

- A0.00 COVER PAGE
- A1.00 SITE PLAN
- A1.01 SURFACE & UNDERGROUND PARKING PLAN
- A1.01b BIKE PARKING & STORAGE
- A1.02 FIRE + EMERGENCY ACCESS PLAN
- A1.03 WASTE + RECYCLING PLAN
- A1.04 SITE ACCESSORIES
- A1.05 SITE ACCESSORIES
- A1.06 SURROUNDING AREA PERSPECTIVE
- A1.07 SITE PERSPECTIVES
- A1.08 R.O.W. CONSTRUCTION AREA - PRELIMINARY
- A2.00 PARKADE FLOOR PLAN
- A2.01 FIRST FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 THIRD FLOOR PLAN
- A2.04 FOURTH FLOOR PLAN
- A2.05 FIFTH FLOOR PLAN
- A2.06 SIXTH FLOOR PLAN
- A2.07 ROOF PLAN
- A3.00 ELEVATION - COLOUR
- A3.01 ELEVATION - COLOUR

# PALLADIUM TERRACE

## 425 CULDAFF RD OTTAWA, ON



\*VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION\*



**PROJECT TEAM:**

**APPLICANT:**

**B BROADSTREET**  
PROPERTIES LTD.  
100 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
www.broadstreet.ca

**CONSTRUCTION:**

**SEYMOUR PACIFIC**  
DEVELOPMENTS LTD.  
100 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
www.seymourpacific.ca

**STRUCTURAL  
ENGINEERING:**

-

**CIVIL ENGINEERING:**

**NOVATECH**  
240 Michael Cowpland Drive  
Suite 200, Ottawa, ON  
K2M 1P6  
613.254.9643

**LANDSCAPE ARCHITECT:**

**STUDIO RED LANDSCAPE  
ARCHITECTURE INC.**  
76 Chamberlain Ave.  
Ottawa, ON K1S 1V9  
613-866-4551

**MECHANICAL & ELECTRICAL  
ENGINEERING:**

-

**ARCHITECT:**

**ABELEARCHITECTURE**  
Thomas Abele, Architect OAA  
2001 - 1755 Haro Street  
Vancouver, B.C. V6G 1H2  
604-682-6818



VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	177	212	177
VISITORS	0.2 / UNIT	177	35	35
<b>TOTAL PARKING STALLS</b>			<b>247</b>	<b>212 *</b>
<b>OTHER PARKING PROVISIONS</b>				
SMALL CAR	MAX 50%		MAX 107	90
ACCESSIBLE TYPE A			3	3

\* SUBJECT TO VARIANCE

BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
<b>TOTAL BICYCLE</b>			<b>89</b>	<b>108</b>
<b>OTHER BICYCLE PROVISIONS</b>				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68

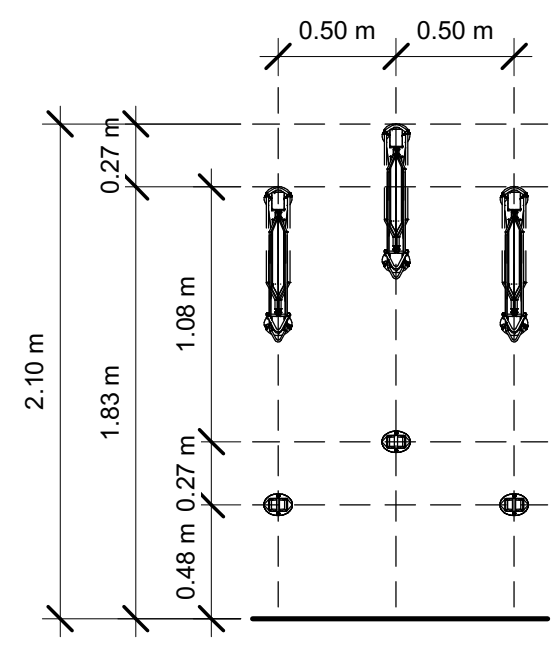
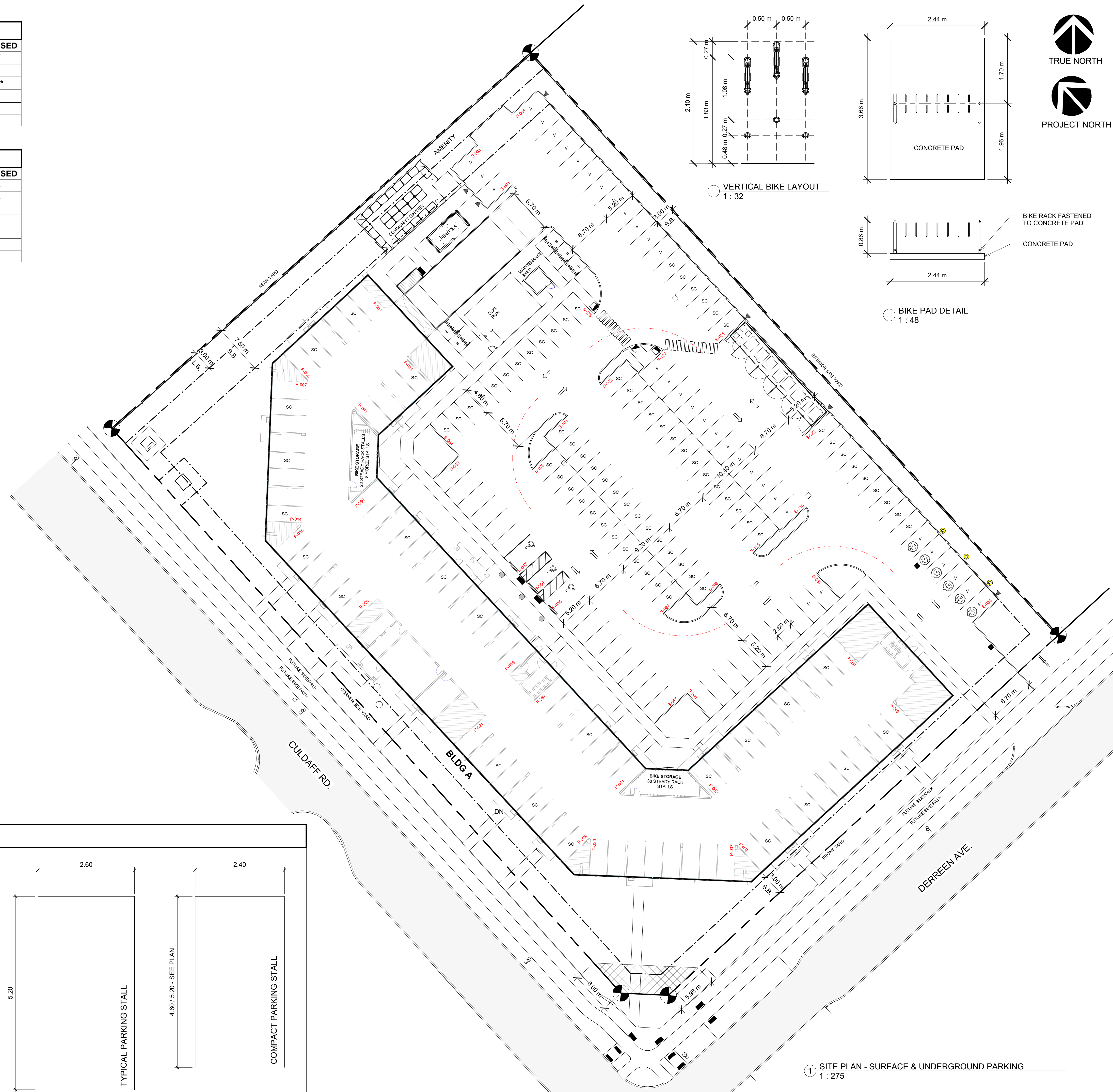
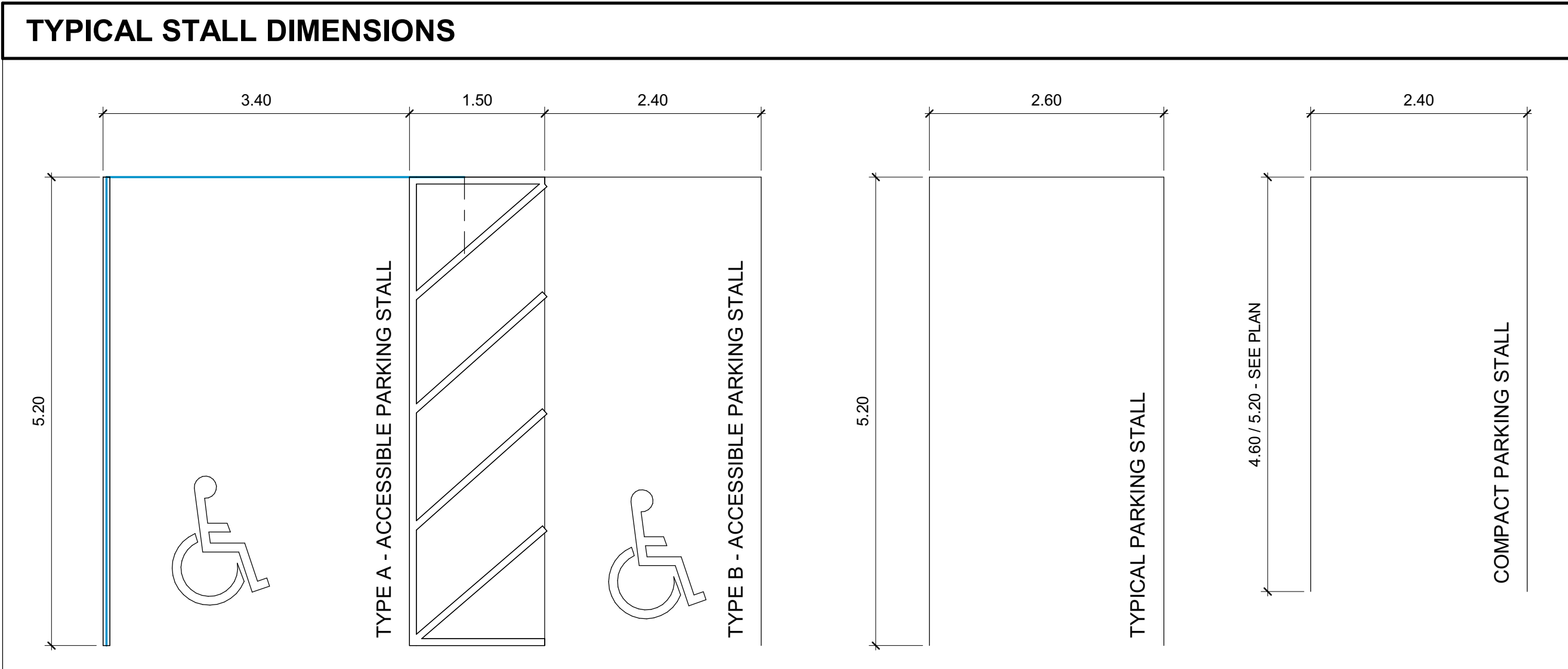
**PARKING KEY NOTES:**

LETTER:

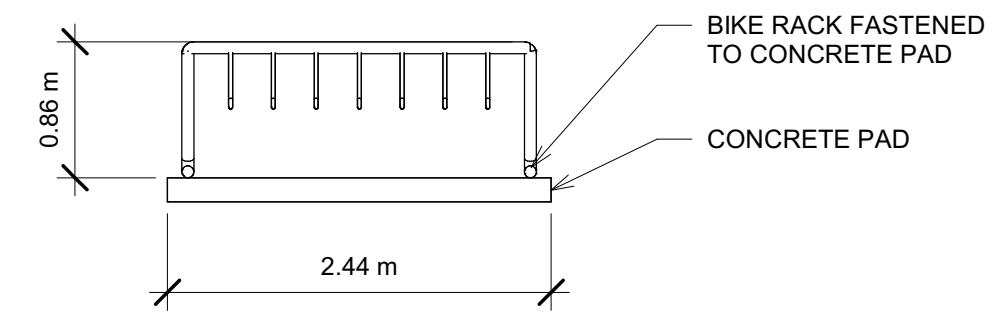
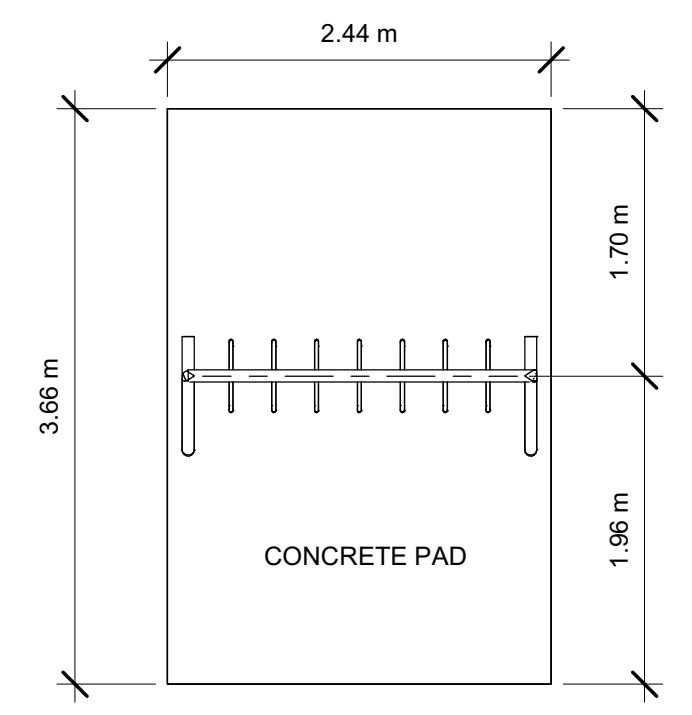
SC = SMALL CAR  
V = VISITOR

UNLESS NOTED ALL OTHER STALL ARE TYPICAL

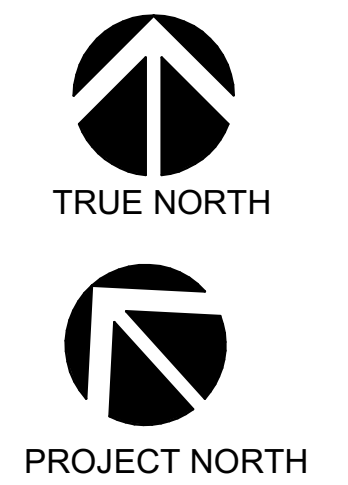
	EV CAPABLE CHARGER
	ACCESSIBLE PARKING SIGN
	VISITOR PARKING SIGN



VERTICAL BIKE LAYOUT  
1 : 32



BIKE PAD DETAIL  
1 : 48



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PROPERTIES LTD.

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www.broadstreet.ca

SITE MAP:

PROJECT STATUS:  
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025

SEAL: **ABEL ARCHITECTURE**  
THOMAS C. ABEL ARCHITECTS  
THOMAS C. ABEL  
LICENCE 9533  
2025-02-12

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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

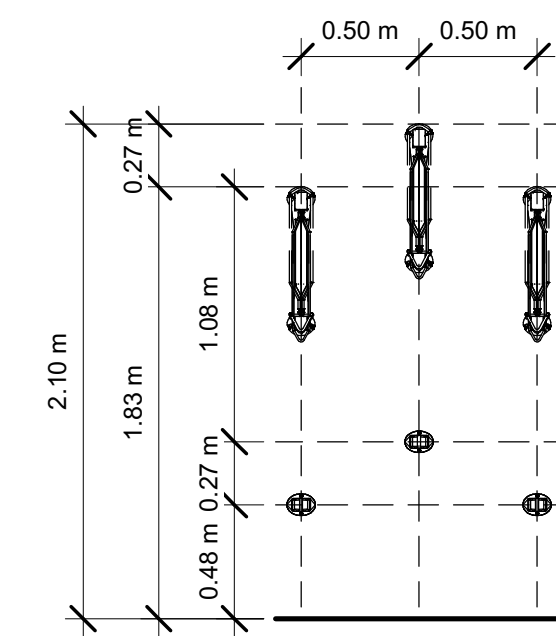
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SURFACE & UNDERGROUND PARKING PLAN

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: As indicated

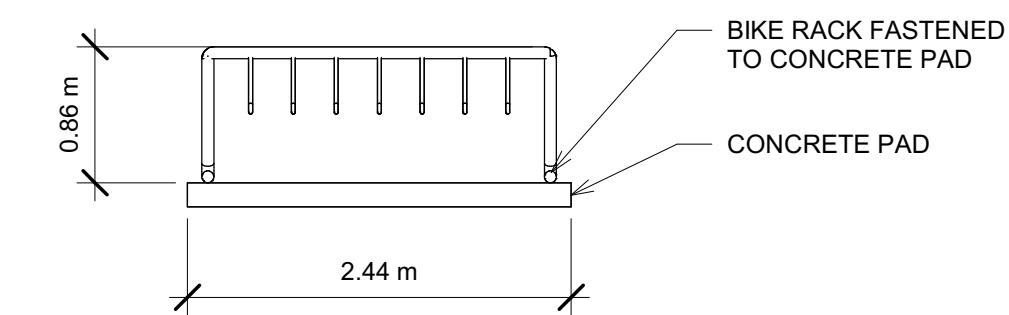
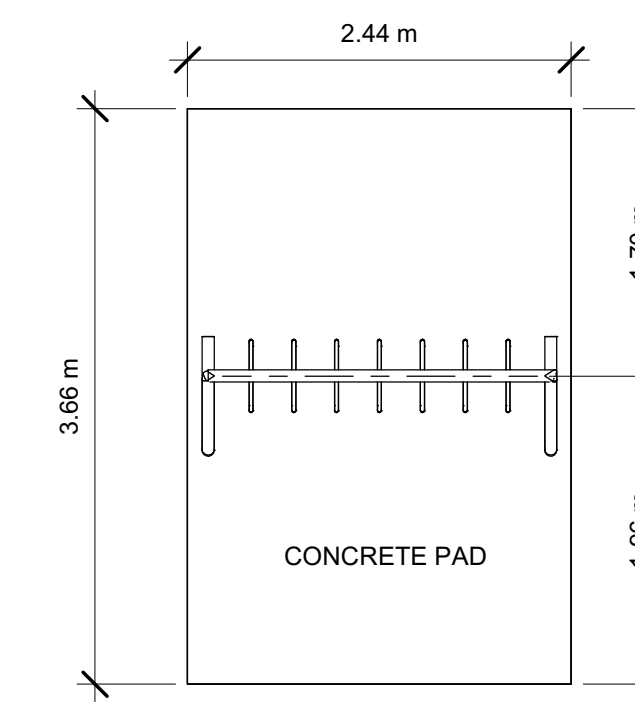
1 SITE PLAN - SURFACE & UNDERGROUND PARKING  
1 : 275

DRAWING #: **A1.01** REV #: **B**

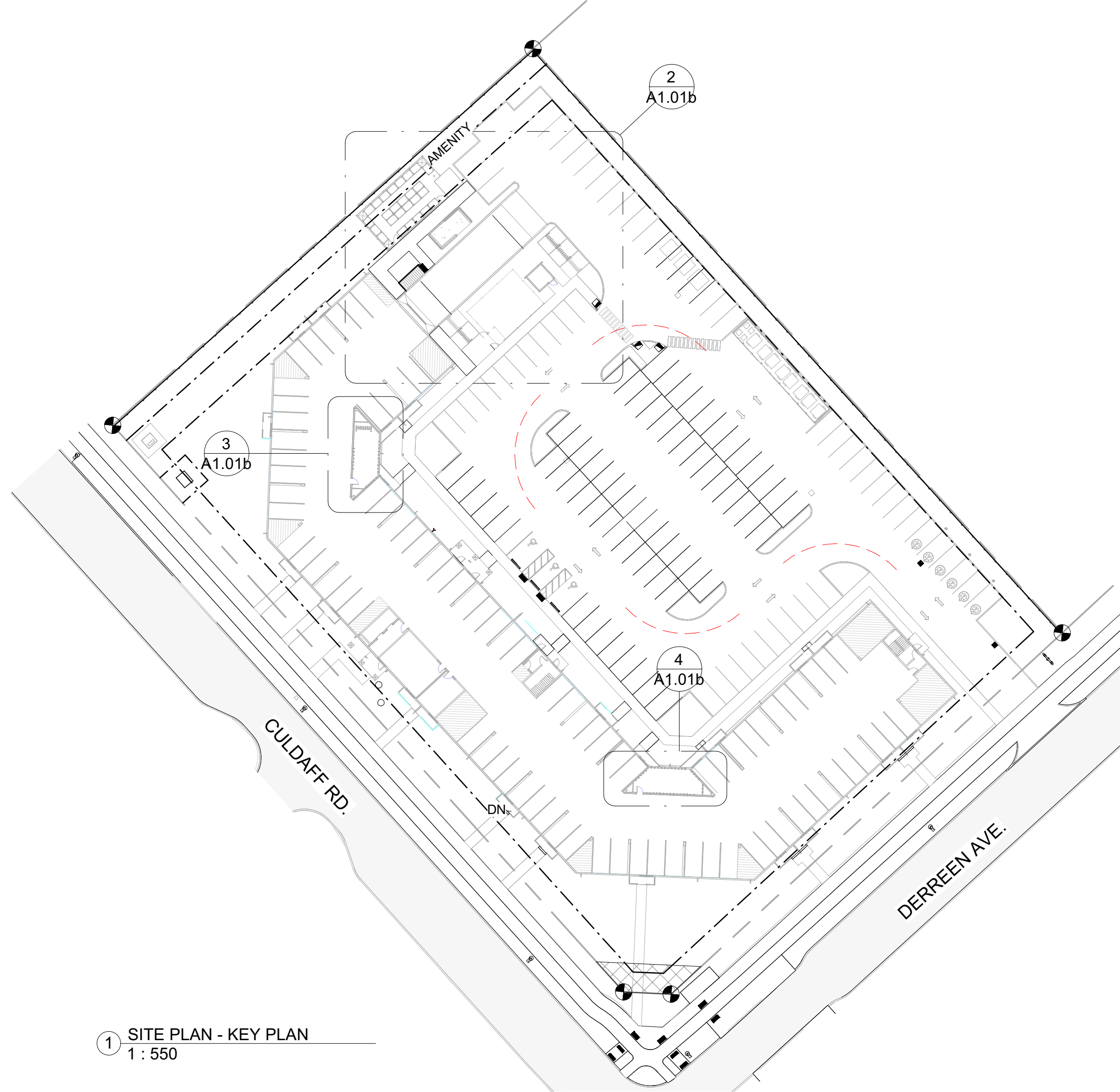
BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
<b>TOTAL BICYCLE</b>			<b>89</b>	<b>108</b>
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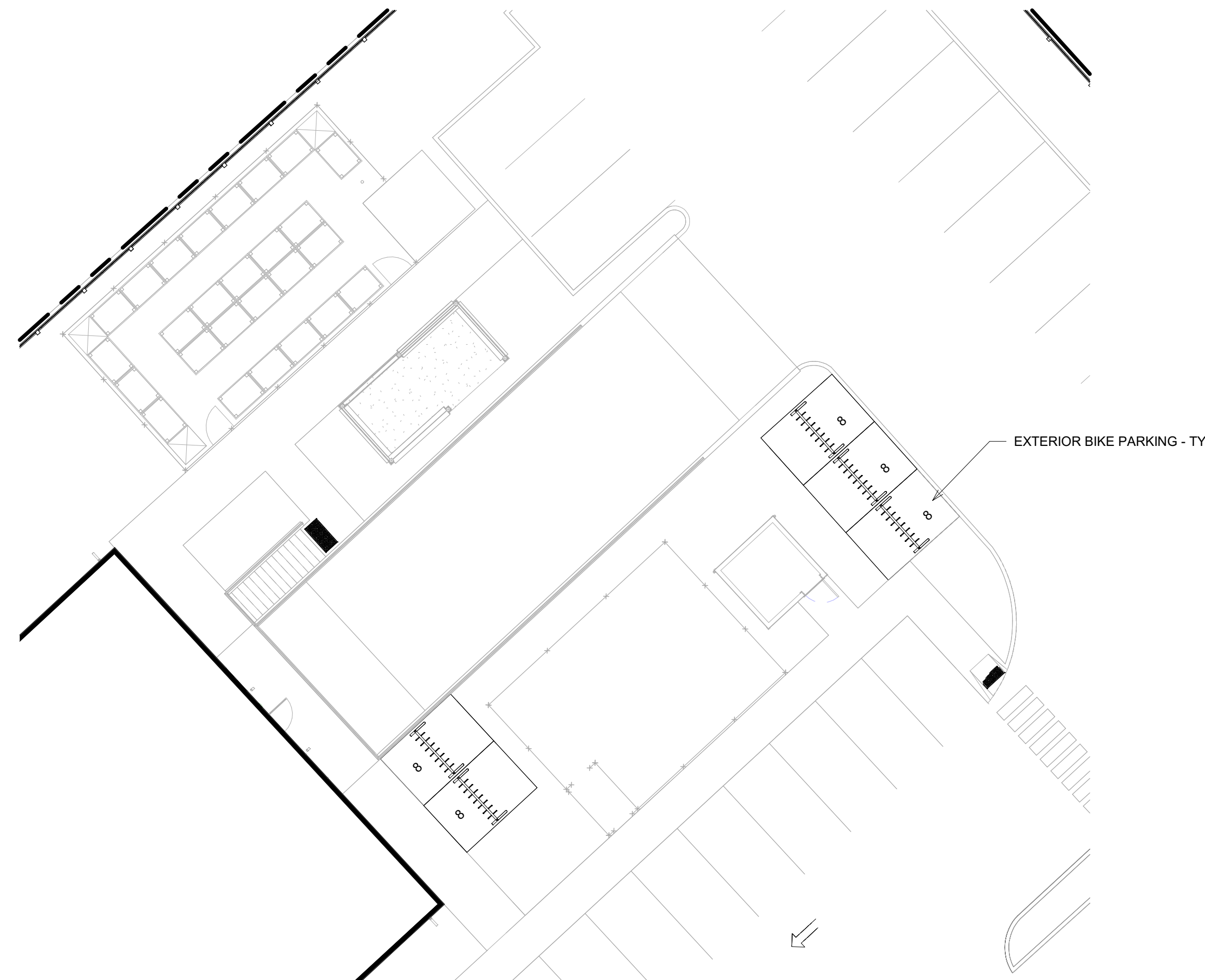
○ VERTICAL BIKE LAYOUT  
1 : 32



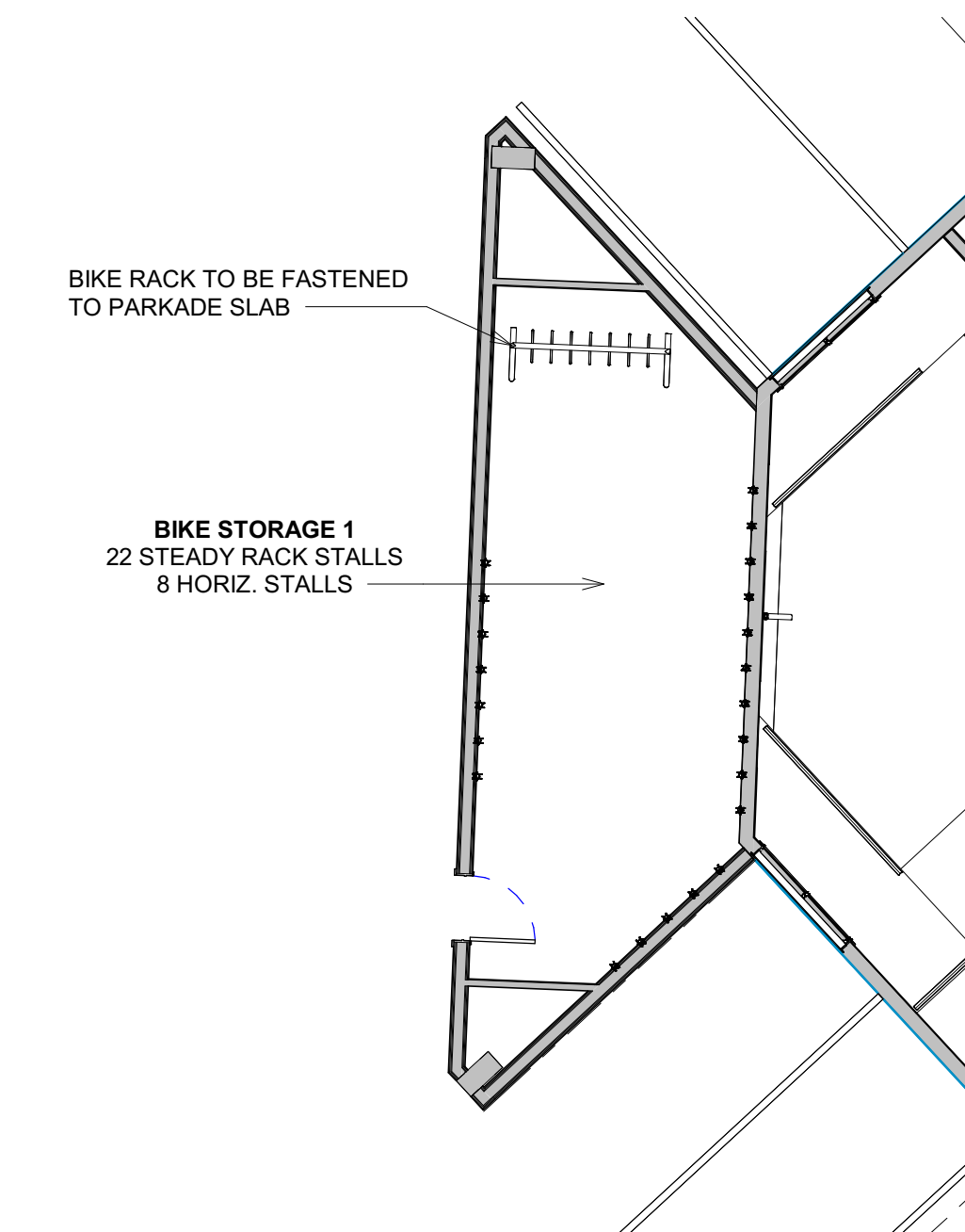
○ BIKE PAD DETAIL  
1 : 48



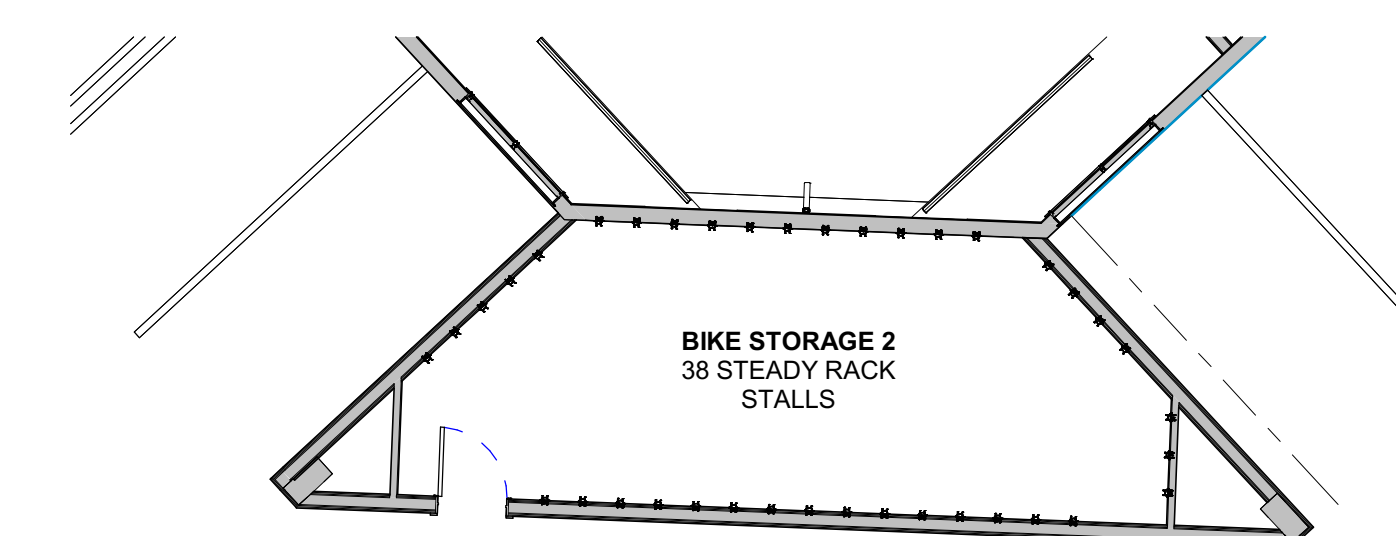
① SITE PLAN - KEY PLAN  
1 : 550



② SITE - AMENITY AREA  
1 : 150

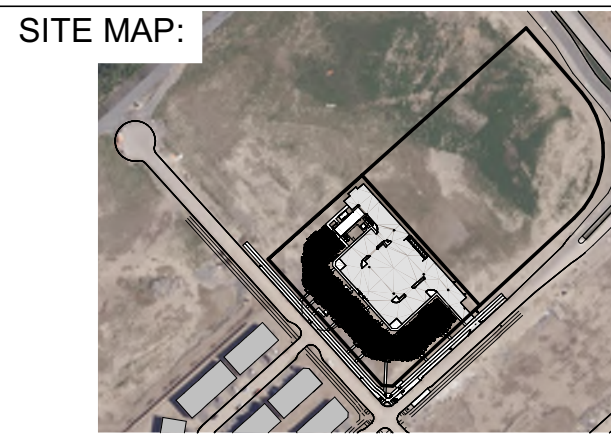


③ PARKADE PLAN - BIKE STORAGE 1  
1 : 100



④ PARKADE PLAN - BIKE STORAGE 2  
1 : 100

INFORMATION ON THIS SHEET  
PROVIDED FOR SITE PLAN  
CONTROL APPROVAL ONLY



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
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SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABEL ARCHITECTURE T: 604-682-6818



2025-02-12

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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

BIKE PARKING & STORAGE

DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

SCALE: As indicated

DRAWING #:

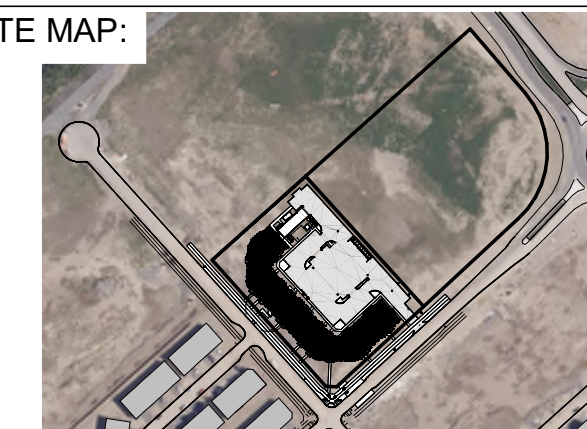
A1.01b

REV #:

B



SITE MAP:



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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THOMAS C. ABELE ARCHITECT P.A. T: 604-682-6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

FIRE + EMERGENCY ACCESS PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

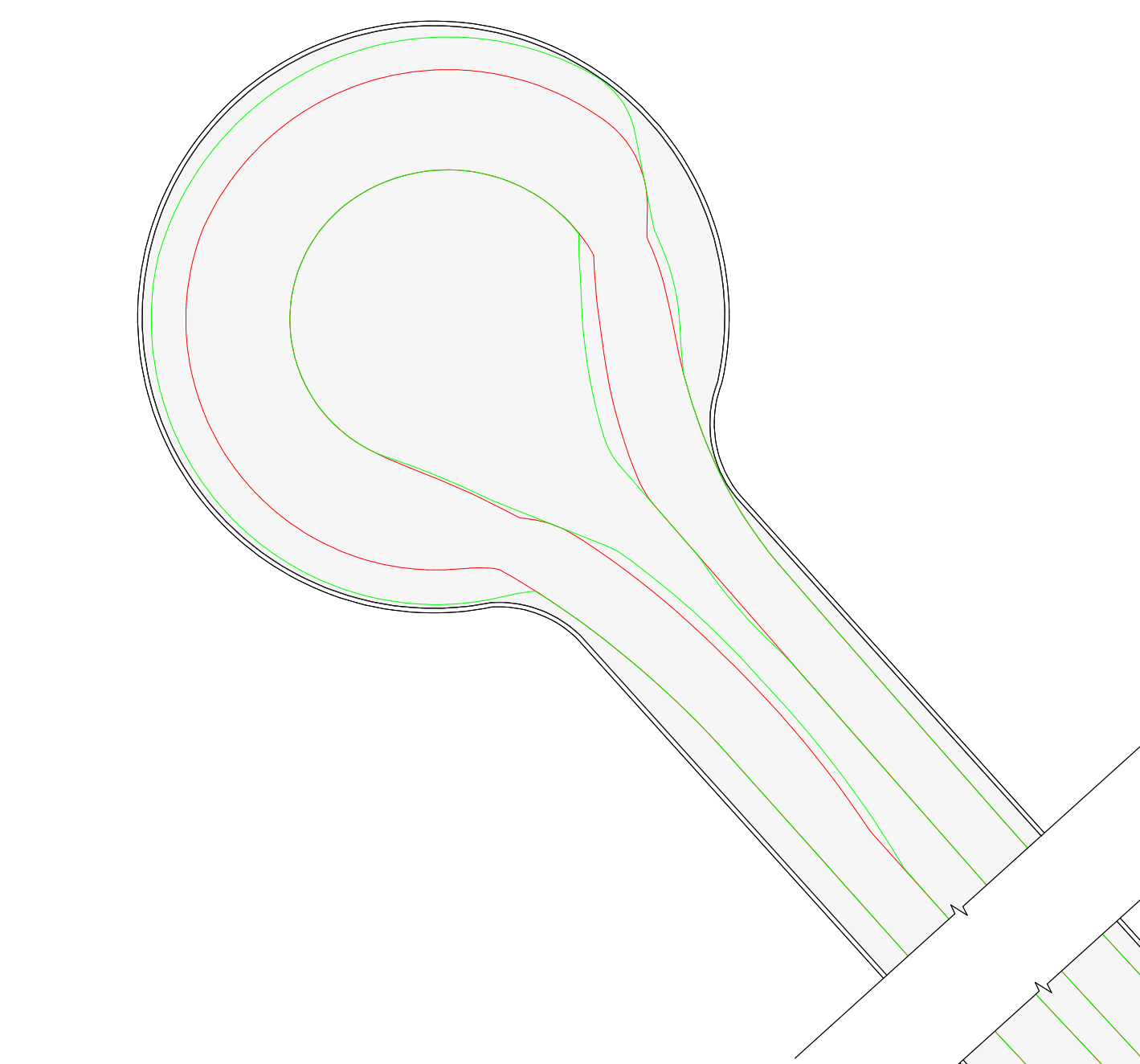
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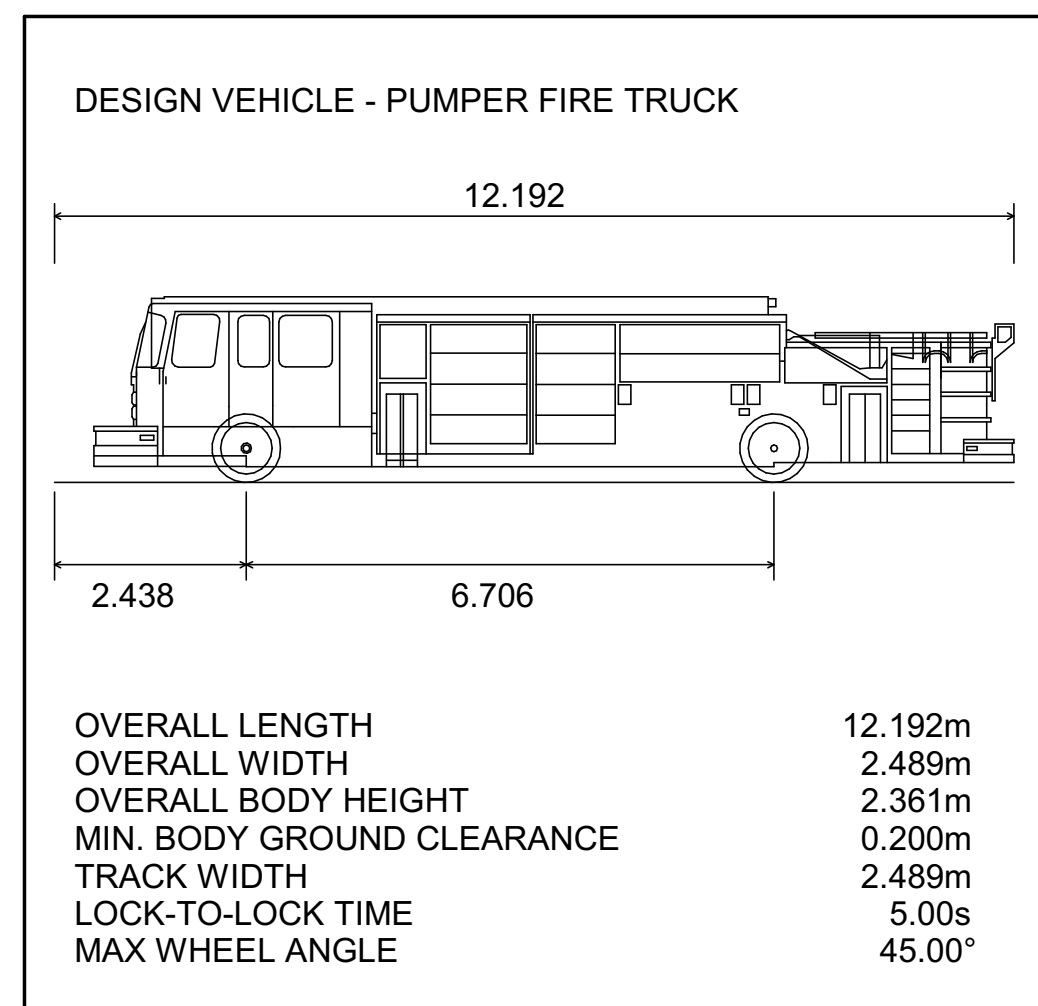
**A1.02**

REV #:

**B**



LEGEND	
	PROPERTY LINE
	SETBACK LINE
	PATH OF TRAVEL
	BUILDING OUTLINE
	FIRE HYDRANT
	PRINCIPAL ENTRANCE
	FIRE DEPARTMENT CONNECTION

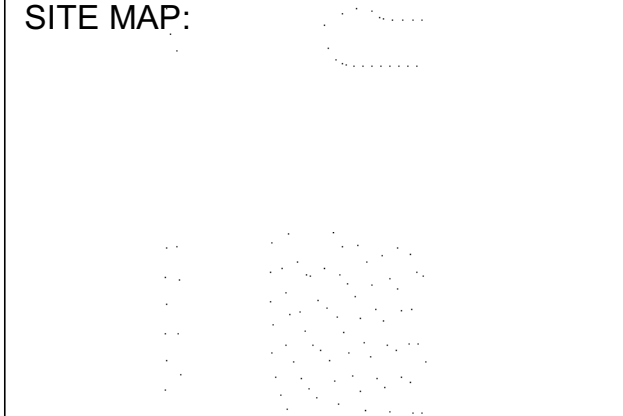


NTS

1 FIRE + EMERGENCY ACCESS PLAN  
1: 275

02/12/2025 3:01:06 PM





PROJECT STATUS:  
DEVELOPMENT PERMIT

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THOMAS C. ABELE ARCHITECTURE  
THOMAS C. ABELE  
LICENCE 9933  
2025-02-12

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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

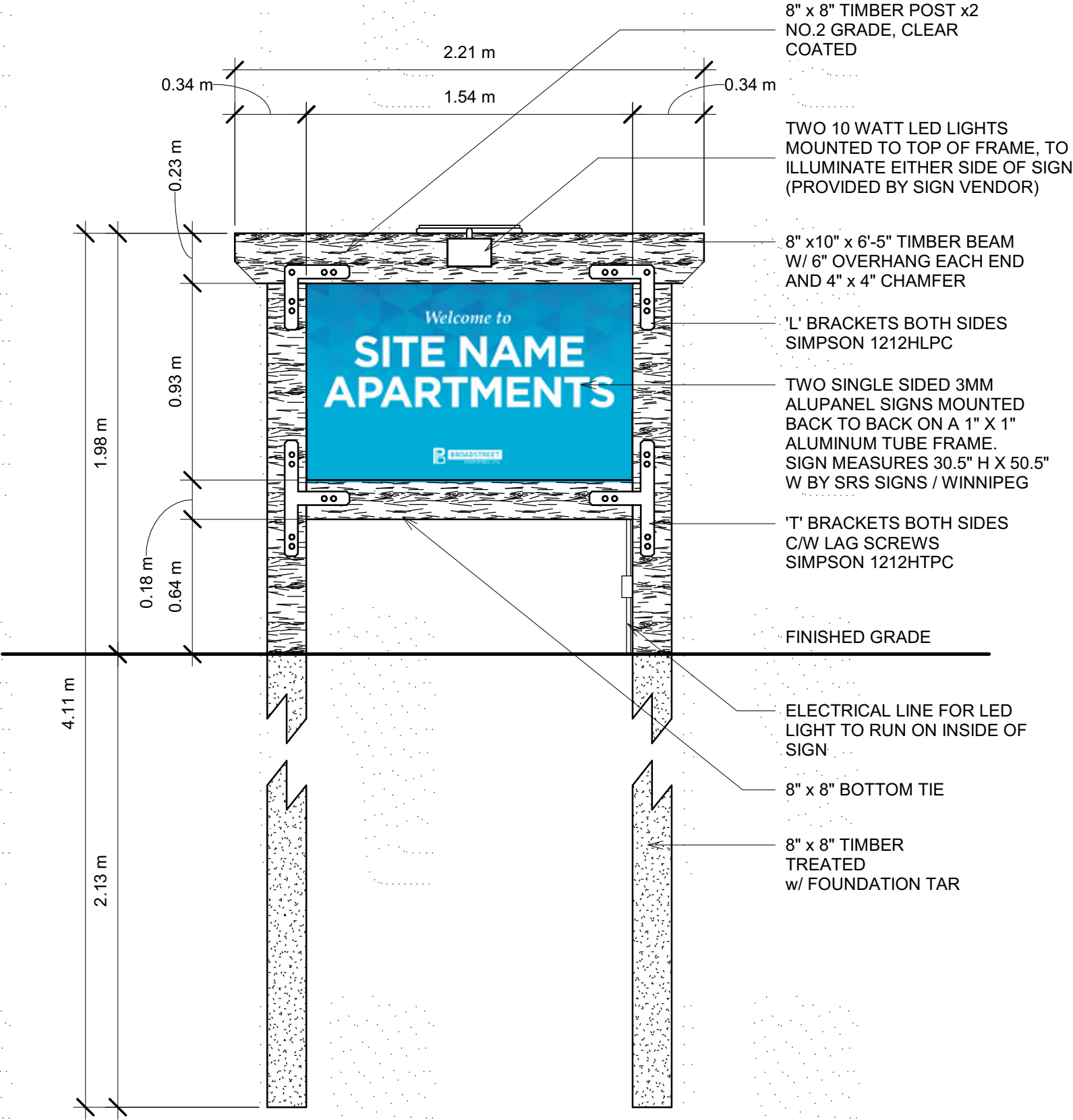
ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
SITE ACCESSORIES

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: As indicated

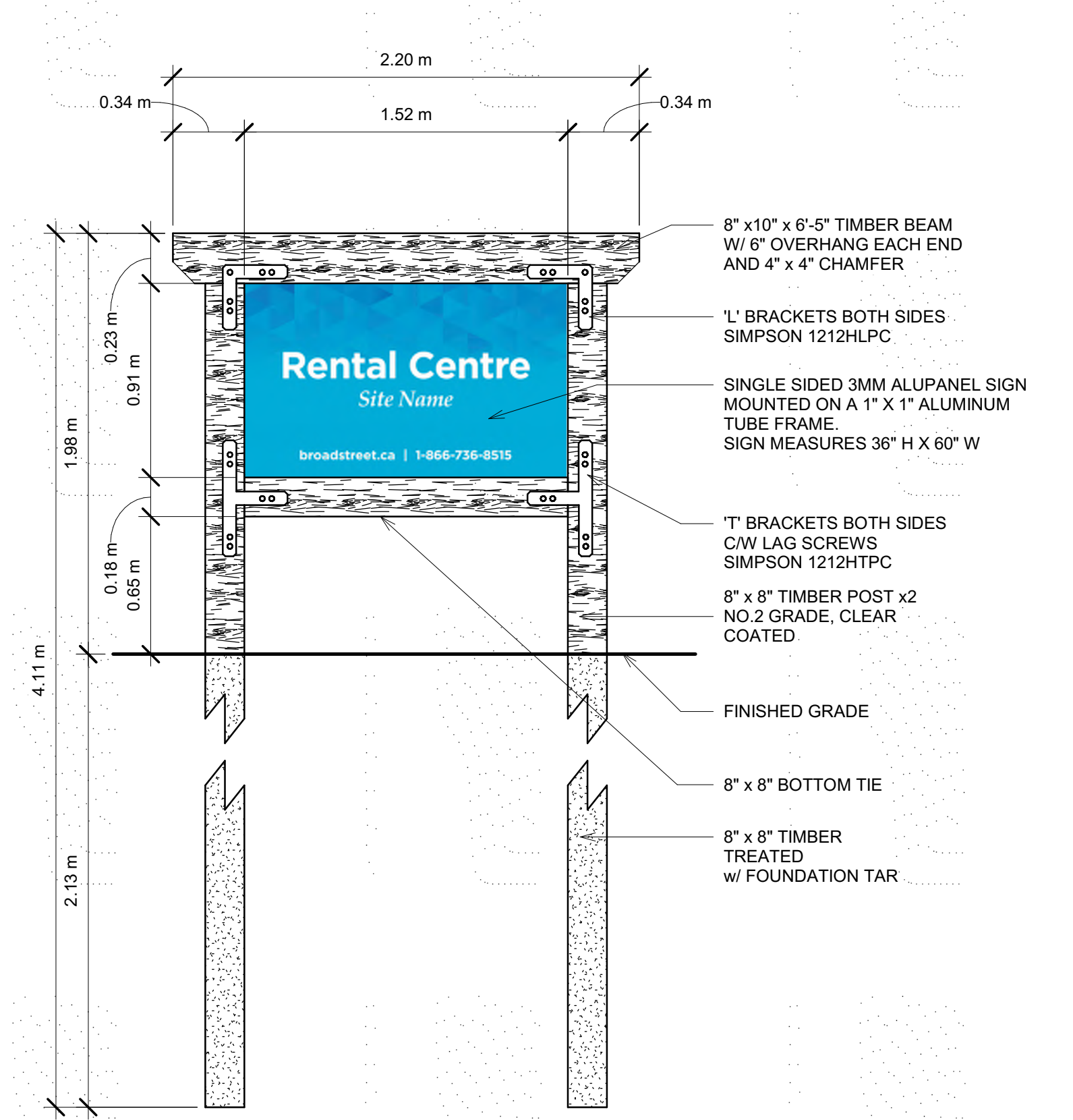
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ALL TIMBER TO BE FINISHED WITH NATURAL CEDAR SUNFAST

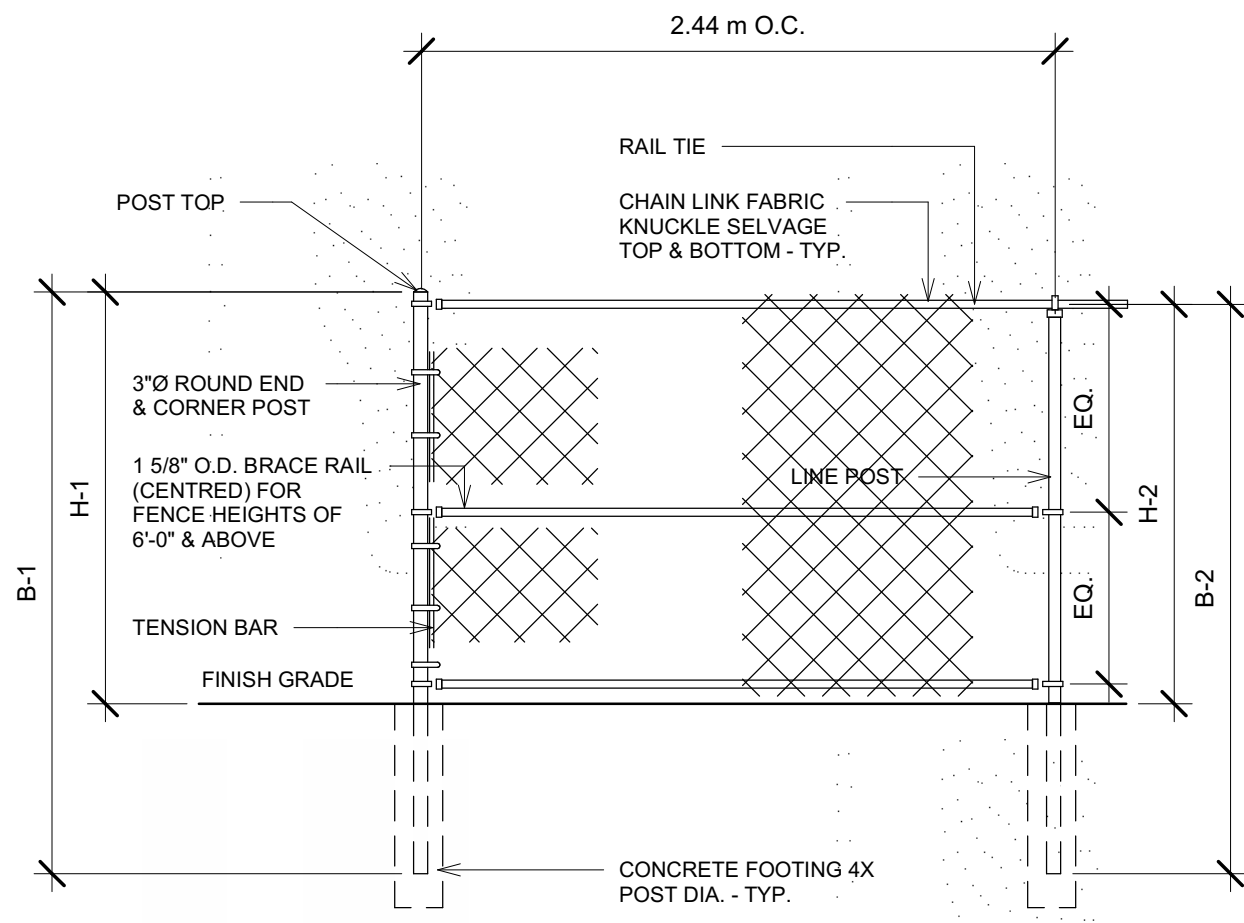


1 ENTRY SIGN  
1 : 24

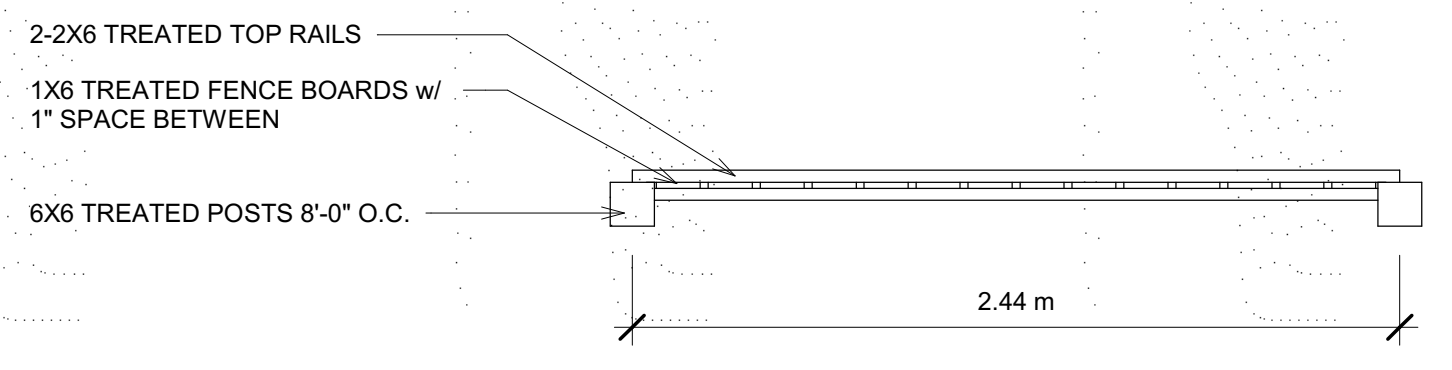
ALL TIMBER TO BE FINISHED WITH NATURAL CEDAR SUNFAST



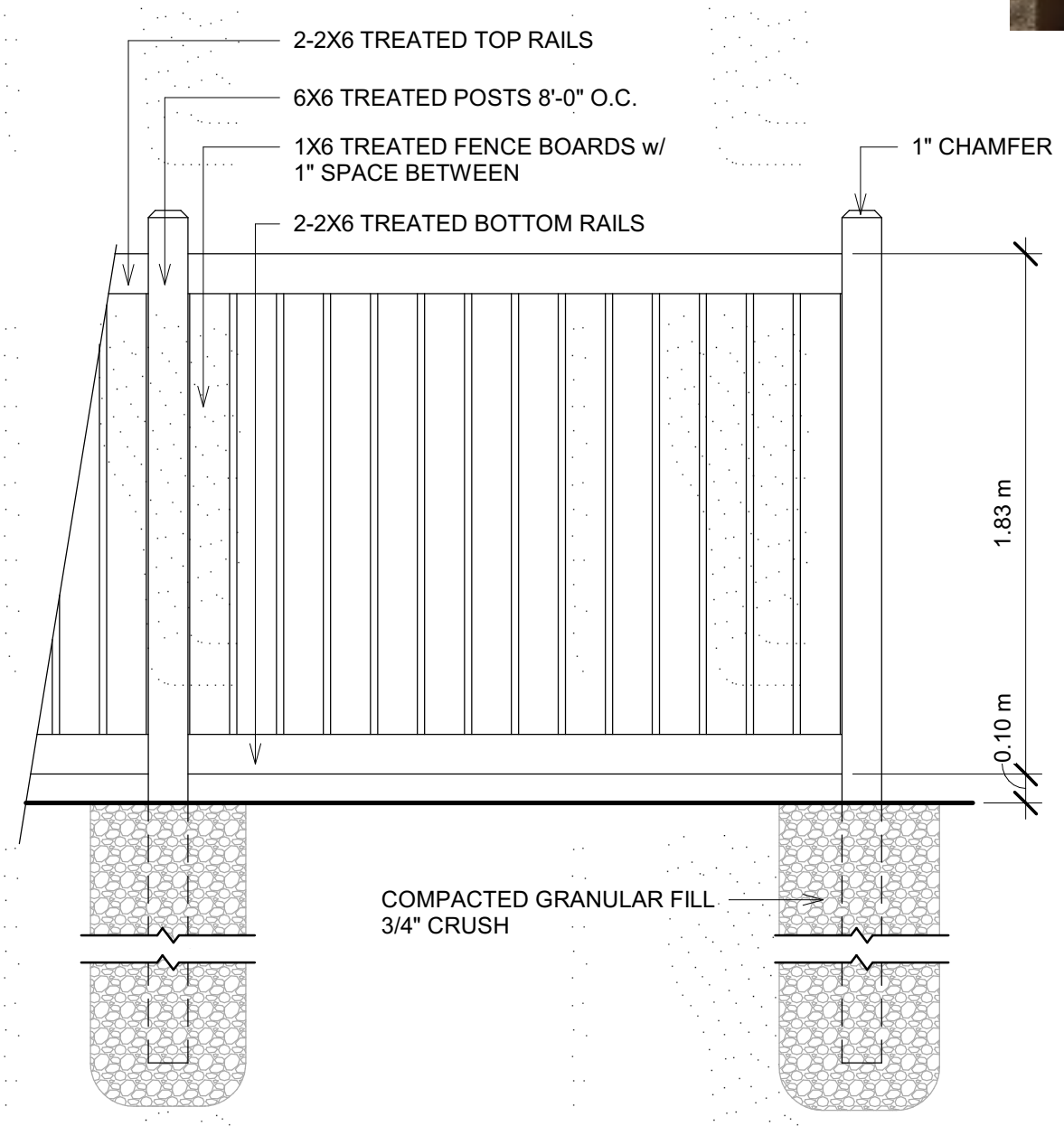
2 RENTAL OFFICE DIRECTION SIGN  
1 : 24



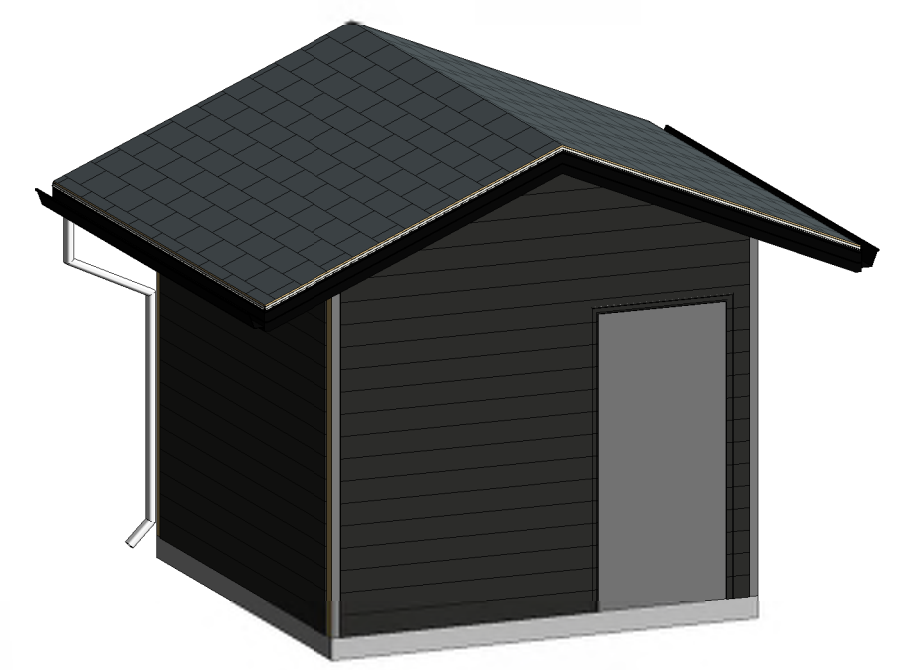
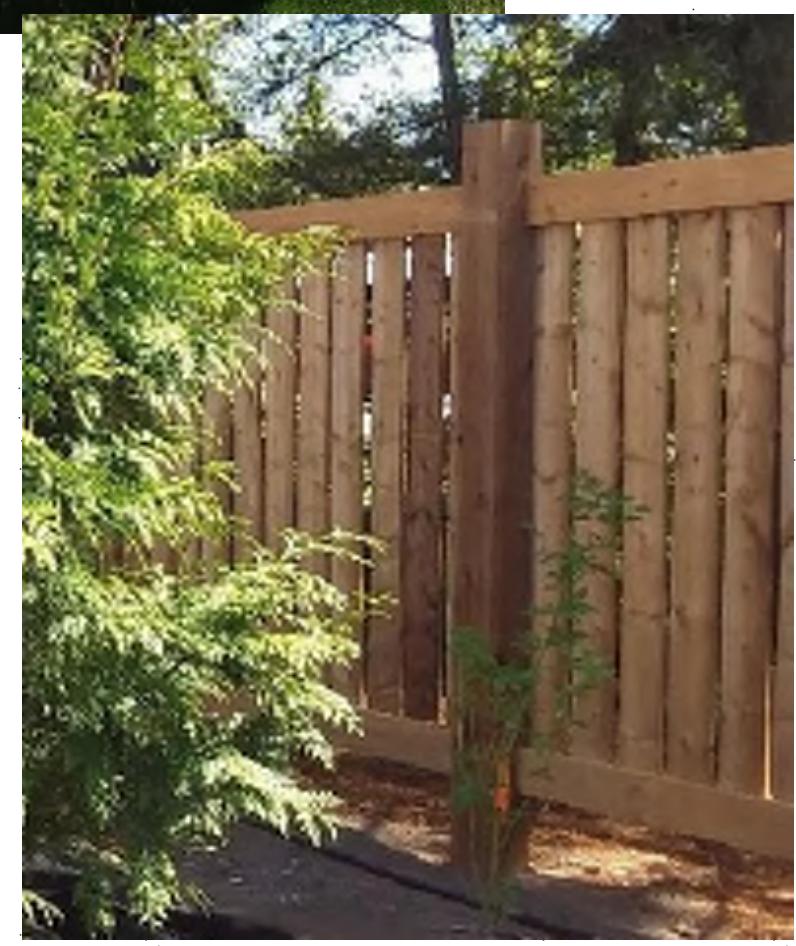
3 CHAINLINK FENCING  
1 : 24



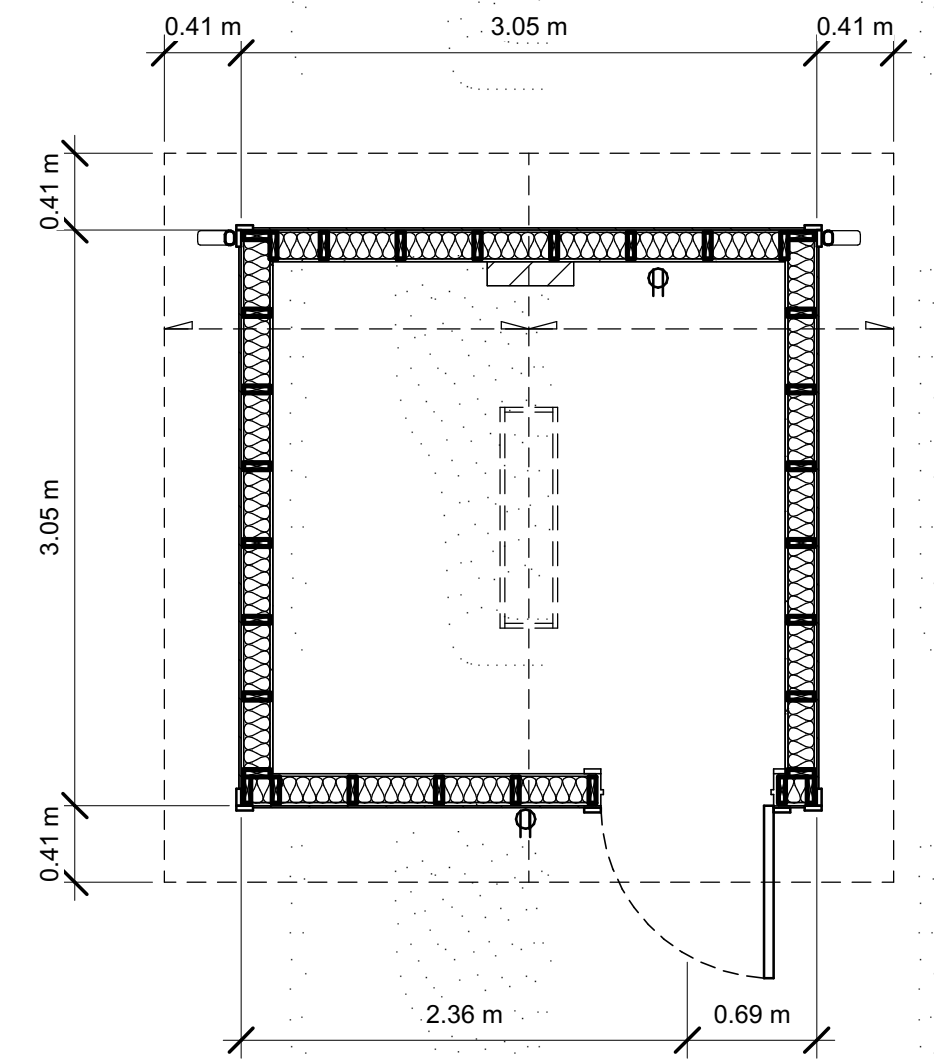
4 SITE FENCE PLAN DETAIL  
1 : 24



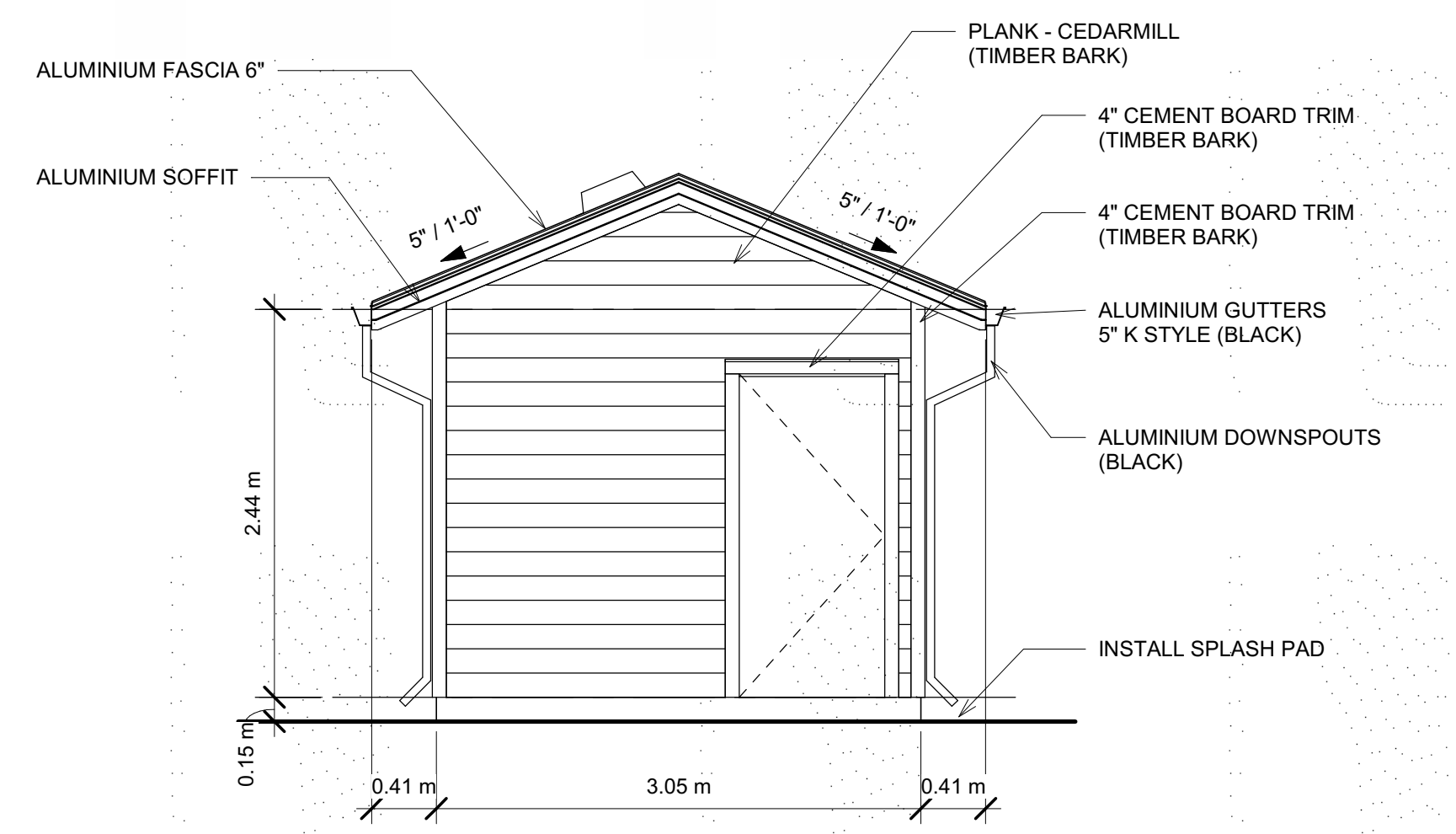
5 SITE FENCE ELEVATION DETAIL  
1 : 24



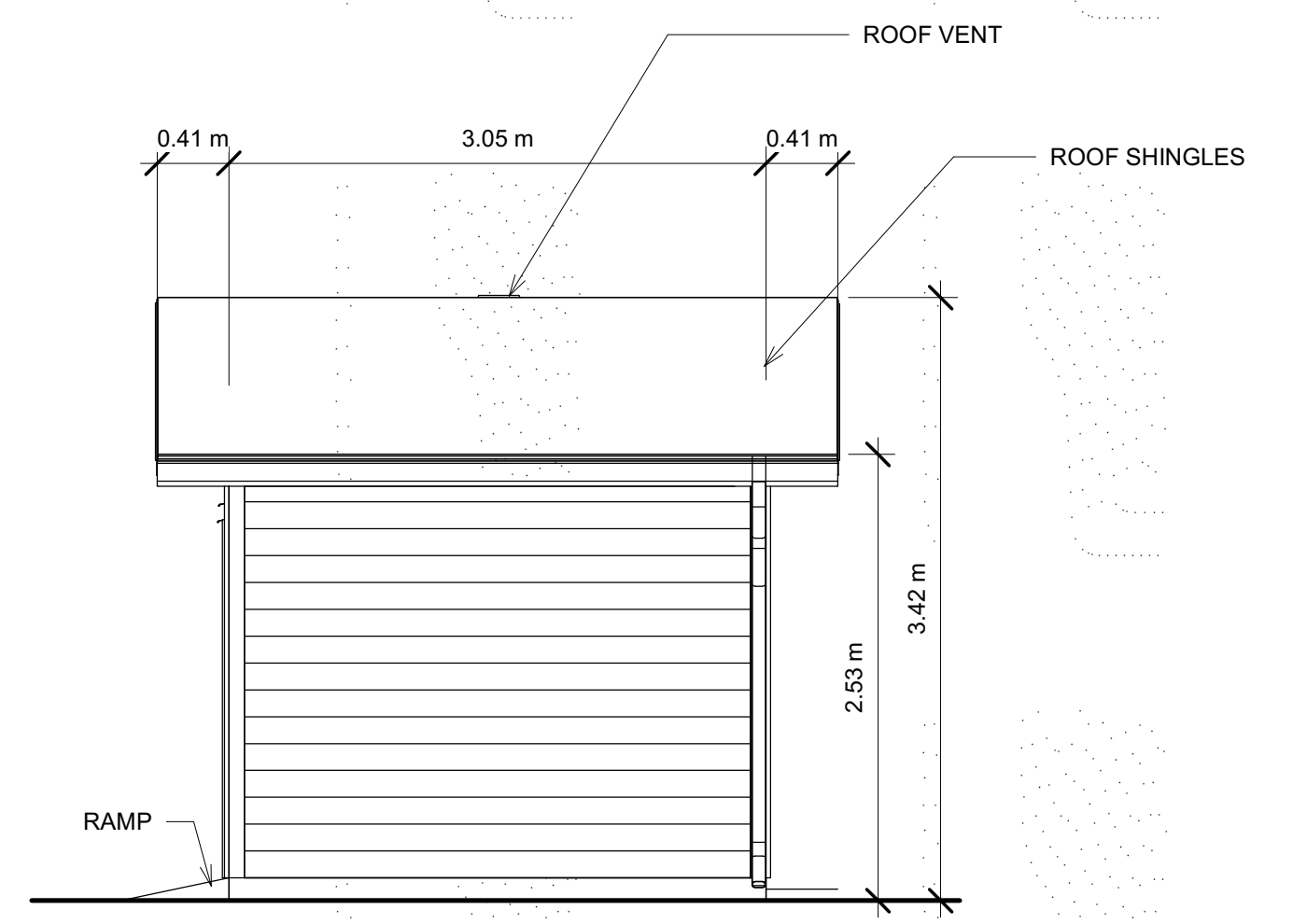
6 MAINTENANCE SHED



7 MAINTENANCE SHED PLAN  
1 : 40



8 MAINTENANCE SHED FRONT ELEVATION  
1 : 40



9 MAINTENANCE SHED SIDE ELEVATION  
1 : 40

SITE MAP:

PROJECT STATUS:  
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
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2025-02-12

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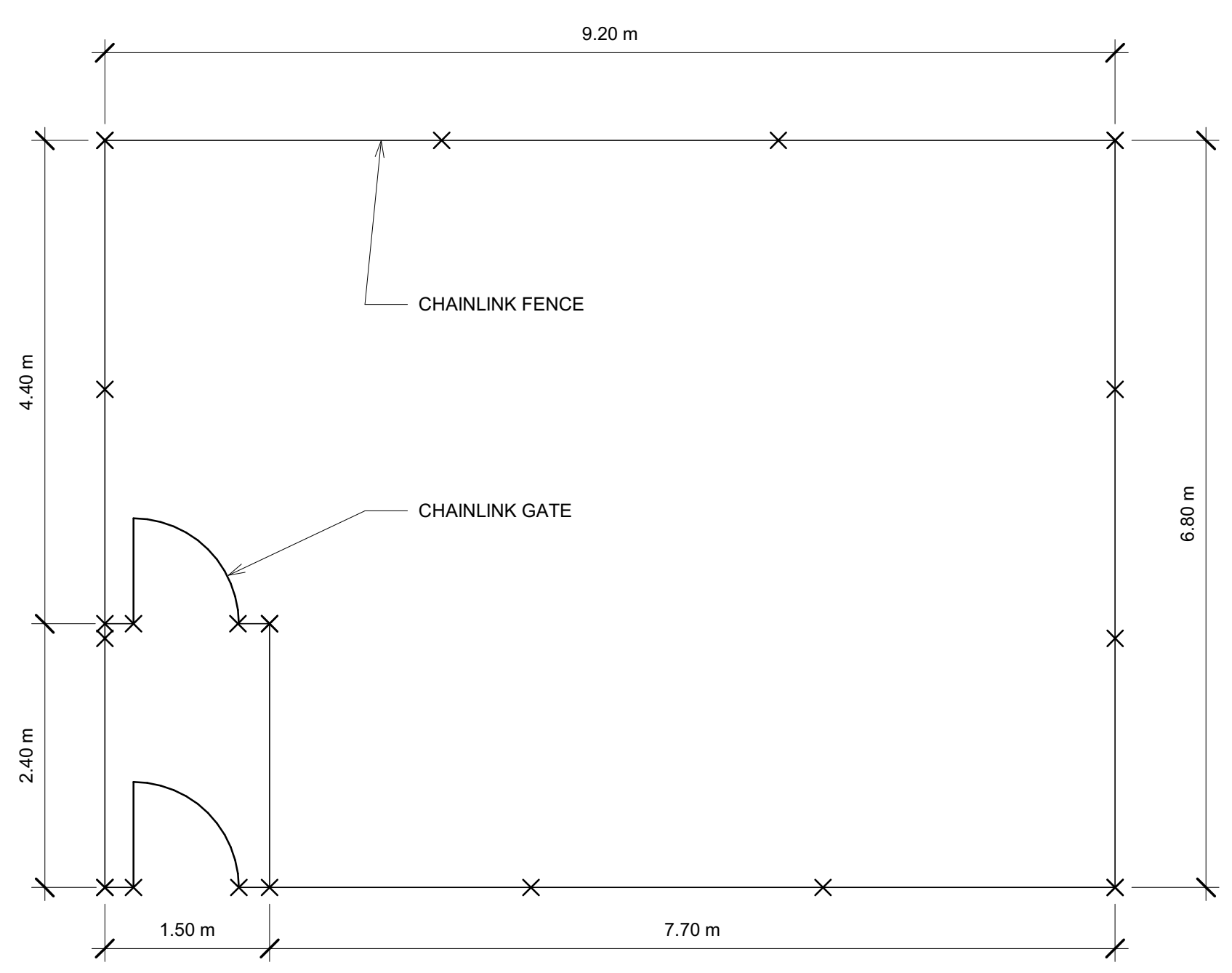
ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
SITE ACCESSORIES

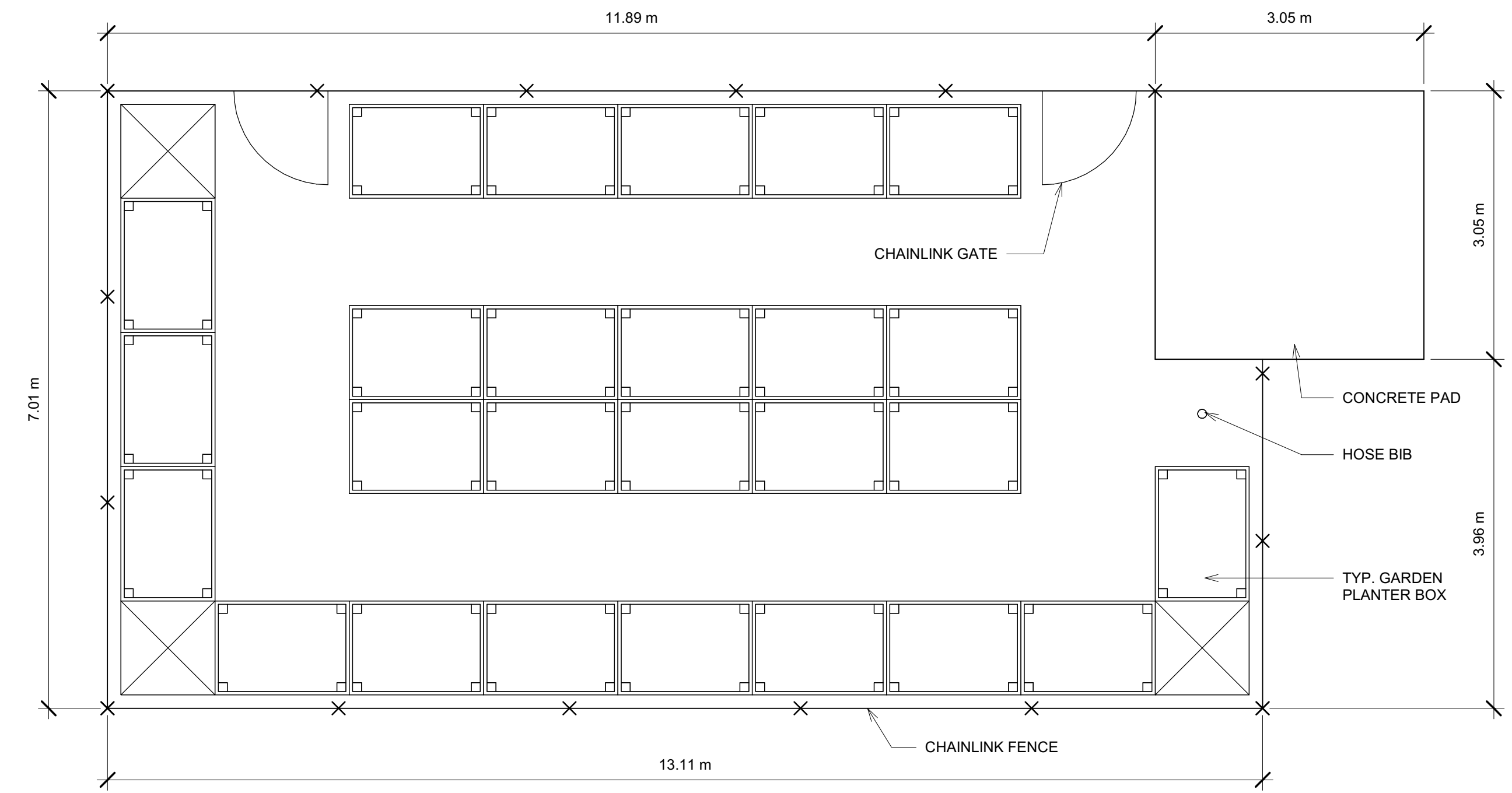
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CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: As indicated

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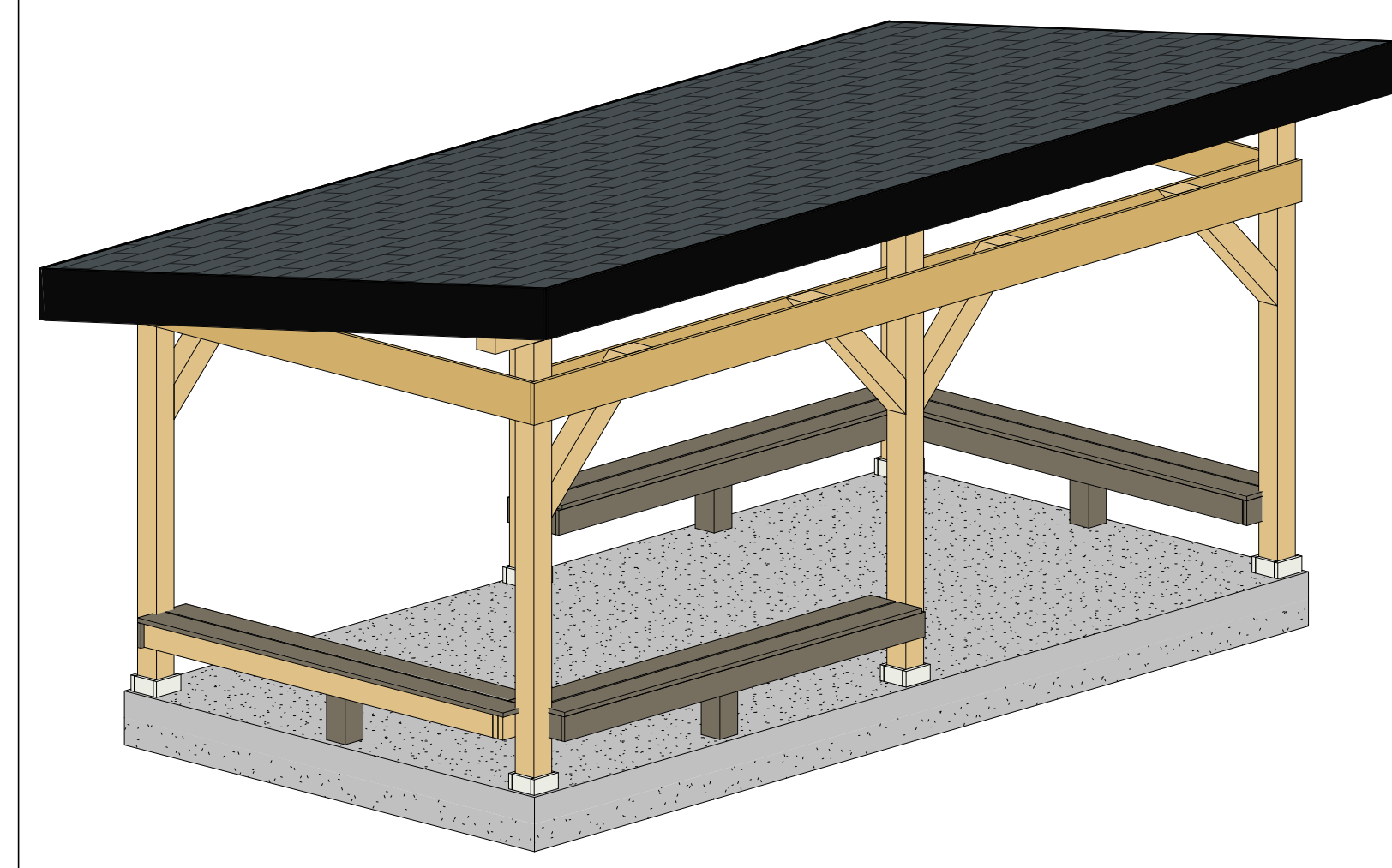
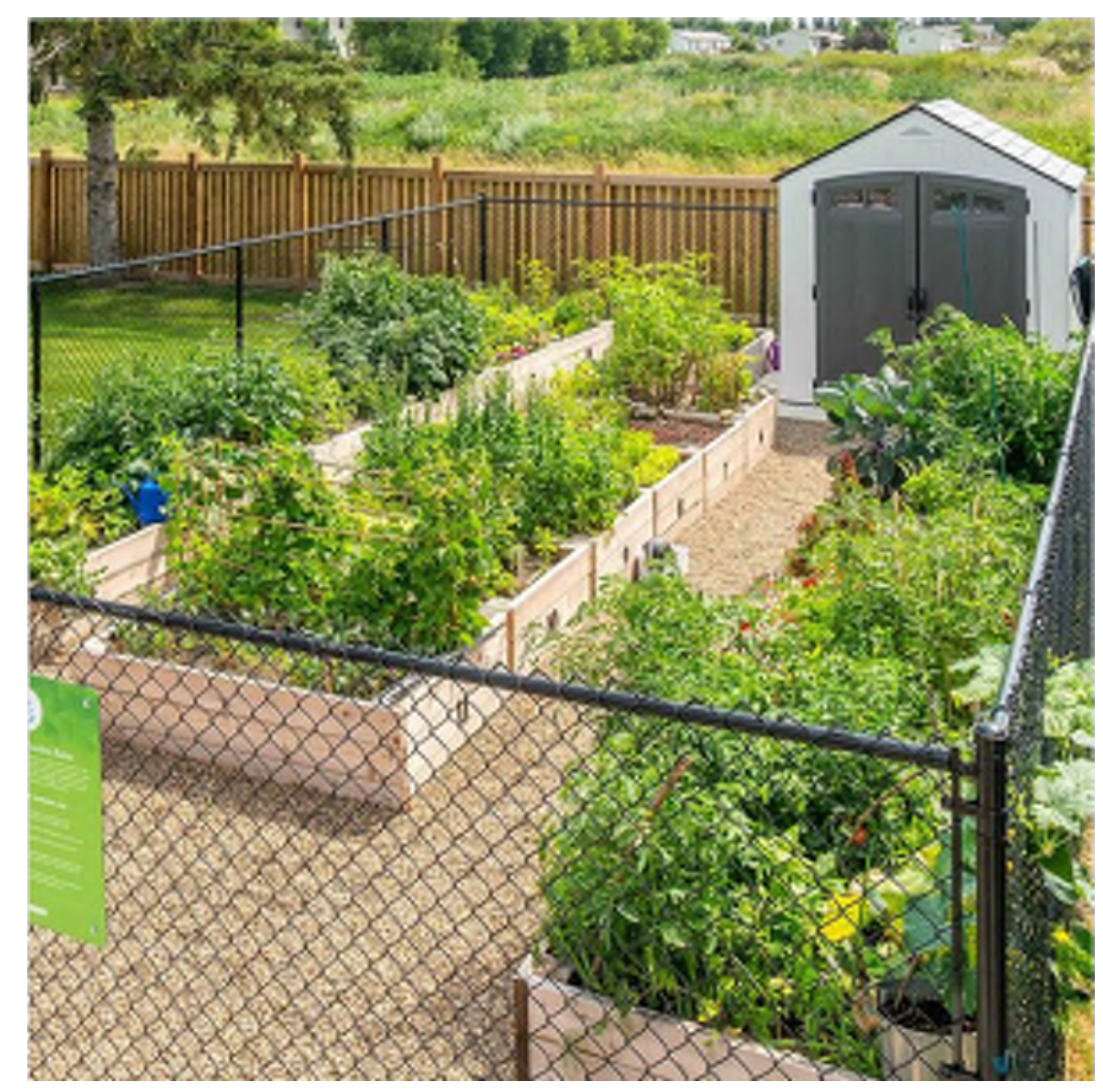
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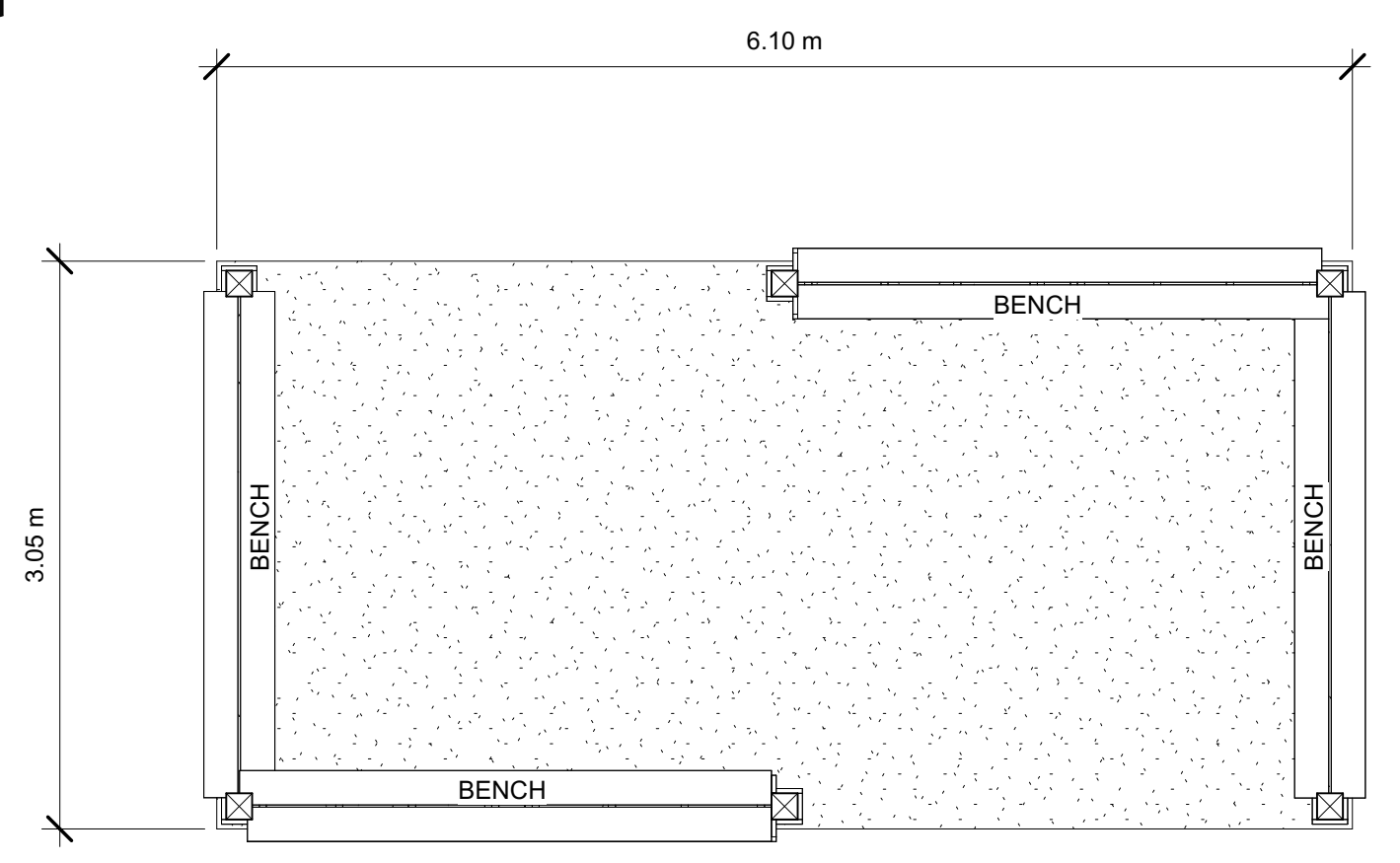
1 DOG RUN  
1:50



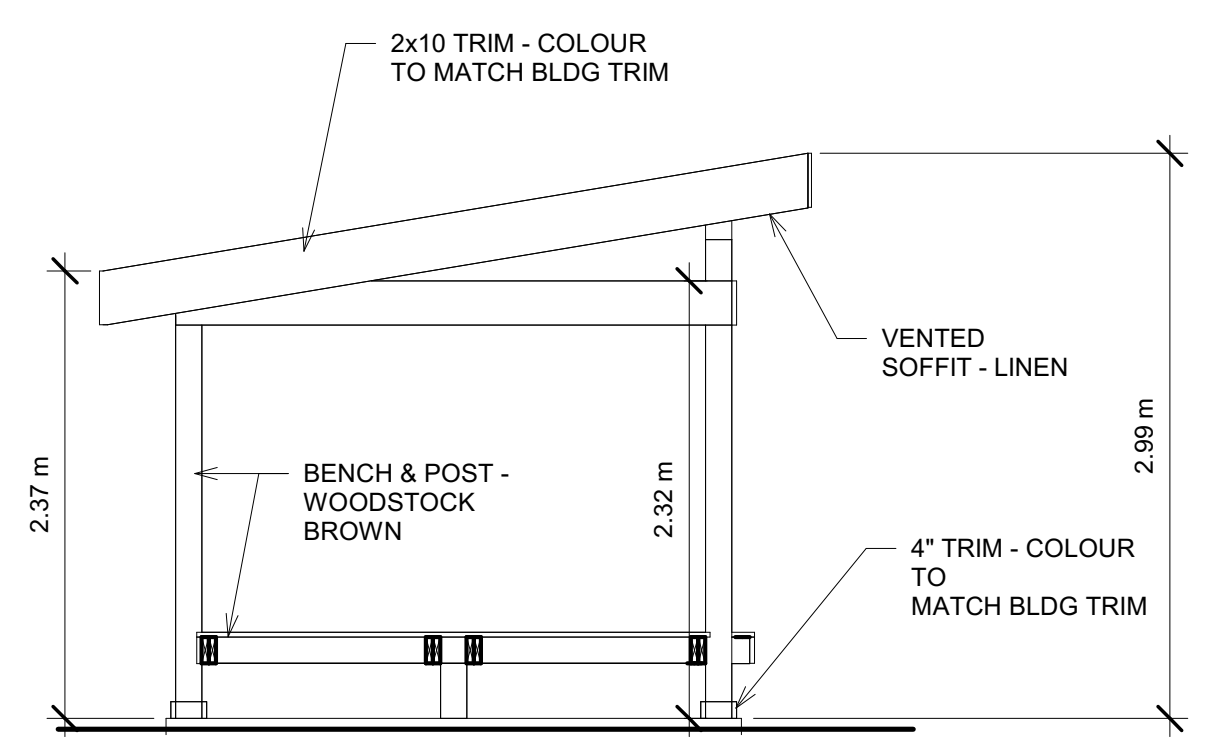
COMMUNITY GARDEN  
1:50



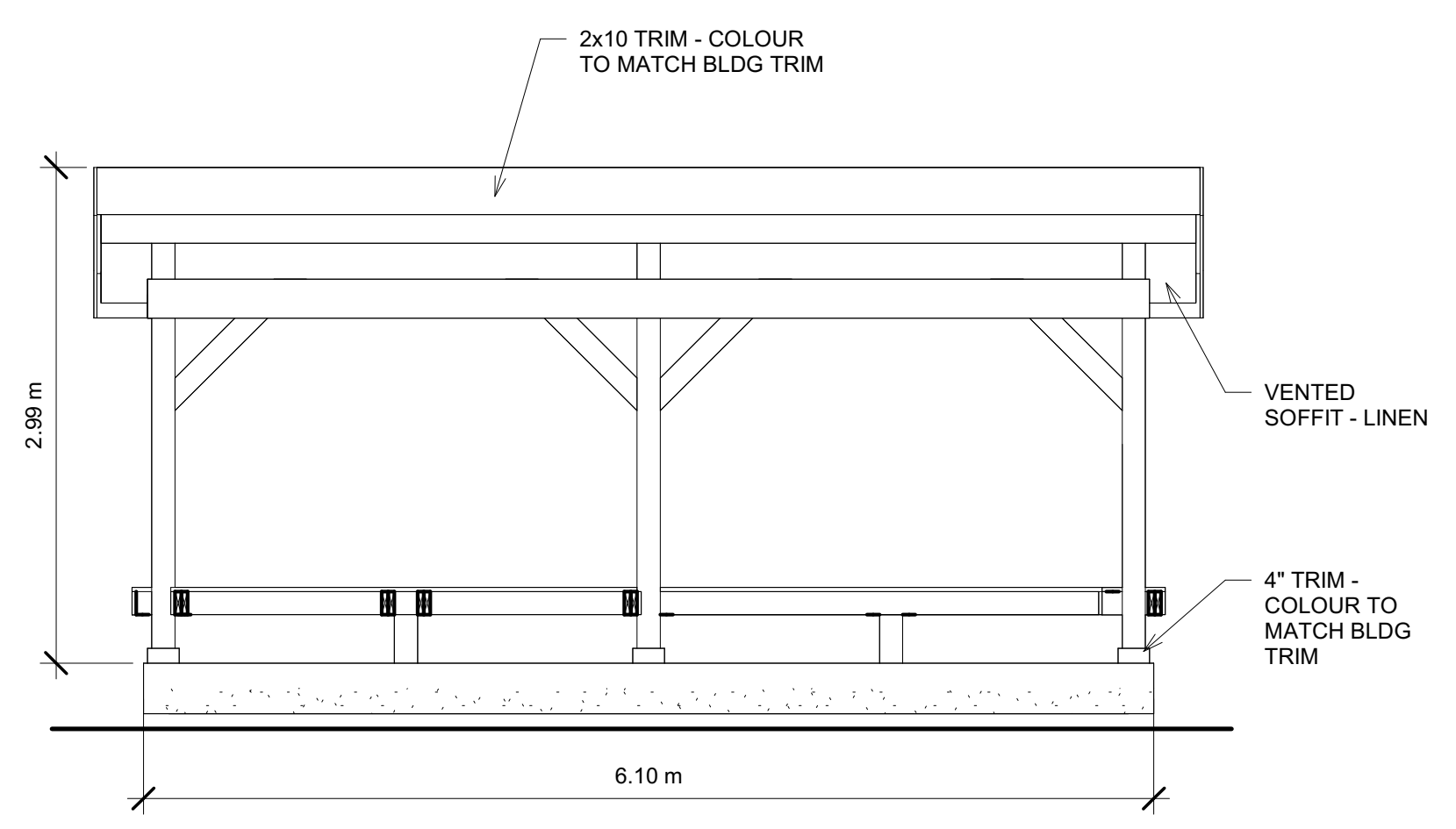
2 PERGOLA - ISO



3 PERGOLA FLOOR PLAN  
1:40



4 END ELEVATION  
1:40



5 FRONT ELEVATION  
1:40





**(1) WEST VIEW**



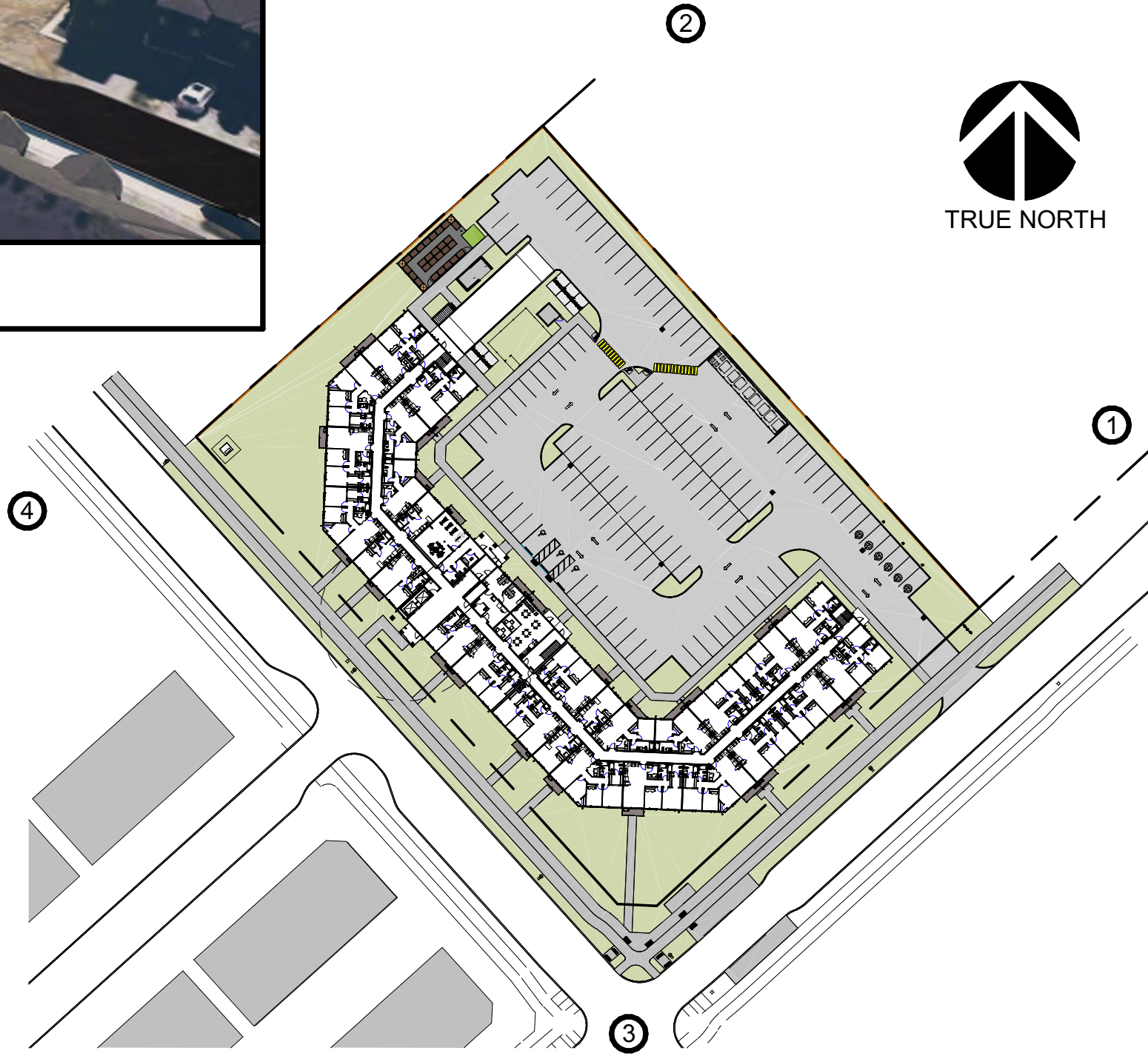
**(2) SOUTH VIEW**



**(3) NORTH VIEW**



**(4) EAST VIEW**



SITE MAP:

PROJECT STATUS:  
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE ARCHITECT  
T: 604.682.6818

2025-02-12

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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
SURROUNDING AREA PERSPECTIVE

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: 1 : 1000

DRAWING #: **A1.06** REV #: **B**

SITE MAP:

PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
SITE PERSPECTIVES

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: 1 : 1000

DRAWING #: **A1.07** REV #: **B**



(1) MAIN ENTRANCE



(2) SOUTH VIEW - CORNER OF CULDAFF RD. & DERREEN AVE.



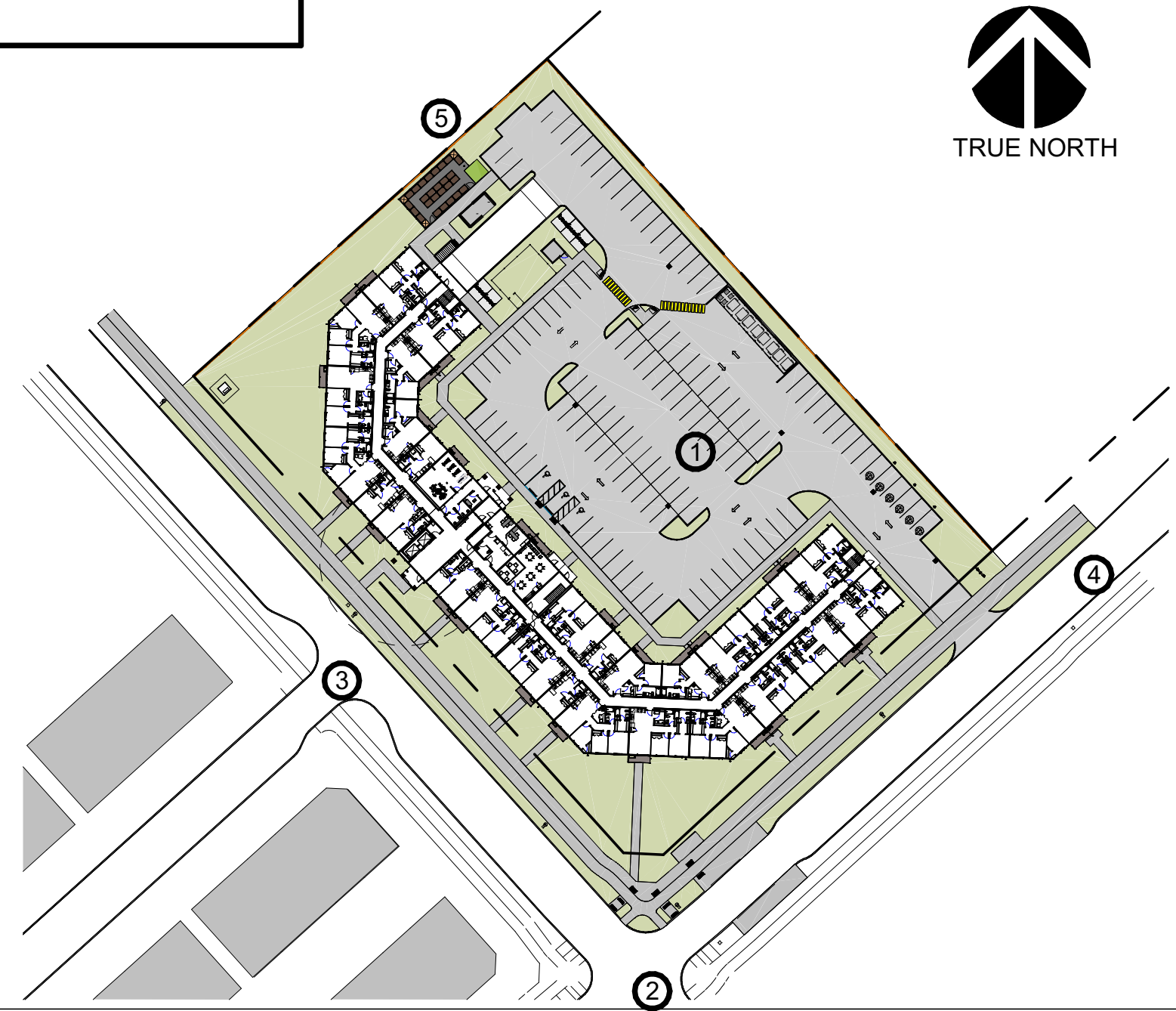
(3) STREET SIDE ENTRANCE



(4) SITE ENTRANCE FROM DERREEN AVE.



(5) AMENITY AREA



SITE MAP:

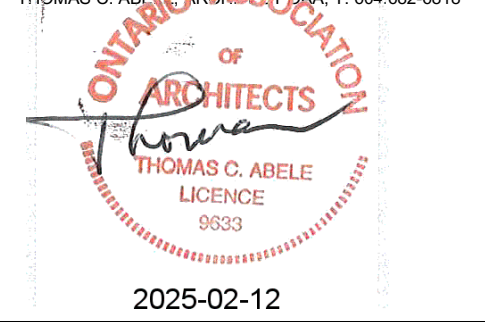
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

R.O.W. CONSTRUCTION AREA - PRELIMINARY

DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

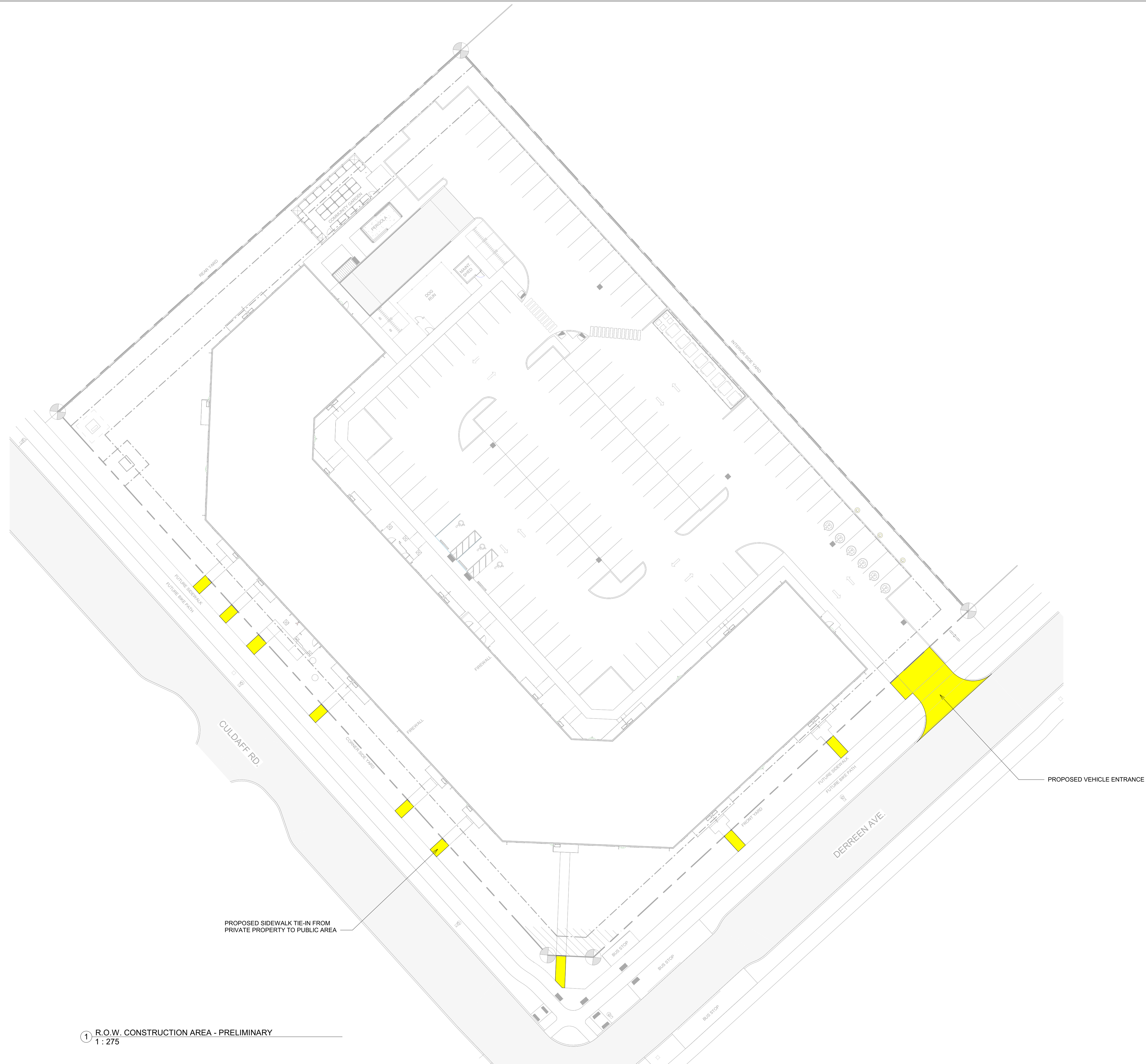
SCALE: 1 : 275

DRAWING #:

**A1.08**

REV #:

**B**



1 R.O.W. CONSTRUCTION AREA - PRELIMINARY  
1 : 275

SITE MAP:

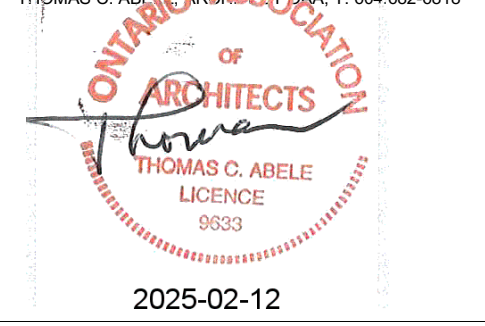
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

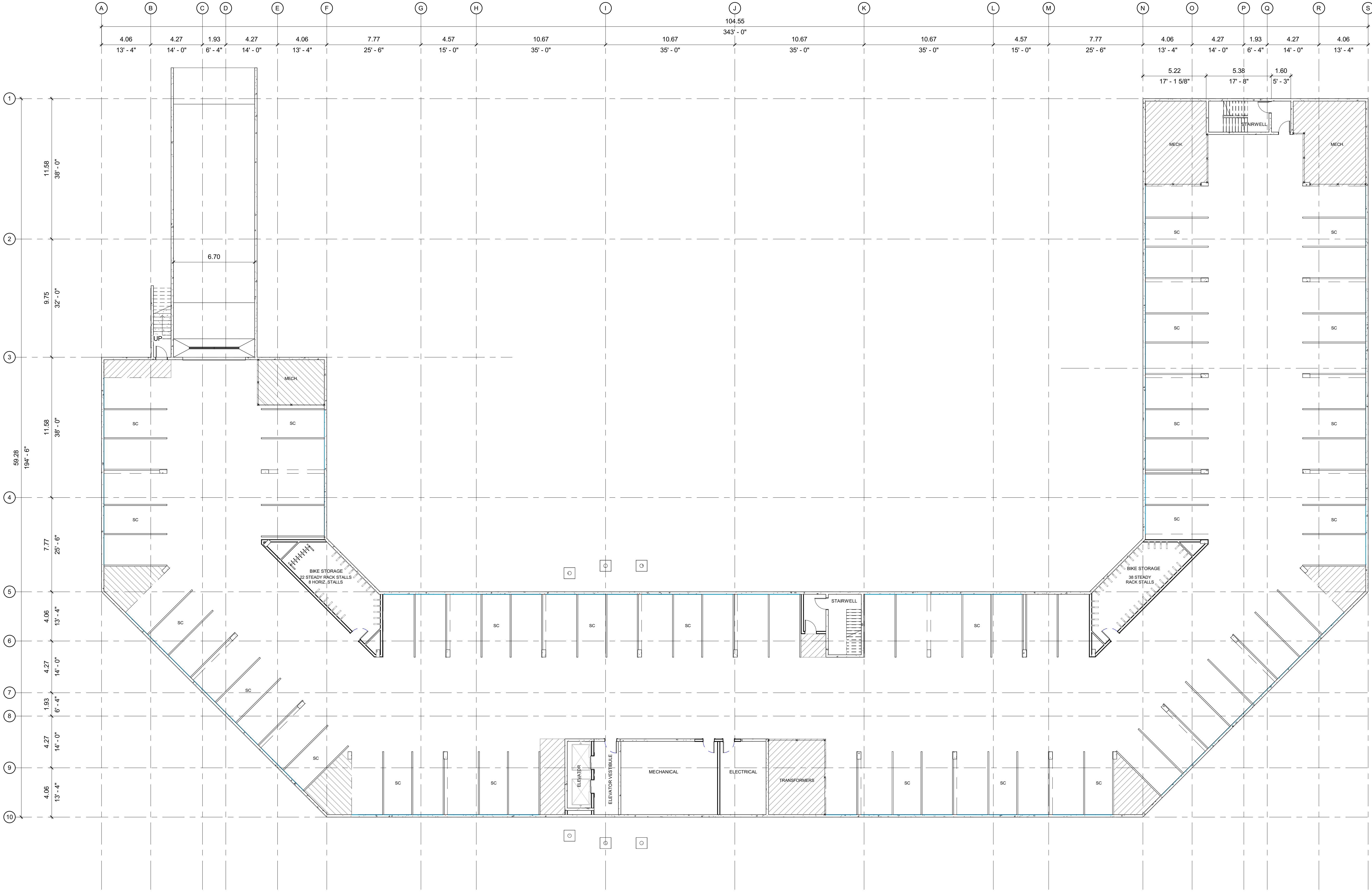
SCALE: 1 : 150

DRAWING #:

**A2.00**

REV #:

**B**



1 PARKADE FLOOR PLAN  
1 : 150

SITE MAP:

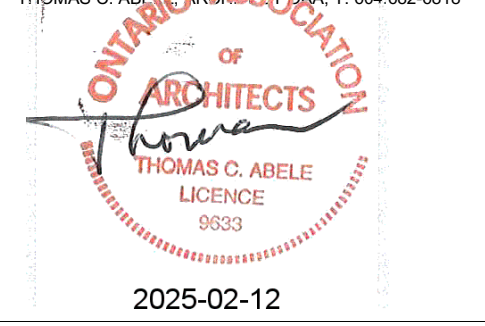
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
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SEAL: ABLE ARCHITECTURE



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

FIRST FLOOR PLAN

DRAWN BY:

EC

CHECKED BY:

CG

DATE:

FEB 14, 2025

SCALE:

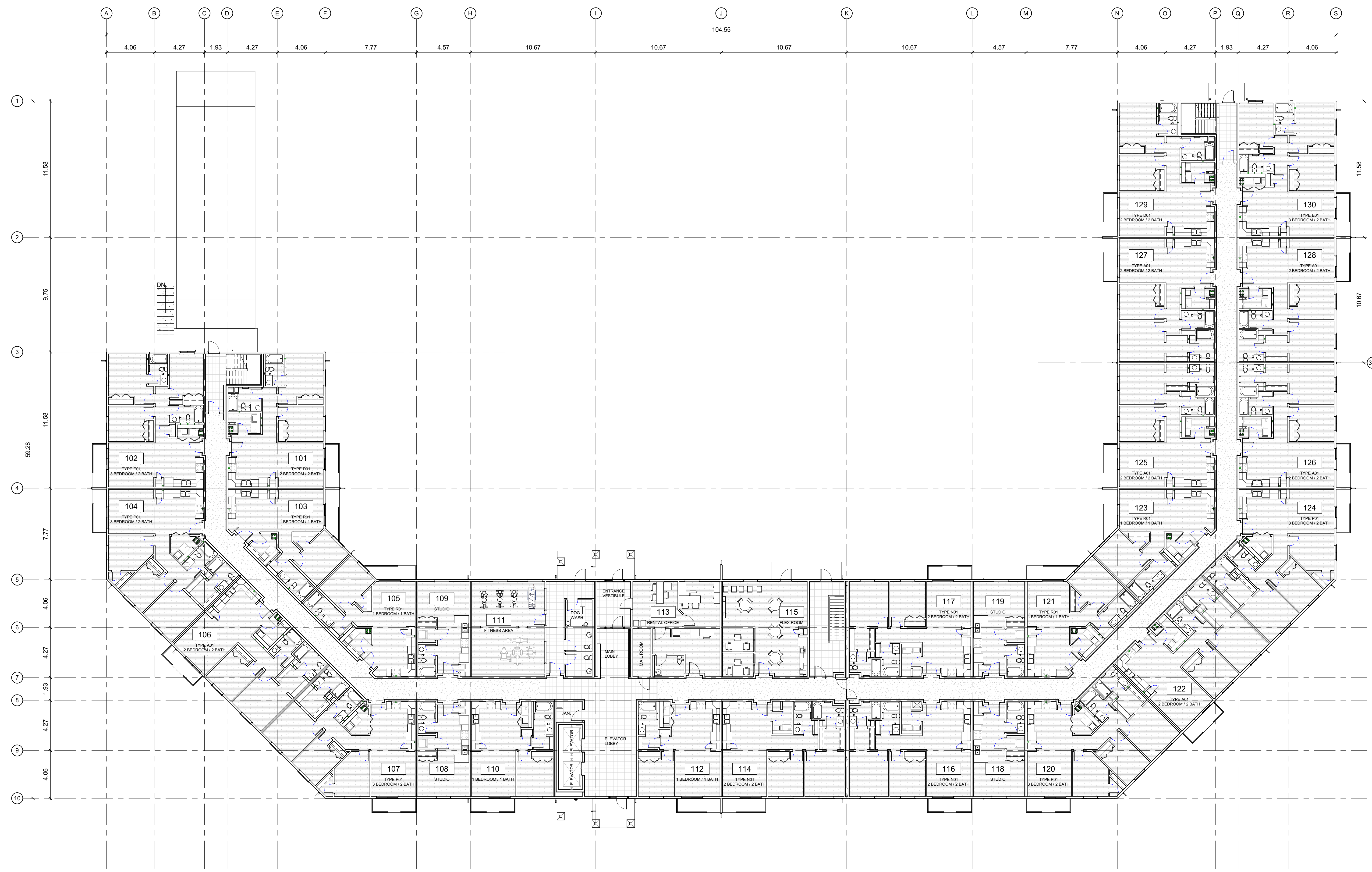
1 : 150

DRAWING #:

A2.01

REV #:

B



1 FIRST FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2737.68 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1384.84 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1384.84 m<sup>2</sup>**

SITE MAP:

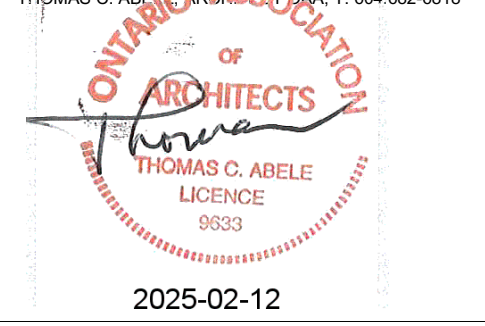
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

SECOND FLOOR PLAN

DRAWN BY:

EC

CHECKED BY:

CG

DATE:

FEB 14, 2025

SCALE:

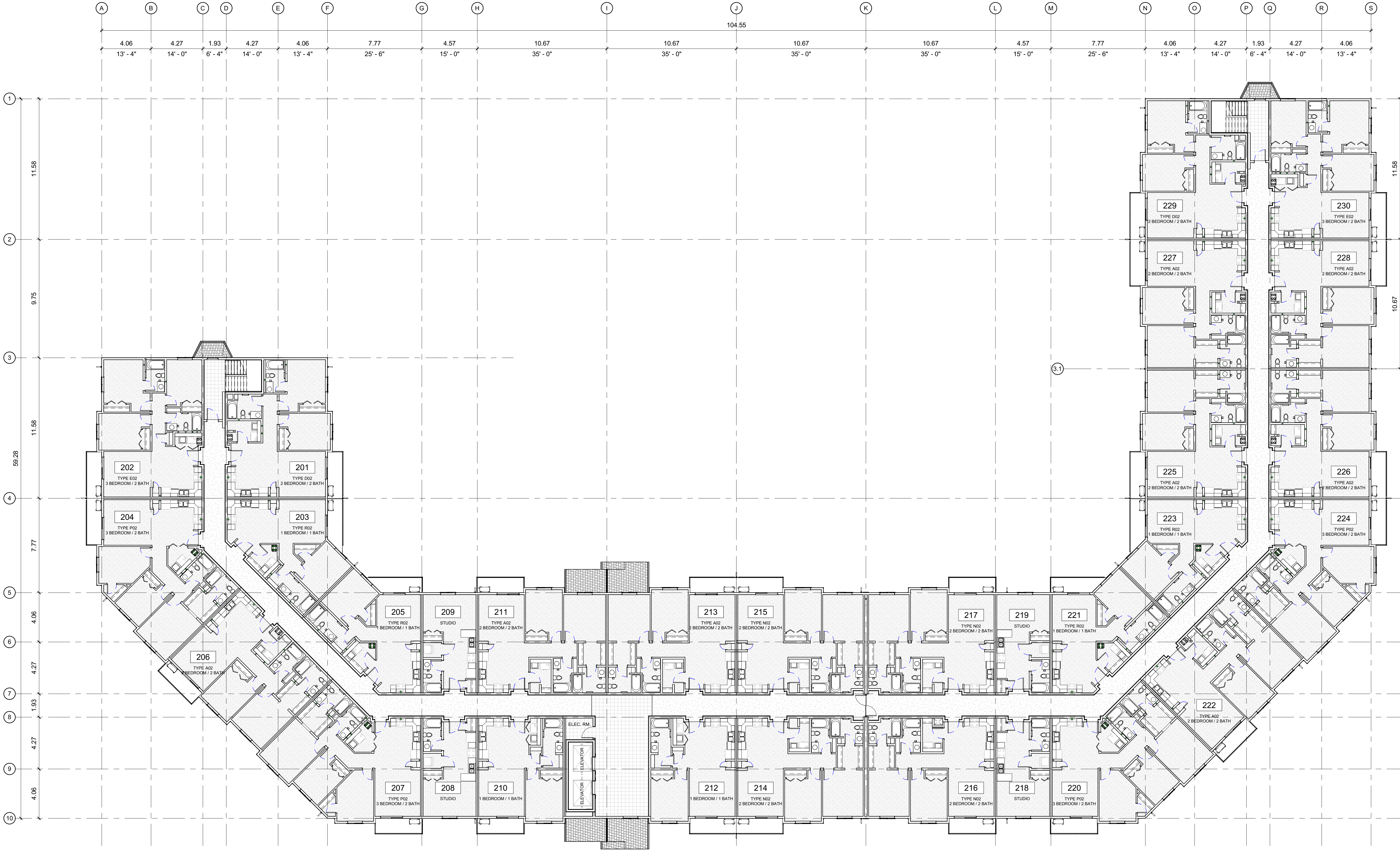
1 : 150

DRAWING #:

A2.02

REV #:

B



1 SECOND FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2774.61 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1387.58 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1387.03 m<sup>2</sup>**

SITE MAP:

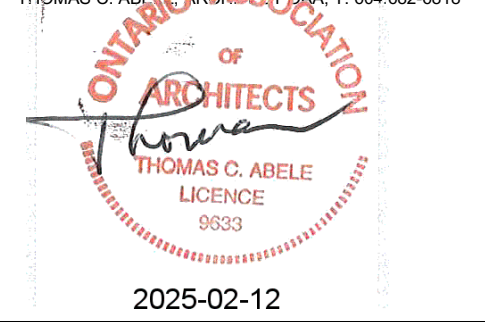
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
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SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE ARCHITECTURE INC. T: 604-682-6818



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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
THIRD FLOOR PLAN

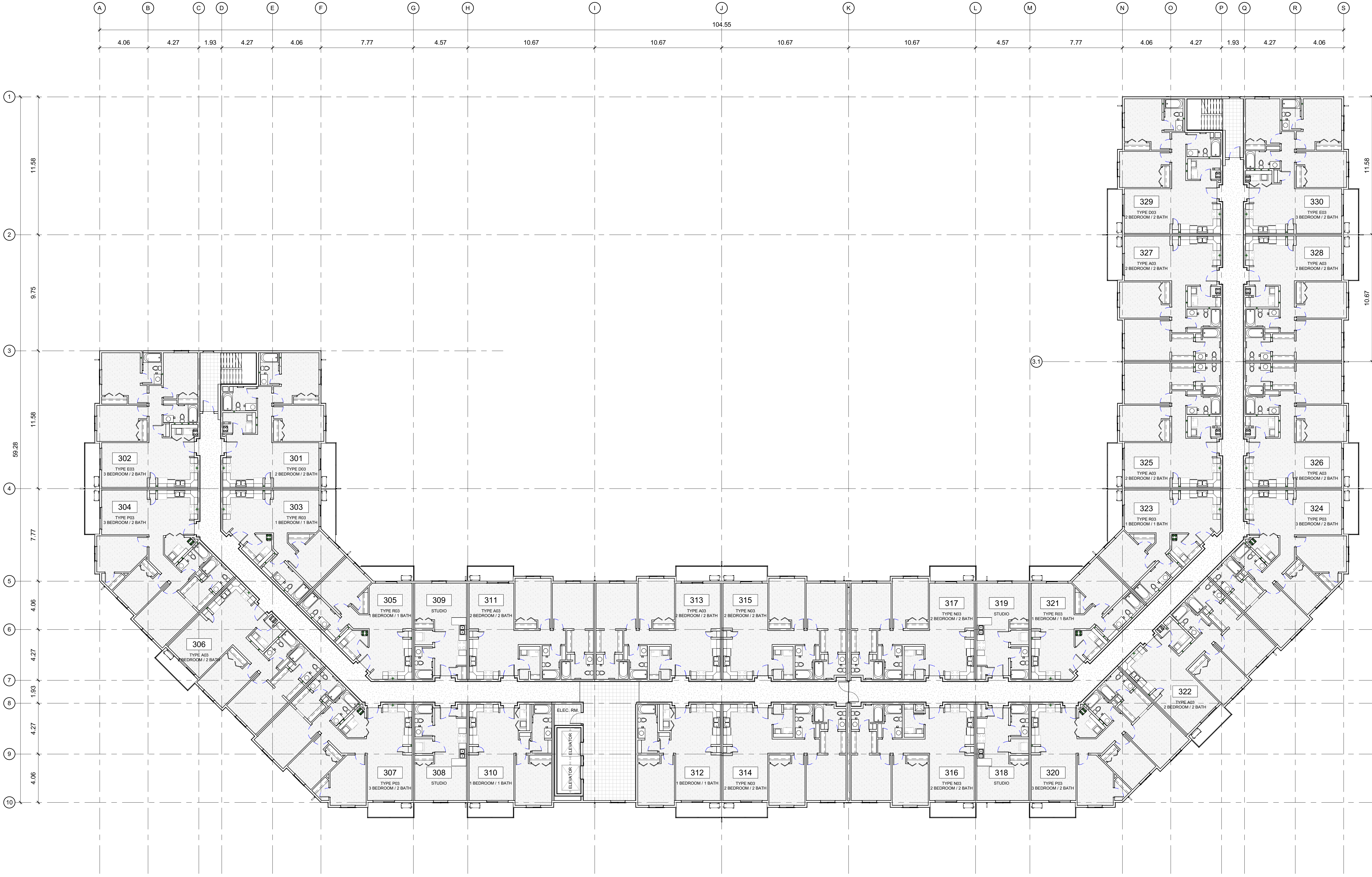
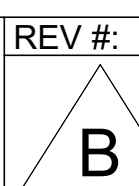
DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

SCALE: 1 : 150

DRAWING #: **A2.03**



1 THIRD FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2774.61 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1387.58 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1387.03 m<sup>2</sup>**

SITE MAP:

PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

FOURTH FLOOR PLAN

DRAWN BY:

EC

CHECKED BY:

CG

DATE:

FEB 14, 2025

SCALE:

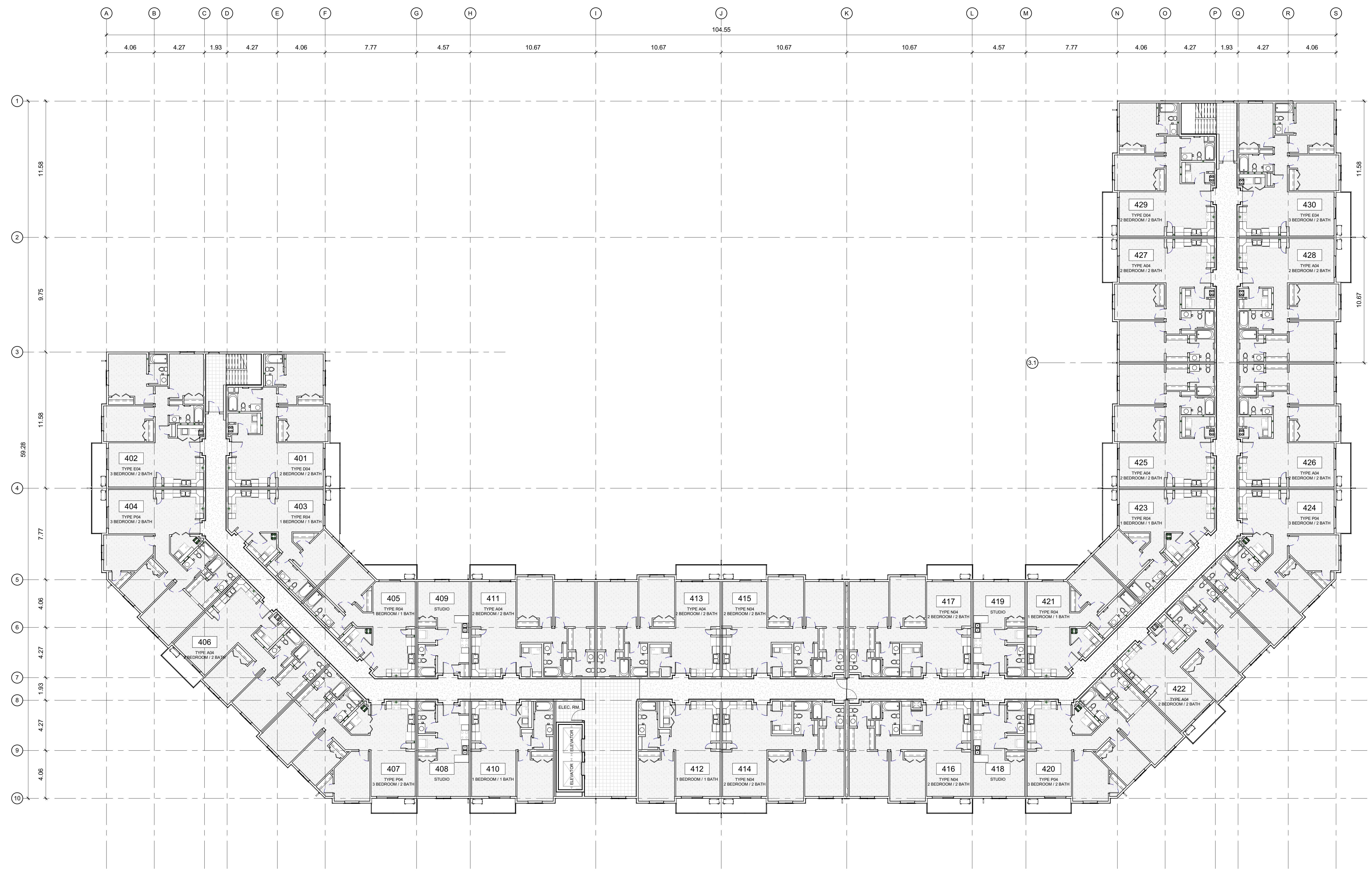
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DRAWING #:

**A2.04**

REV #:

**B**



1 FOURTH FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2774.61 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1387.58 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1387.03 m<sup>2</sup>**



SITE MAP:

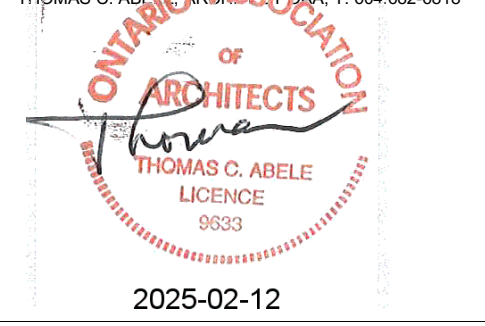
PROJECT STATUS:

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Revision Schedule

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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

FIFTH FLOOR PLAN

DRAWN BY:

EC

CHECKED BY:

CG

DATE:

FEB 14, 2025

SCALE:

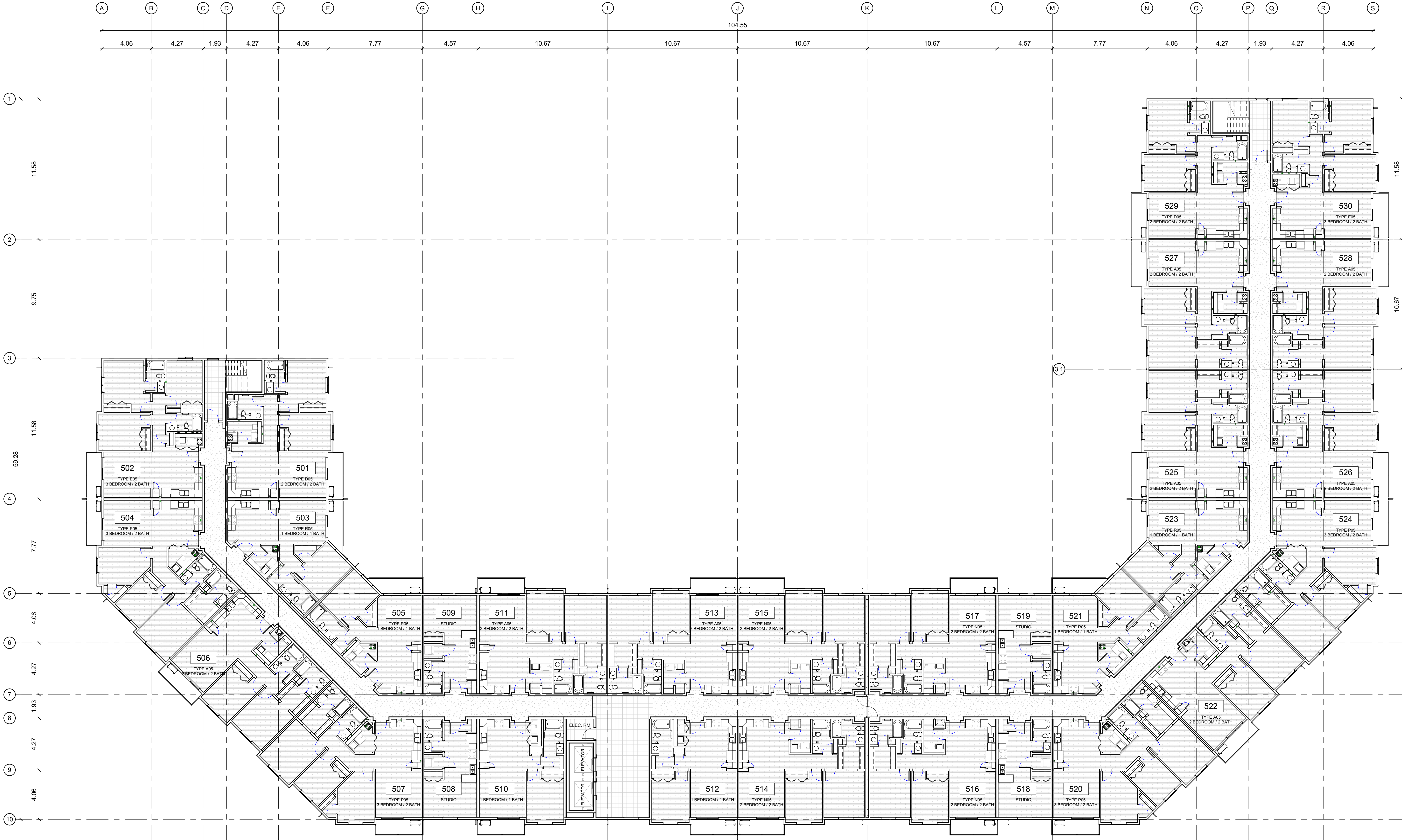
1 : 150

DRAWING #:

A2.05

REV #:

B



1 FIFTH FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2774.61 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1387.58 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1387.03 m<sup>2</sup>**

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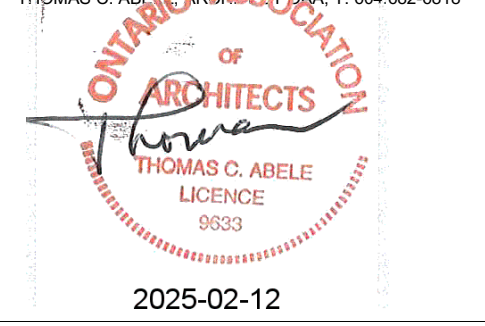
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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

SIXTH FLOOR PLAN

DRAWN BY:

EC

CHECKED BY:

CG

DATE:

FEB 14, 2025

SCALE:

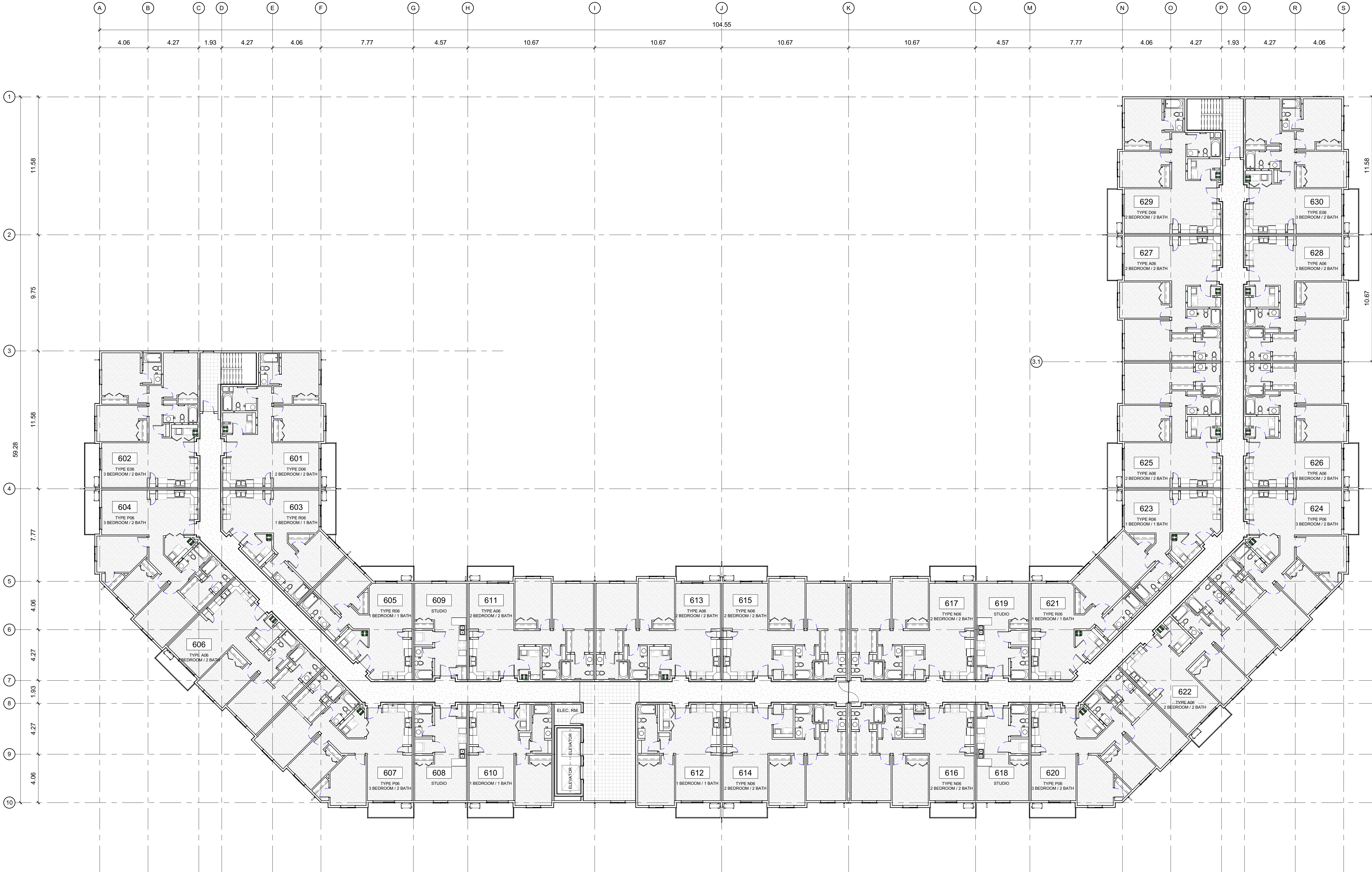
1 : 150

DRAWING #:

A2.06

REV #:

B



① SIXTH FLOOR PLAN  
1 : 150

**TOTAL FLOOR AREA = 2774.61 m<sup>2</sup>**  
**FIREWALL FLOOR AREA BREAKDOWN**  
**LEFT SIDE FLOOR AREA = 1387.58 m<sup>2</sup>**  
**RIGHT SIDE FLOOR AREA = 1387.03 m<sup>2</sup>**

SITE MAP:

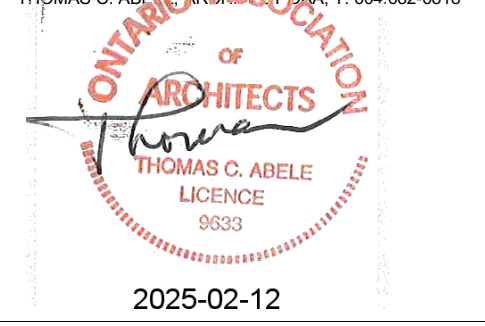
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE ARCHITECTS INC. T: 604.682.6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:

ROOF PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: FEB 14, 2025

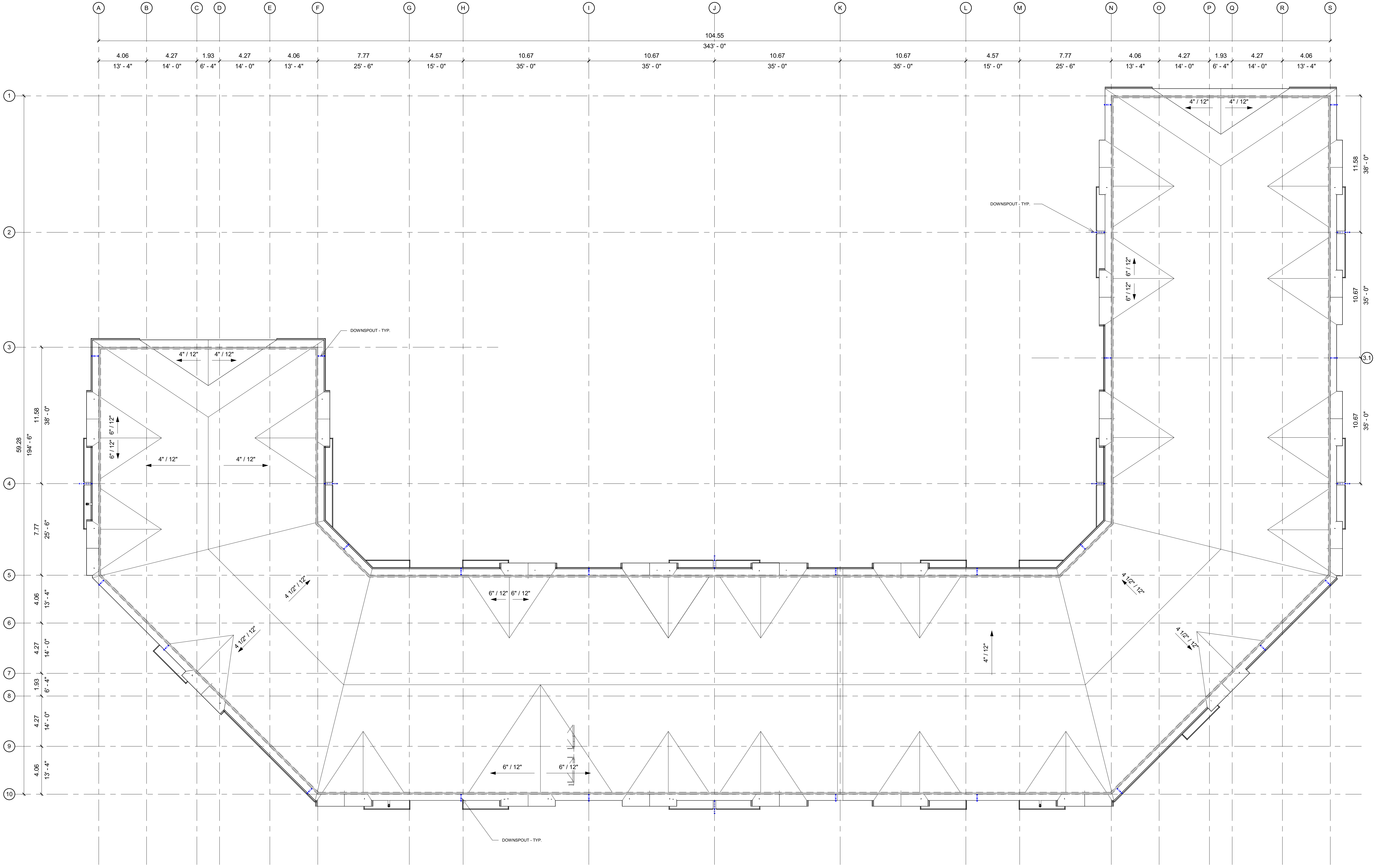
SCALE: 1 : 150

DRAWING #:

**A2.07**

REV #:

**B**



1 ROOF PLAN  
1 : 150

SITE MAP:

PROJECT STATUS:  
DEVELOPMENT PERMIT

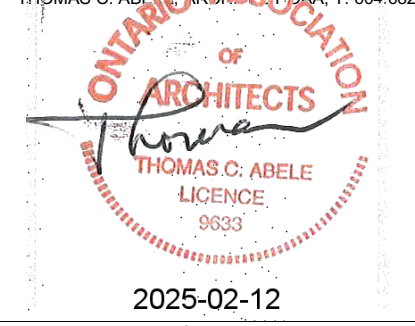
Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025



1 EAST  
1:150

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE ARCHITECTURE  
THOMAS C. ABELE  
LICENCE 9933



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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
ELEVATION - COLOUR

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: As indicated

DRAWING #: **A3.00** REV #: **B**

1	PLANK - CEDARMILL (IRON GREY)	8	EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED
2	PLANK - CEDARMILL (TIMBER BARK)	9	CULTURED STONE - TBC
3	PANEL - SMOOTH (NAVAJO BEIGE)	10	LED WALL SCONCE
4	TRIM - SMOOTH (ARTIC WHITE)	11	WINDOW - SLIDER - WHITE
5	TIMBER - STAIN TBD	12	WINDOW - FIXED - WHITE
6	ALUMINUM RAILING - WELDED SYSTEM - BLACK	13	PATIO DOOR - SLIDER - WHITE
7	3 PANEL CLASSIC SOFFIT - WHITE	14	ENTRY DOOR - SWING - ALUMINUM



2 NORTH  
1:150

SITE MAP:

PROJECT STATUS:  
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE ARCHITECTURE INC. T: 604-682-6818

2025-02-12

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PROJECT NAME:  
PALLADIUM TERRACE

PROJECT NUMBER:  
VP 2402

ADDRESS:  
425 CULDAFF RD  
OTTAWA, ON

DRAWING TITLE:  
ELEVATION - COLOUR

DRAWN BY: EC  
CHECKED BY: CG  
DATE: FEB 14, 2025  
SCALE: As indicated

DRAWING #: **A3.01** REV #: **B**



① WEST  
1 : 150



② SOUTH  
1 : 150

1	PLANK - CEDARMILL (IRON GREY)	8	EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED
2	PLANK - CEDARMILL (TIMBER BARK)	9	CULTURED STONE - TBC
3	PANEL - SMOOTH (NAVAJO BEIGE)	10	LED WALL SCONCE
4	TRIM - SMOOTH (ARTIC WHITE)	11	WINDOW - SLIDER - WHITE
5	TIMBER - STAIN TBD	12	WINDOW - FIXED - WHITE
6	ALUMINUM RAILING - WELDED SYSTEM - BLACK	13	PATIO DOOR - SLIDER - WHITE
7	3 PANEL CLASSIC SOFFIT - WHITE	14	ENTRY DOOR - SWING - ALUMINUM