

PALLADIUM TERRACE 425 CULDAFF RD OTTAWA, ON



CIVIL ENGINEERING:

NOVATECH 240 Michael Cowpland Drive Suite 200, Ottawa, ON K2M 1P6 613.254.9643 LANDSCAPE ARCHITECT:

STUDIO RED LANDSCAPE ARCHITECTURE INC. 76 Chamberlain Ave. Ottawa, ON K1S 1V9 613-866-4551





SITE INFORMATION					
PROJECT DESCRIPTION	1 - MULTIFAMI	LY RESIDENTIAL AF	PARTMENT (6 STOREY)		
TOTAL UNITS	177 UNITS				
ROOF TYPE	GABLE ROOF				
CIVIC ADDRESS	425 CULDAFF RD.				
MUNICIPALITY	CITY OF OTTAWA				
ZONING	GM				
LEGAL DESCRIPTION	LEGAL DESCRIPTION PART BLOCK 242, PLAN 4M1687, PART 1 AND 2 ON 4R35406; SUBJECT TO AN EASEMENT IN GROSS OVER PART 4, 4R34110 AS IN OC2424260; CITY OF OTTAWA				
LOT AREA	9,728.16 m ²	2.40 ACRES	0.973 HECTARES		
BUILDING AREA	16,335.42	m ²			
DENSITY	74.2 DU/ACRE				
FLOOR SPACE INDEX (FSI)	1.68				

Z	ONING SU	MMARY		
~~~	REQU	IIRED	PROP	OSED
MAX. BUILDING HEIGHT	18.0	m	18.0	) m
MIN. FRONT YARD S.B.	3.0	m	7.0	m
MIN. REAR YARD S.B.	7.5	m	7.5	m
MIN. INTERIOR SIDE YARD S.B.	3.0	m	3.0	m
MIN. CORNER SIDE YARD S.B.	3.0	m	3.0	m
MIN. LOT AREA	No minimum	m²	-	m²
MIN. LOT WIDTH	No minimum	m	-	m
				·

VEHICULAR PARKING						
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED		
APARTMENT - REGULAR	1.2 / UNIT	177	212	177		
VISITORS	0.2 / UNIT	177	35	35		
TOTAL PARKING STALLS			247	212 *		
OTHER PARKING PROVISIONS						
SMALL CAR	MAX 50%	••• ••••••••••••••••••••••••••••••••••	MAX 107	90		
ACCESSIBLE TYPE A			3	3		

* SUBJECT TO VARIANCE

BUILDING INFORMATION						
BUILDING STOREYS UNIT COUNT FOOTPRINT GROSS BUILDING AREA						
Α	<b>A 6 177</b> 2722.57 m ² 16,335.42 m ²					
<b>A 6 1</b> // 2/22.5/ m ² 16,335.42 m ²						

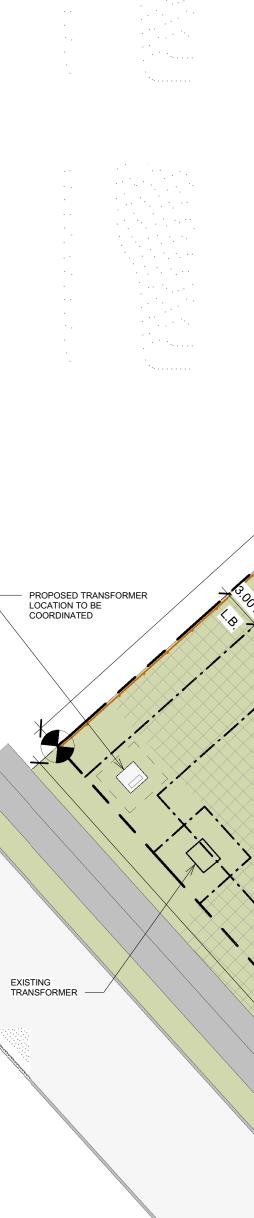
UNIT B	REAKDOWN		
	BUILDING A		
TOTAL PER BUILDING	177		
		%	
STUDIO	24	13%	e e e e e e e e e e e e e e e e e e e
1 BED / 1BATH	24	13%	
2 BED / 1 BATH	6	3%	
2 BED / 2 BATH	87	51%	
3 BED / 2 BATH	36	20%	
TOTAL	177 UNITS		·

LANDSCAPE						
	REQUIRED	PROPOSED				
PERCENTAGE OF LOT AREA		35%				
m ²		3387 m ²				

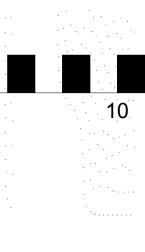
BICYCLE PARKING							
RATE UNITS/AREA REQUIRED PROPOSED							
APARTMENT BUILDING	0.5 / UNIT	177	89	108			
TOTAL BICYCLE			89	108			
<b>OTHER BICYCLE PROVISIONS</b>							
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40			
MIN HORIZONTAL BIKE STALL	50%	-	45	48			
MIN SECURED BIKE STALLS	25%	-	22				

AMENITY					
	RATE	REQUIRED			
TOTAL AMENITY SPACE	6m² / DU	<b>1062</b> m ²	1331.35 m ²		
COMMUNITY AMENITY AREA (50% MIN OF TOTAL)		531 m²	1331.35 m ²		

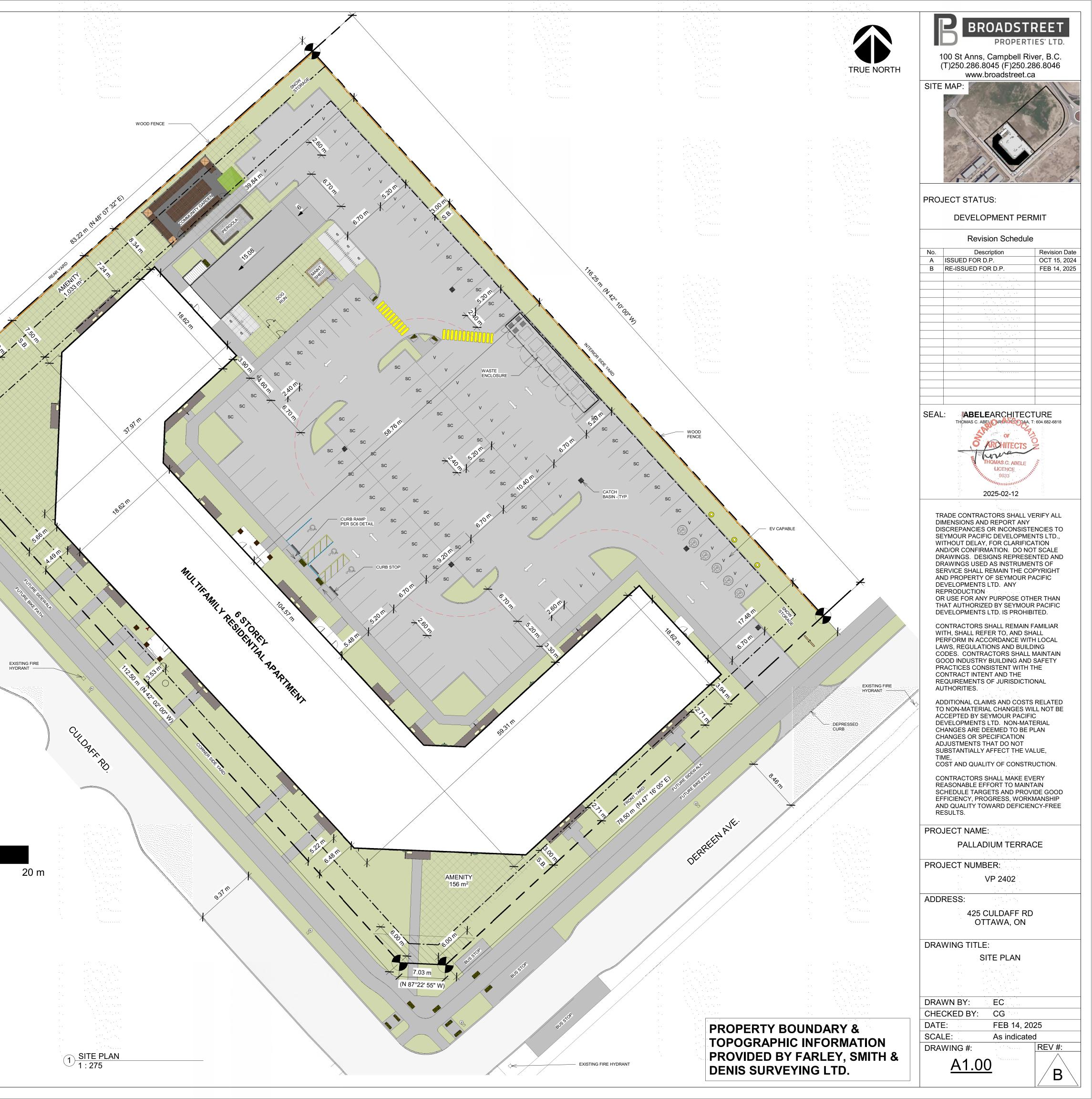
	LEGEND						
	PROPERTY LINE	×—×—×	CHAINLINK FENCE				
•===• + ••••••• + ••••••	SETBACK LINE		LANDSCAPE AREA				
	BUILDING OUTLINE		CROSSWALK 1.5 X .45 STRIPS				
•	FIRE HYDRANT		SIDEWALK LETDOWN				
0	EV CAPABLE CHARGER	å	ACCESSIBLE PARKING				
	WOODEN FENCE	[ <del>;;;;</del> ]	BIKE PARKING (NUMBER REPRESENTS COUNT)				









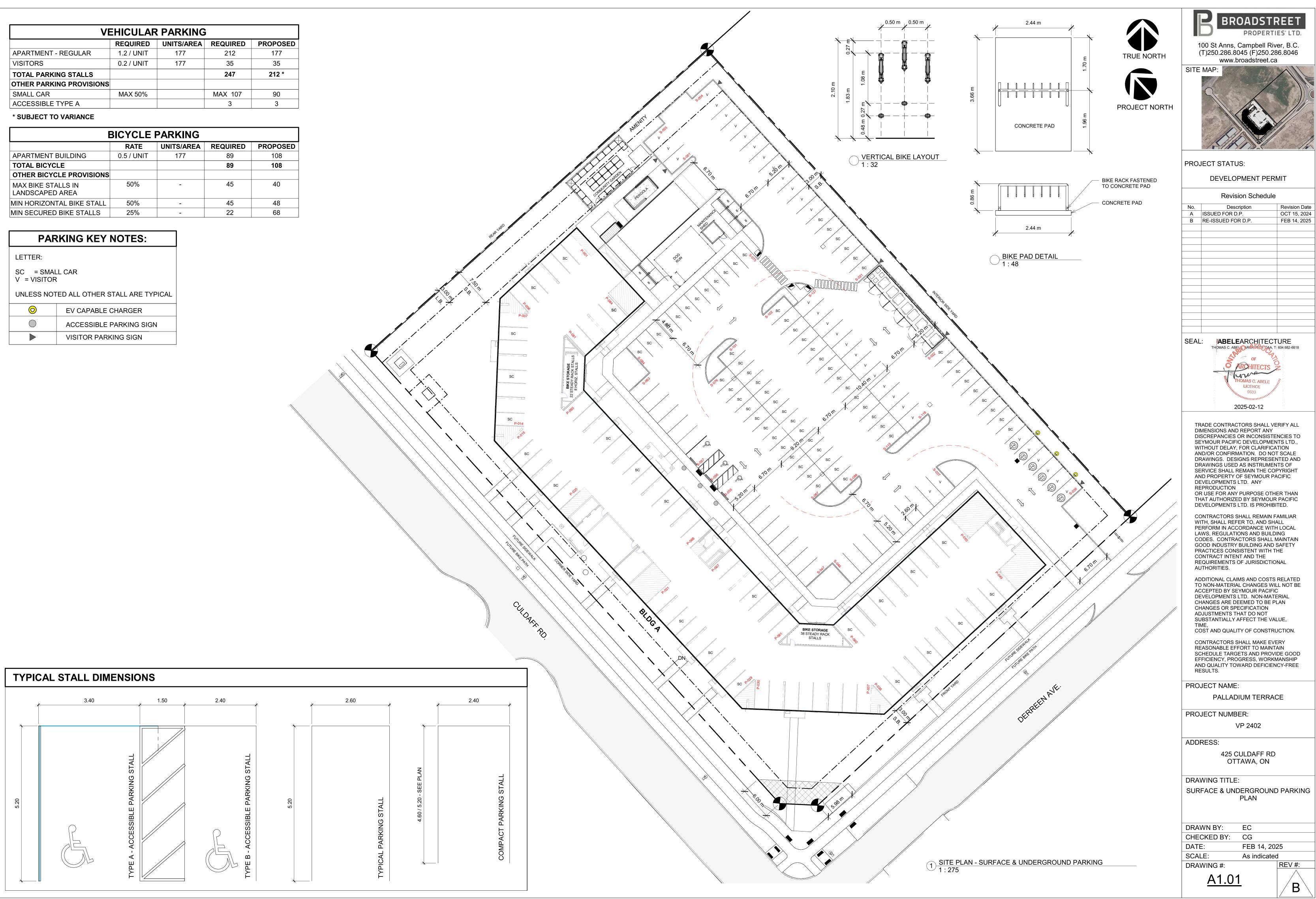


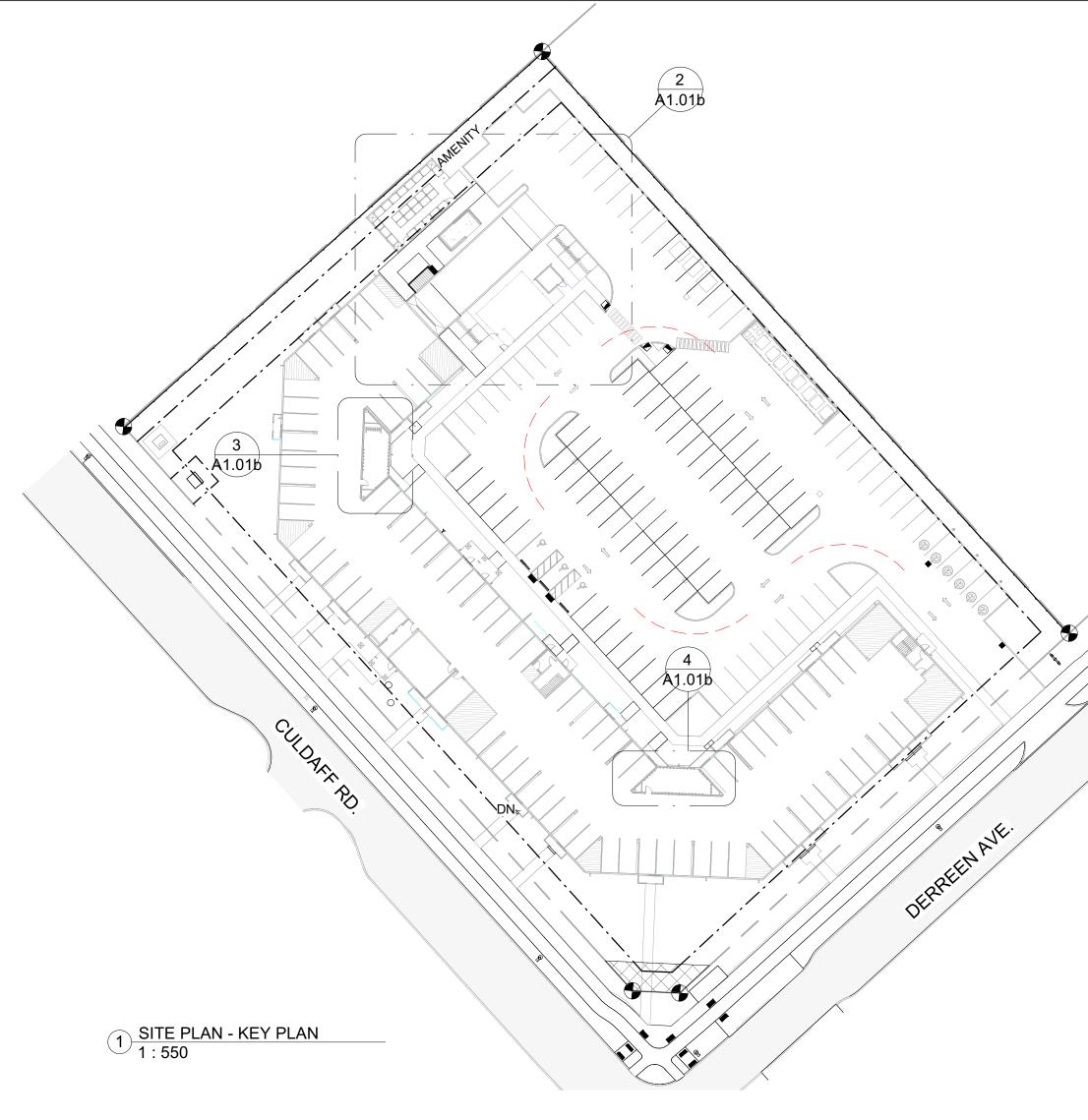
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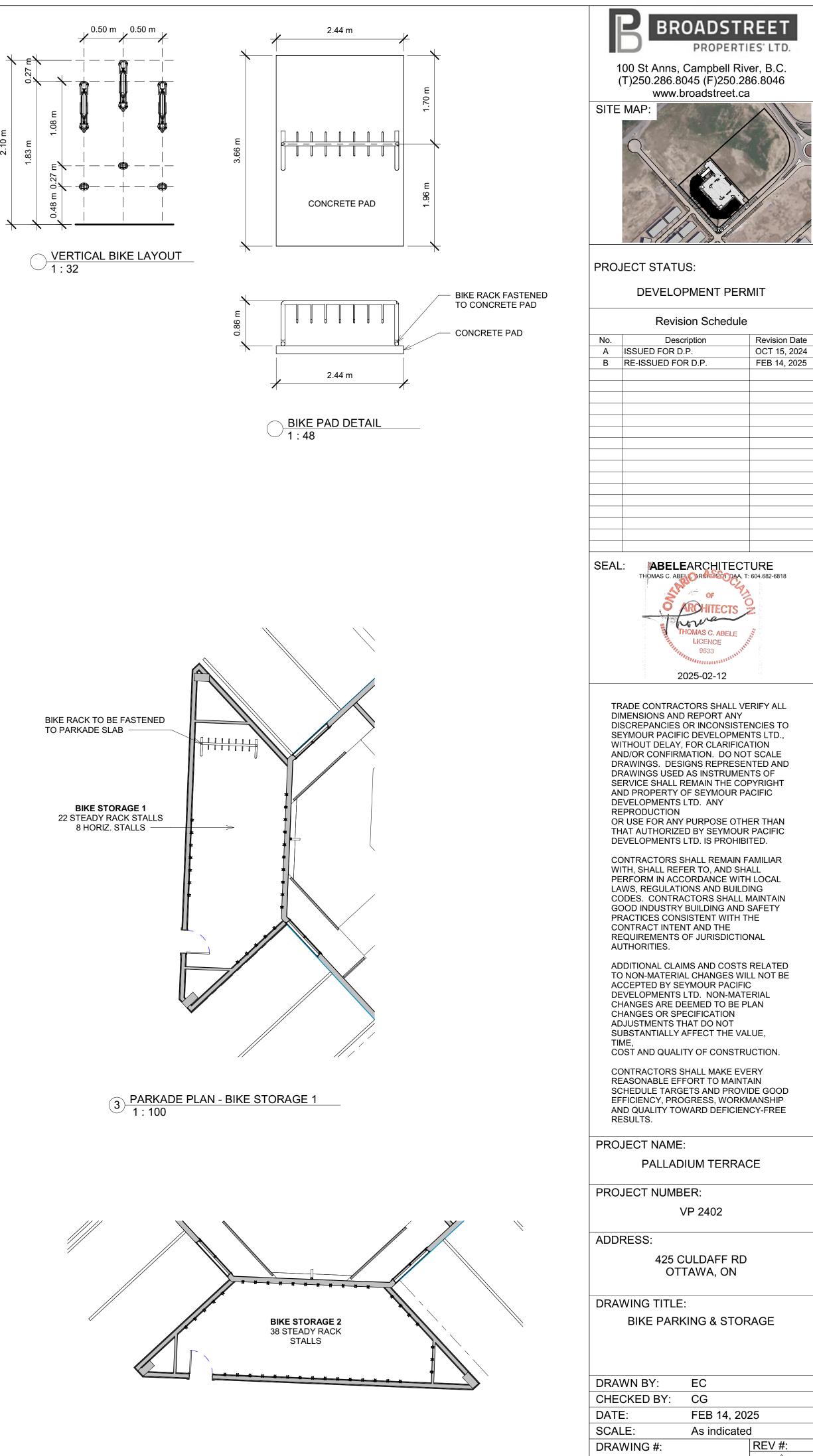
O	EV CAPABLE CHARGER
	ACCESSIBLE PARKING SIGN
	VISITOR PARKING SIGN

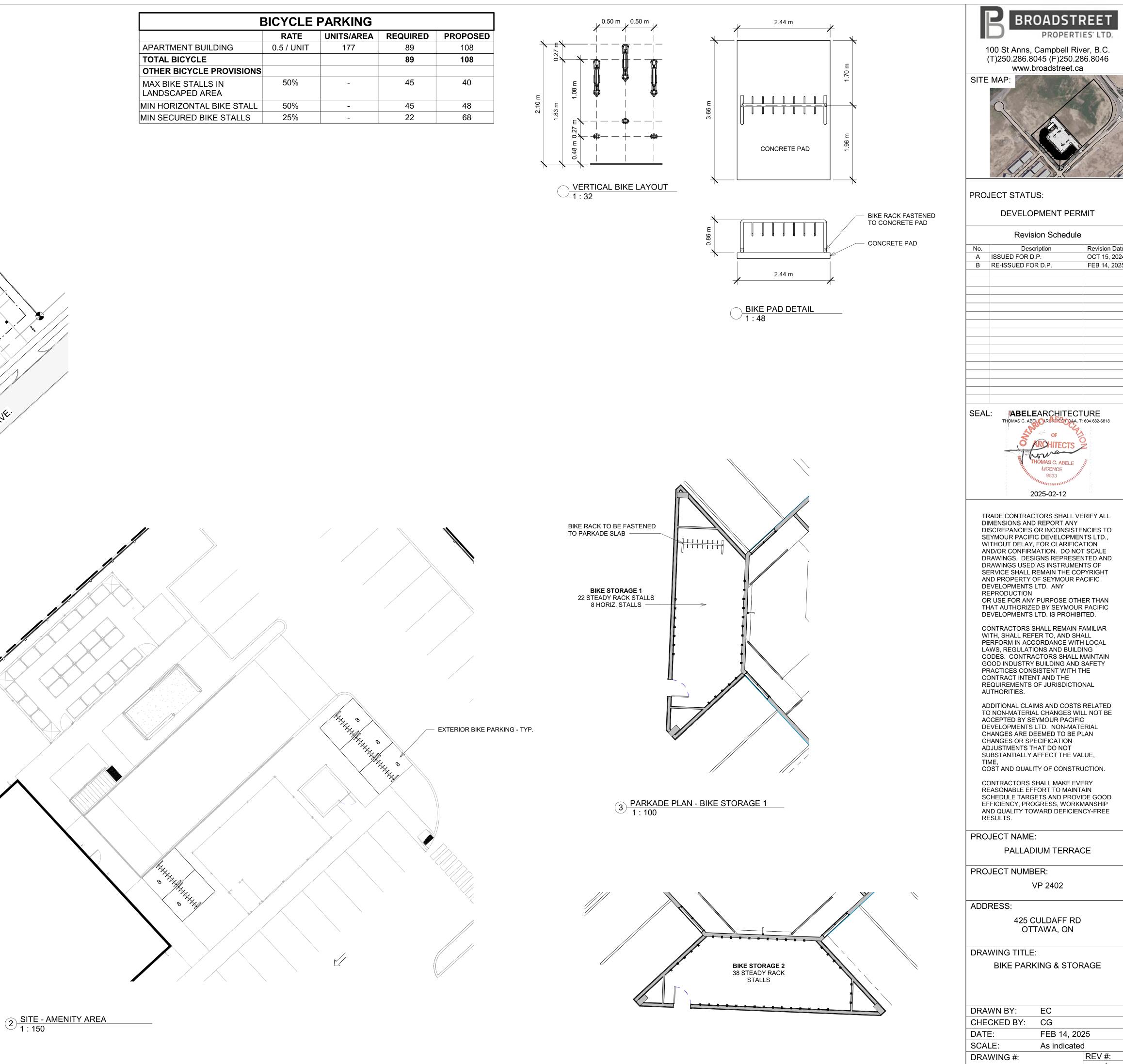




## **INFORMATION ON THIS SHEET PROVIDED FOR SITE PLAN** CONTROL APPROVAL ONLY

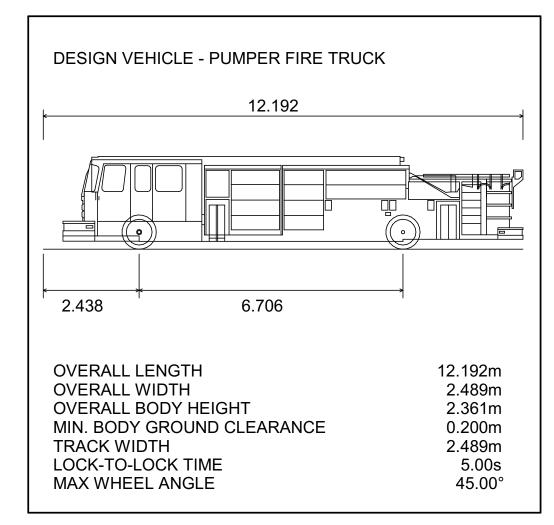
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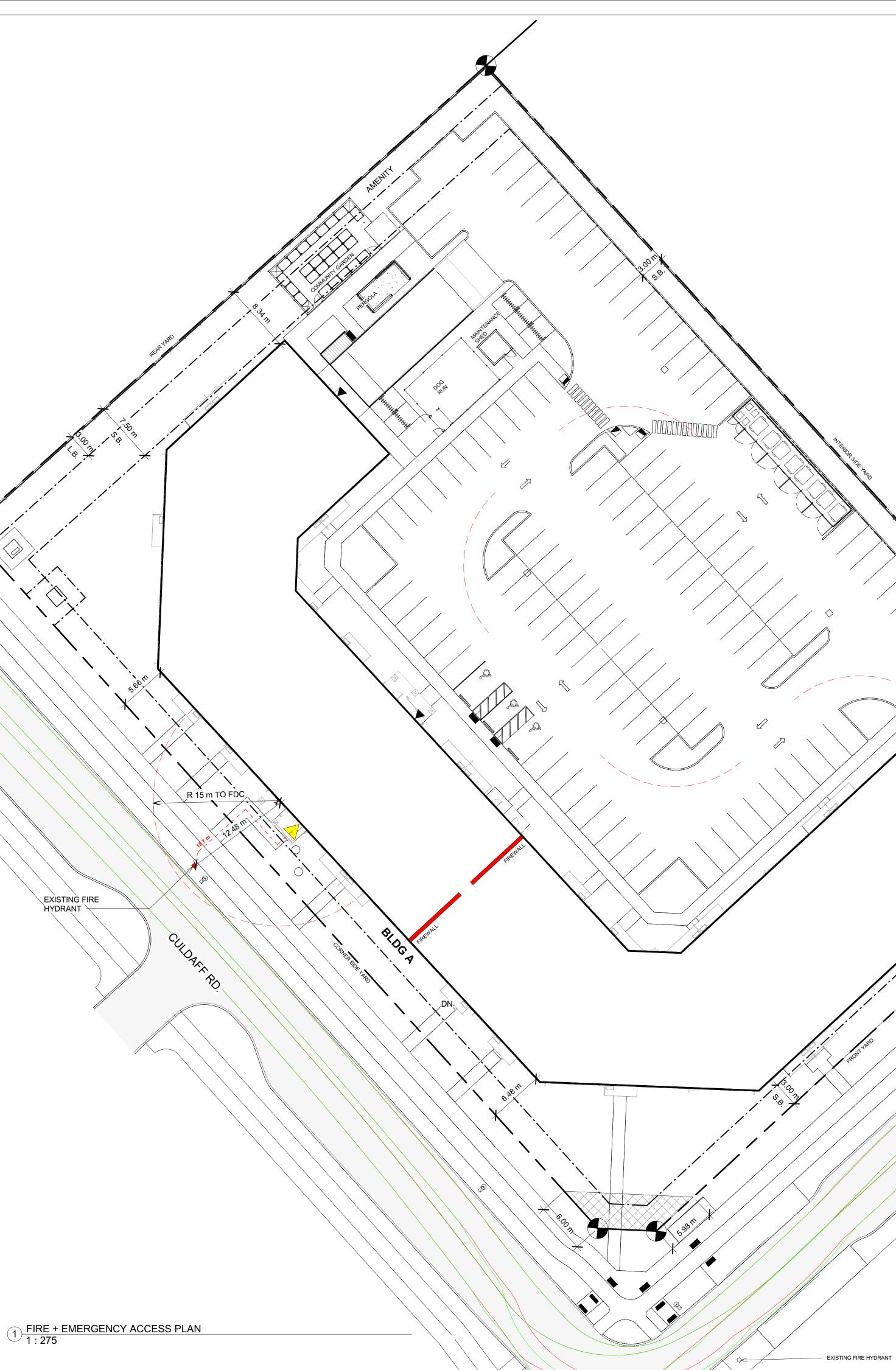
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LEGEND						
	PROPERTY LINE					
	SETBACK LINE					
	PATH OF TRAVEL					
	BUILDING OUTLINE					
+	FIRE HYDRANT					
	PRINCIPAL ENTRANCE					
Å	FIRE DEPARTMENT CONNECTION					



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HYDRANT





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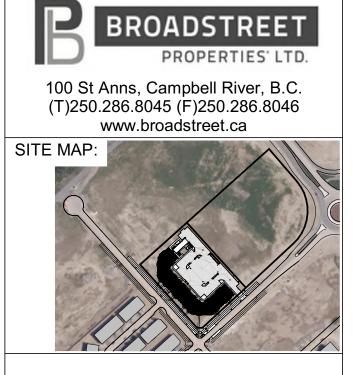
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EXISTING FIRE

HYDRANT -

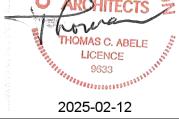


PROJECT STATUS:

DEVELOPMENT PERMIT

	Revision Schedule									
No.	Description	Revision Date								
Α	ISSUED FOR D.P.	OCT 15, 2024								
В	RE-ISSUED FOR D.P.	FEB 14, 2025								
SEAL	: ABELEARCHITECT	URE								

THOMAS C. ABEL, REAL PROVIDENTIAL, T: 604.682-6818



TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION

OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO, AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME. COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP

AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

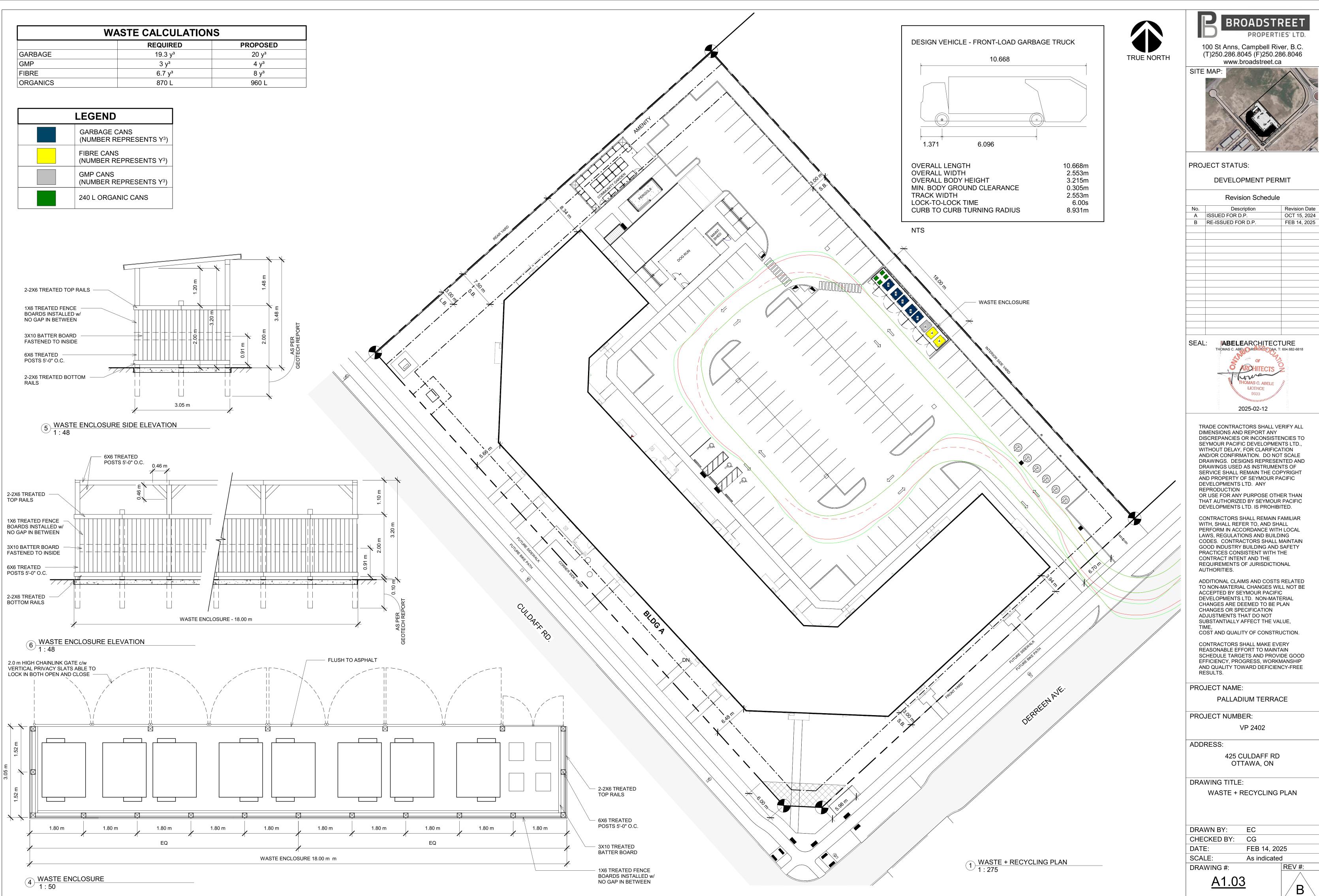
425 CULDAFF RD OTTAWA, ON

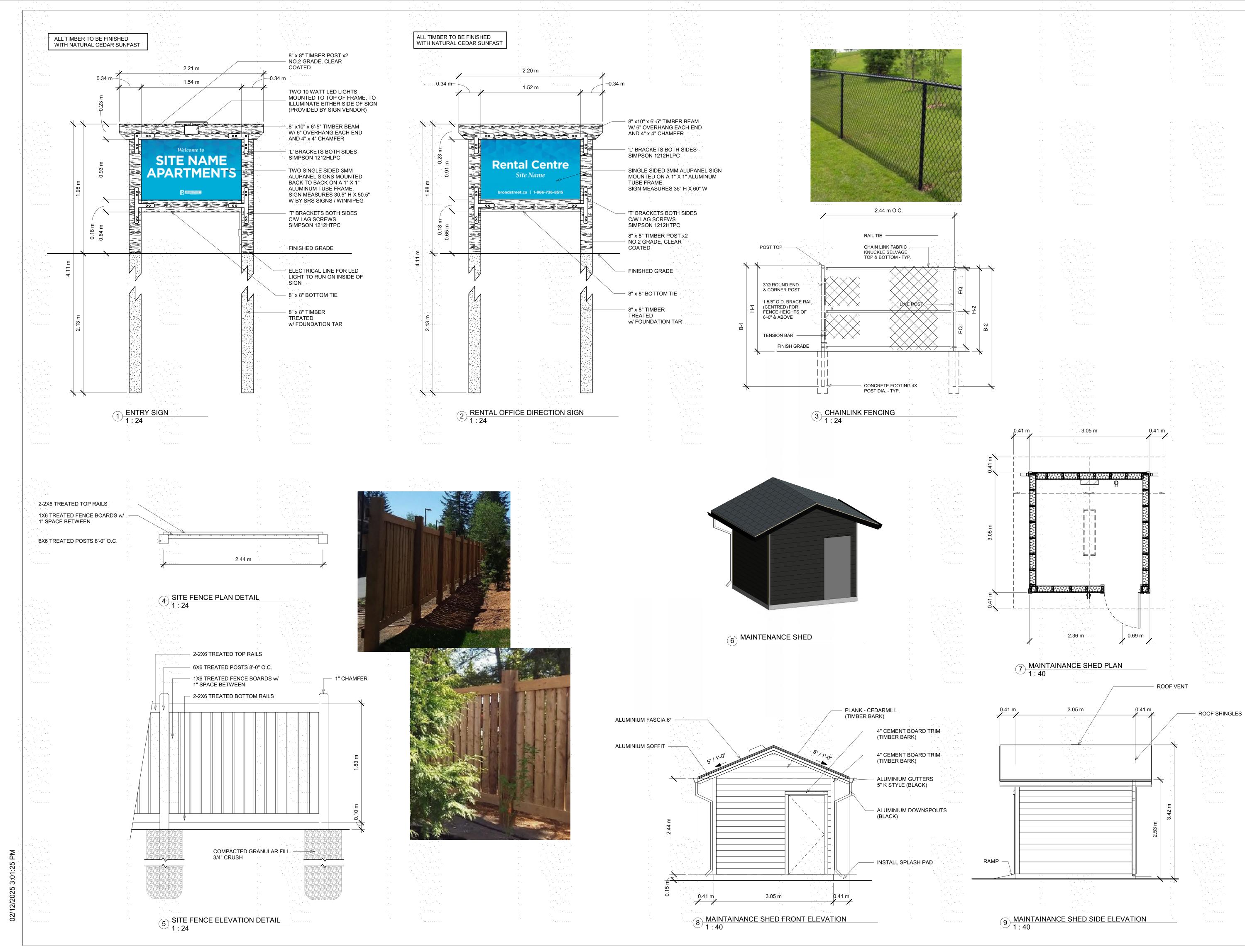
DRAWING TITLE: FIRE + EMERGENCY ACCESS PLAN

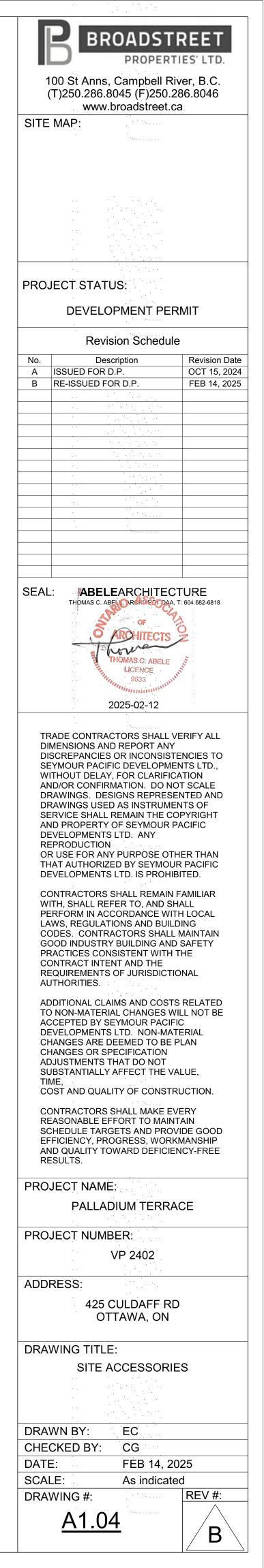
DRAWN BY: EC CHECKED BY: CG DATE: FEB 14, 2025 SCALE: As indicated DRAWING #: REV #: <u>A1.02</u> B

WASTE CALCULATIONS					
	REQUIRED	PROPOSED			
GARBAGE	19.3 y³	20 y ³			
GMP	3 y ³	4 y ³			
FIBRE	6.7 y ³	8 y ³			
ORGANICS	870 L	960 L			

LEGEND					
	GARBAGE CANS (NUMBER REPRESENTS Y ³ )				
	FIBRE CANS (NUMBER REPRESENTS Y ³ )				
	GMP CANS (NUMBER REPRESENTS Y ³ )				
	240 L ORGANIC CANS				



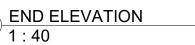




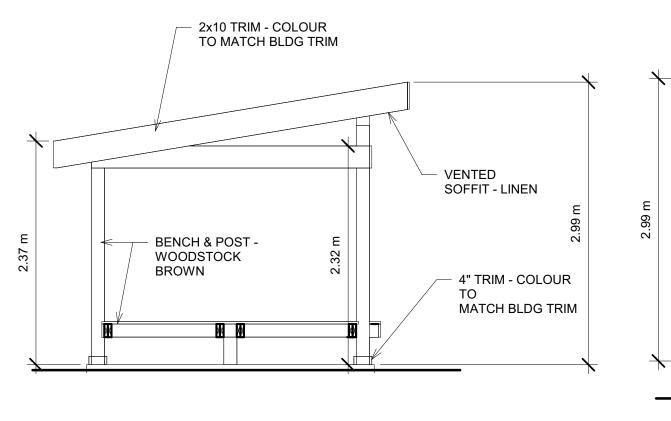


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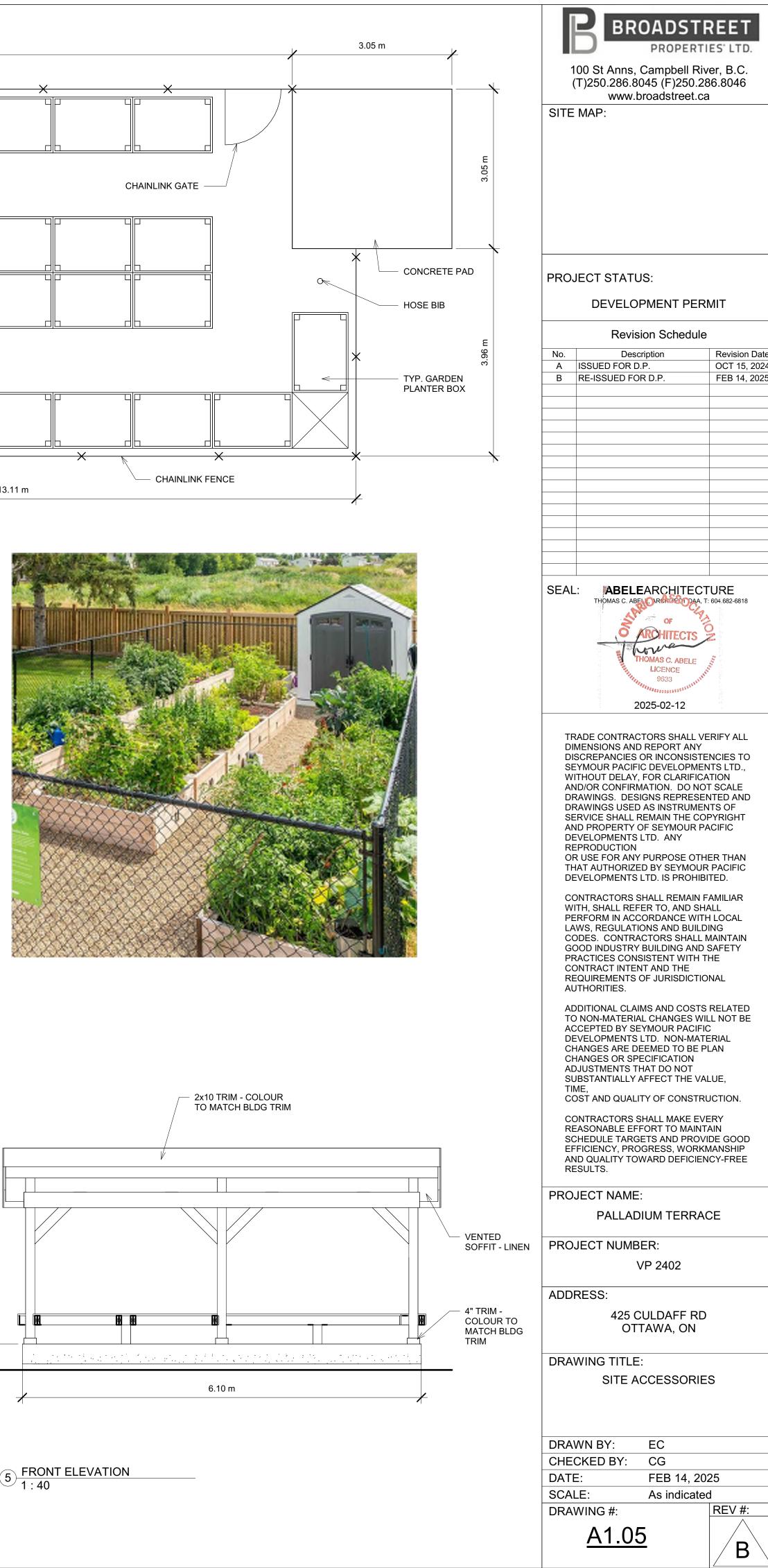


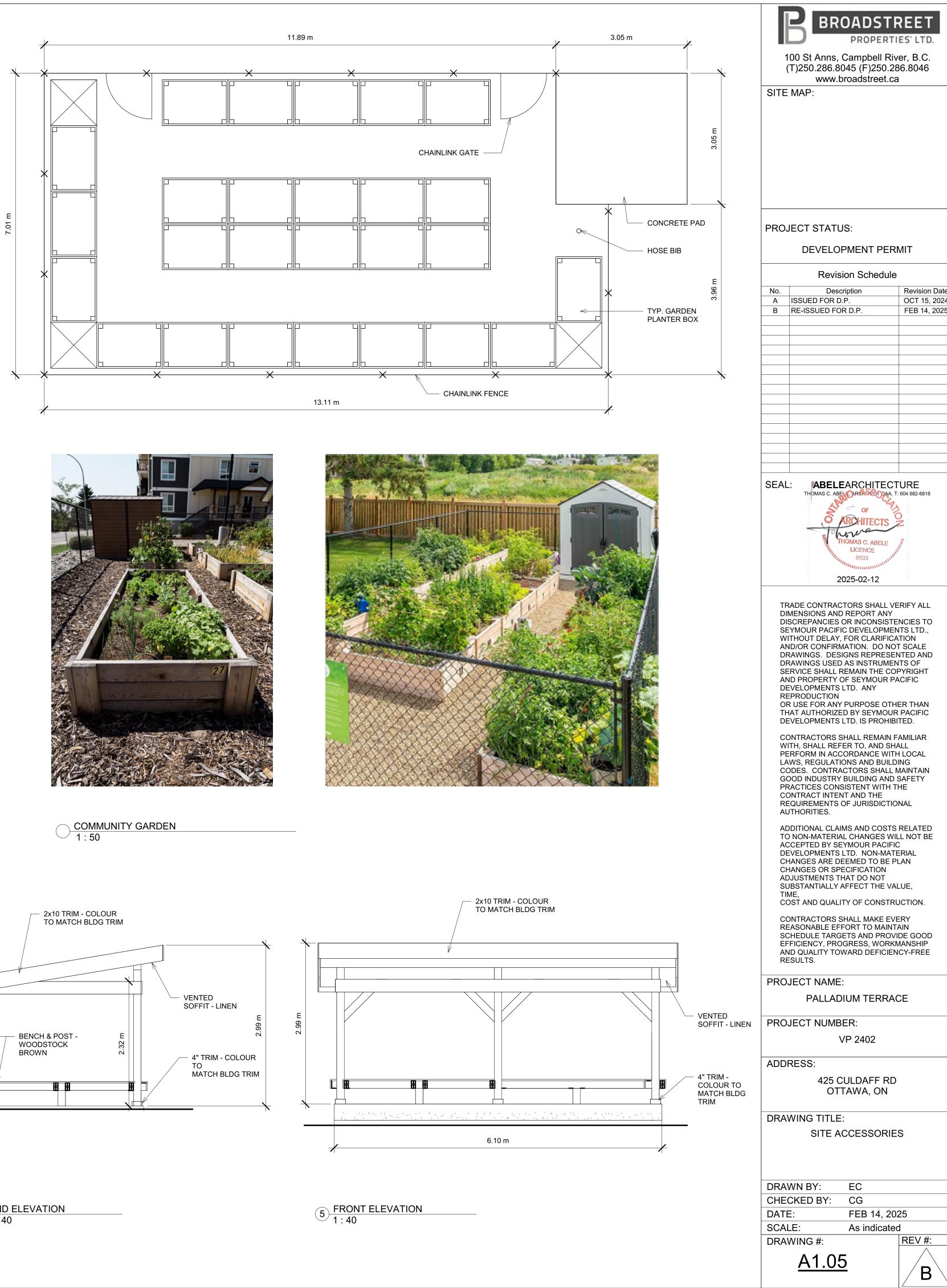
















## (3) NOTRH VIEW







# (1) MAIN ENTRANCE



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	BROADSTREET PROPERTIES'LTD. 100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.broadstreet.ca SITE MAP:
	PROJECT STATUS: DEVELOPMENT PERMIT
	Revision Schedule
╞	No. Description Revision Date
	A         ISSUED FOR D.P.         OCT 15, 2024           B         RE-ISSUED FOR D.P.         FEB 14, 2025
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	SEAL: ABELEARCHITECTURE THOMAS C. ABELONRANDED DAA, T: 604.682-6818
	MARCE OF THE
	O ARCHITECTS
	THOMAS C. ABELE
	State LICENCE 9633
-	2025-02-12
	TRADE CONTRACTORS SHALL VERIFY ALL
	DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO
	SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION
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	RESULTS.
ŀ	PROJECT NAME:
	PALLADIUM TERRACE
$\left  \right $	PROJECT NUMBER:
	VP 2402
	VF 24UZ
F	ADDRESS:
	425 CULDAFF RD
	OTTAWA, ON
╞	DRAWING TITLE:
	SITE PERSPECTIVES
╞	DRAWN BY: EC
F	CHECKED BY: CG
ſ	DATE: FEB 14, 2025

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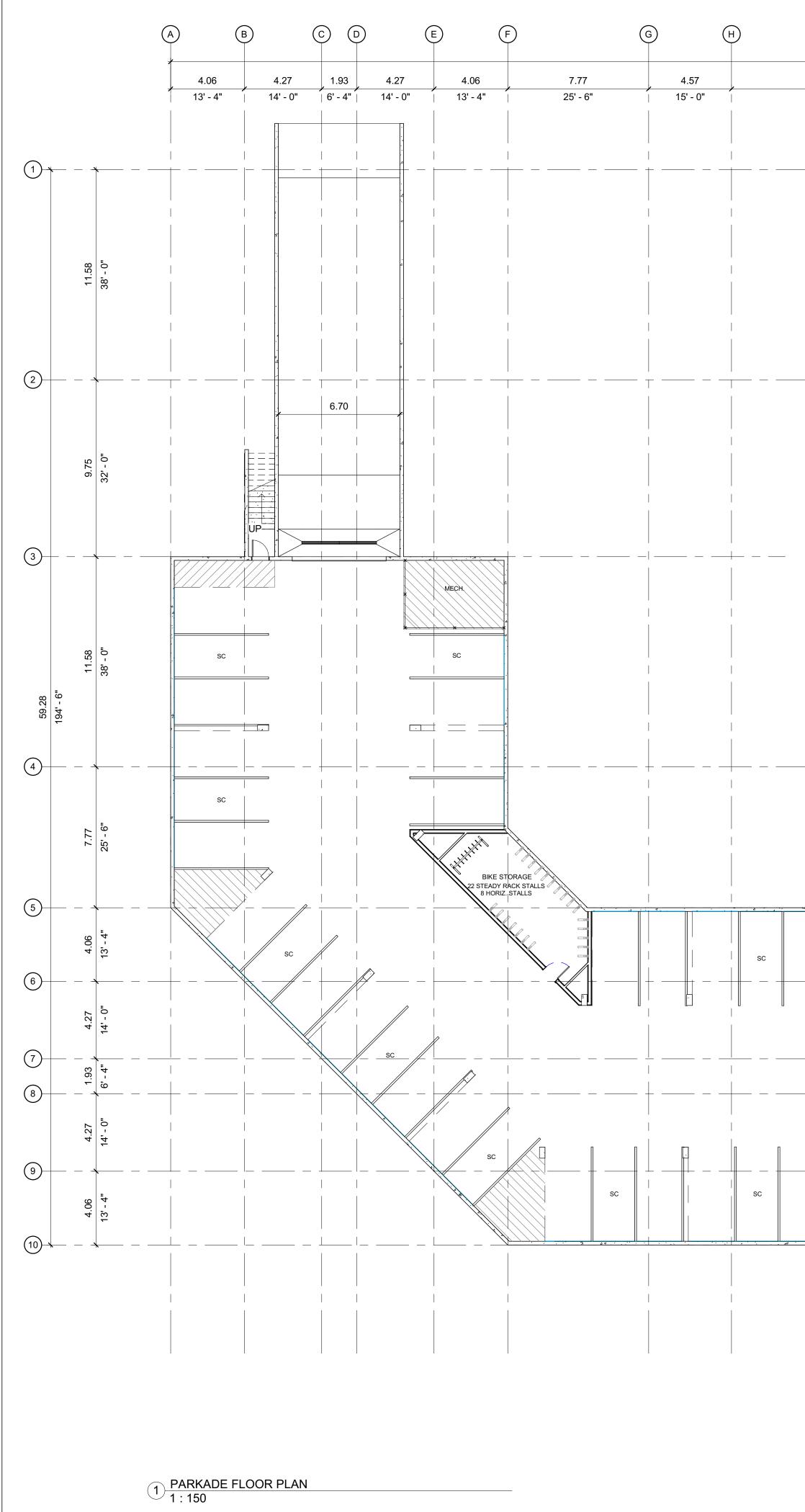
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PRIVATE PROPERTY TO PUBLIC AREA —



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PRO	JECT NUMBI	ER:	
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- PROPOSED VEHICLE ENTRANCE



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10.67 35' - 0"	V	343' - 0.67 5' - 0"			10.67 35' - 0"	4.57 15' - 0"	7.77 25' - 6"	4.06
								5.22 17' - 1 5/8"
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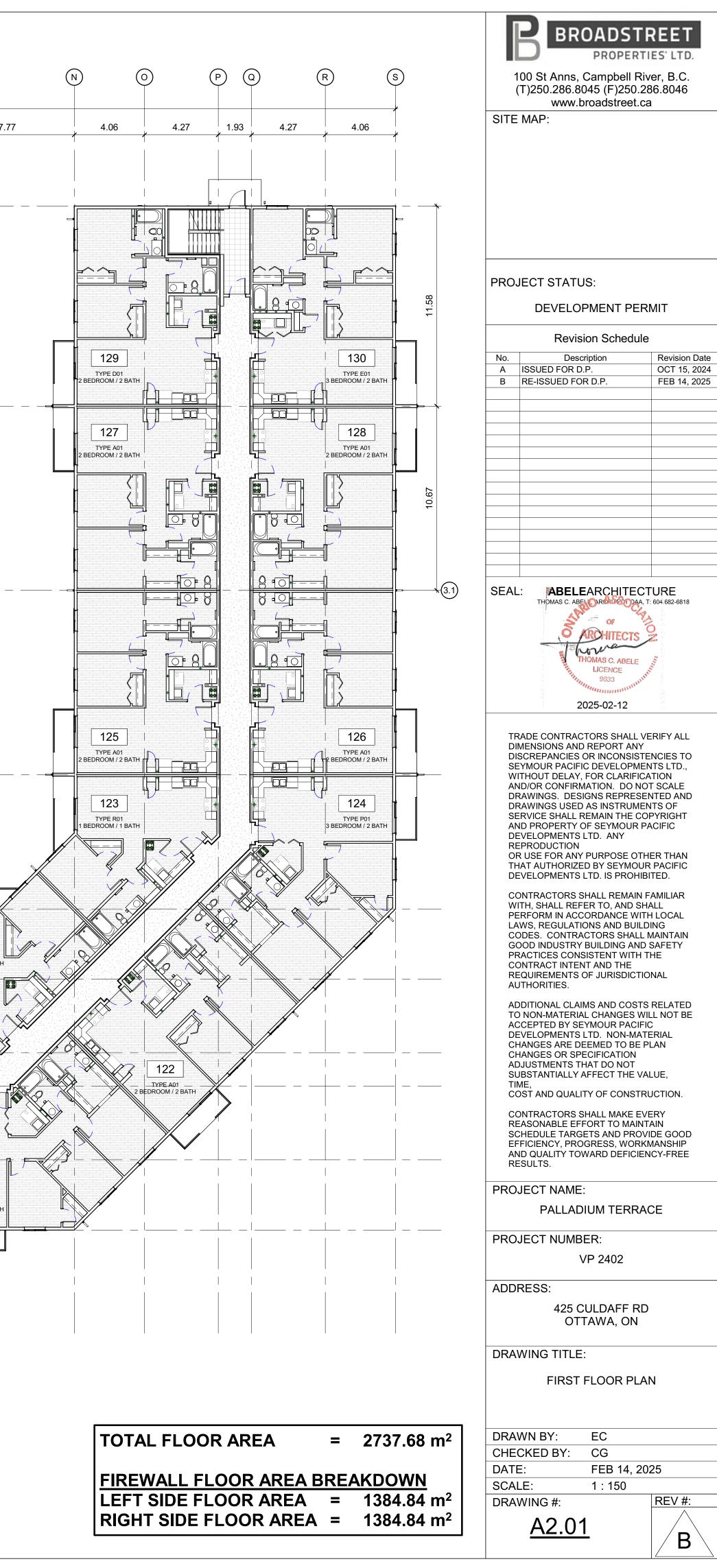
							BROADSTREET
(				R			100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.broadstreet.ca
7.77 5' - 6"	4.06 13' - 4"	4.27		/	4.06 13' - 4"	* 	SITE MAP:
	5.22	5.38					
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	sc				SC		THOMAS C. ABELE LICENCE 9633
	¢						2025-02-12
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	₩ ₩ 	 	   	 		 	PALLADIUM TERRACE PROJECT NUMBER:
							VP 2402
							ADDRESS: 425 CULDAFF RD OTTAWA, ON
	I	1				I	DRAWING TITLE:
							PARKADE FLOOR PLAN
							DRAWN BY: EC
							CHECKED BY: CG DATE: FEB 14, 2025
							SCALE:         1 : 150           DRAWING #:         REV #:
							<u>A2.00</u> B

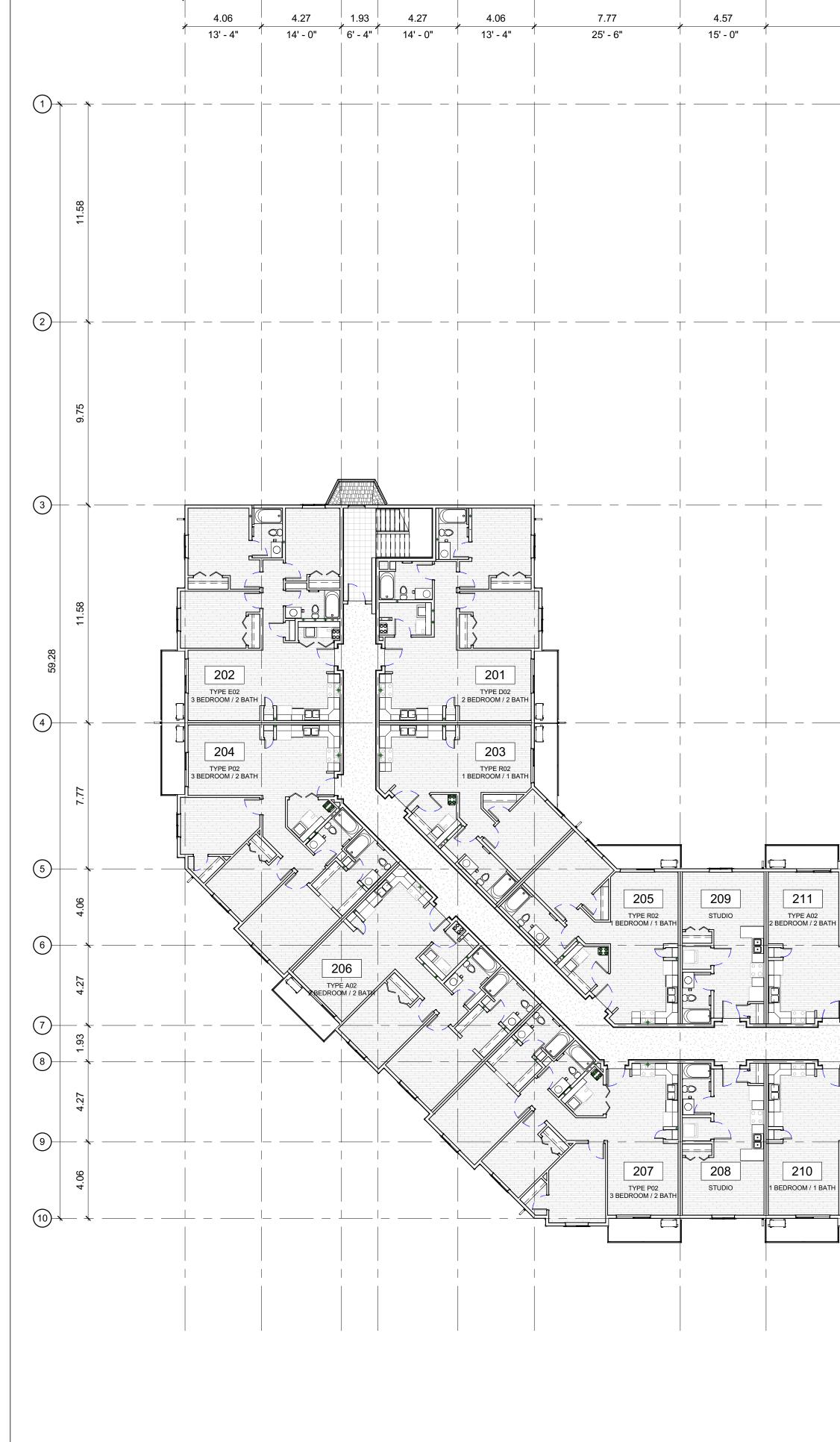


1 FIRST FLOOR PLAN 1:150

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X		X							
	ENTRANCE VESTIBULE								121
									PE R01 UU DOM / 1 BATH
	C C MAIN LOBBY	WALKOOM							<u>+&gt;</u>
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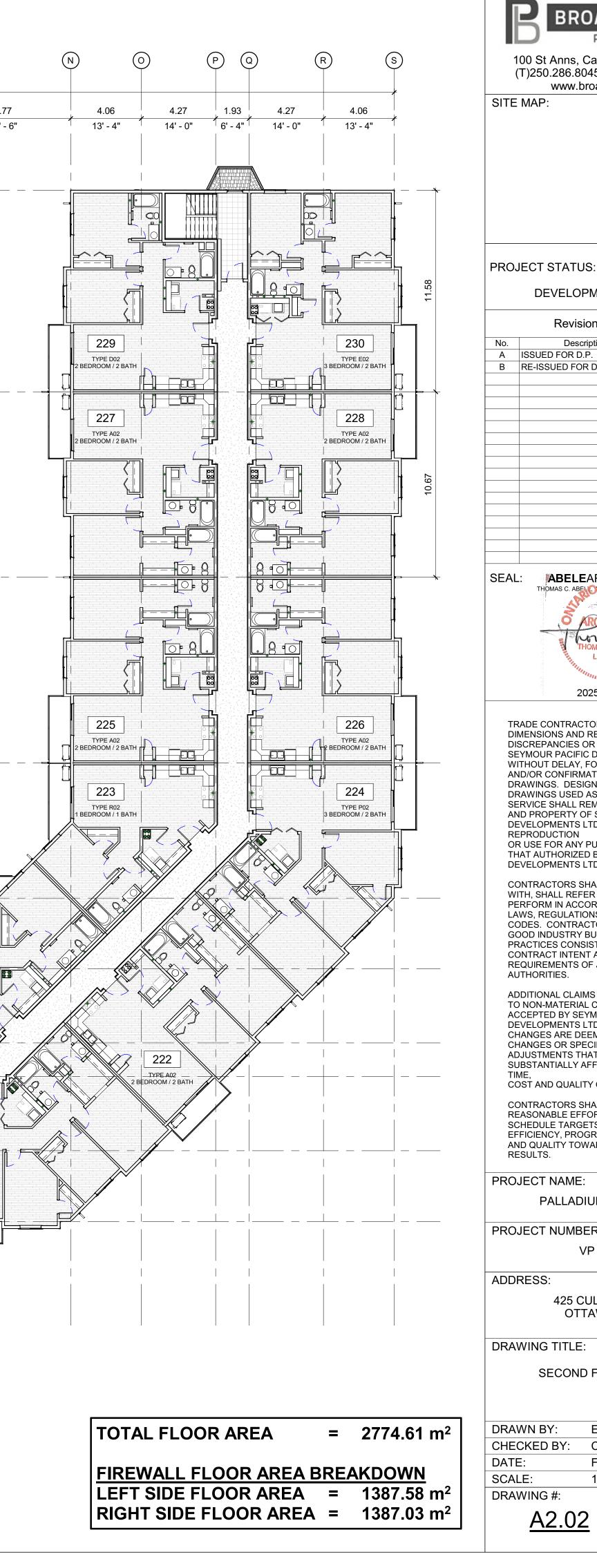
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1 SECOND FLOOR PLAN 1:150

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0 0						Ļ _
	210 1 BEDROOM / 1 BATH	212 1 BEDROOM / 1 B			16 218 ENO2	220
			ATH 2 BEDROOM / 2 BATH		STUDIO	TYPE P02 DROOM / 2 BATH
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BROADSTREET PROPERTIES LTD. 100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.broadstreet.ca SITE MAP:				
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Revision Schedule				
No.     Description       A     ISSUED FOR D.P.       B     RE-ISSUED FOR D.P.	Revision Date OCT 15, 2024 FEB 14, 2025			
SEAL: THOMAS C. ABELEARCHITECT THOMAS C. ABELE ICCENCE 9533 2025-02-12 TRADE CONTRACTORS SHALL VI DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTE SEYMOUR PACIFIC DEVELOPMEN WITHOUT DELAY, FOR CLARIFIC/ AND/OR CONFIRMATION. DO NO DRAWINGS. DESIGNS REPRESE DRAWINGS USED AS INSTRUMEN SERVICE SHALL REMAIN THE CO AND PROPERTY OF SEYMOUR P/ DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTH THAT AUTHORIZED BY SEYMOUR DEVELOPMENTS LTD. IS PROHIB CONTRACTORS SHALL REMAIN FE WITH, SHALL REFER TO, AND SH PERFORM IN ACCORDANCE WITH LAWS, REGULATIONS AND BUILD CODES. CONTRACTORS SHALL REMAIN FE WITH, SHALL REFER TO, AND SH PERFORM IN ACCORDANCE WITH LAWS, REGULATIONS AND BUILD CODES. CONTRACTORS SHALL I GOOD INDUSTRY BUILDING AND PRACTICES CONSISTENT WITH T CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIC AUTHORITIES. ADDITIONAL CLAIMS AND COSTS TO NON-MATERIAL CHANGES WI ACCEPTED BY SEYMOUR PACIFIC CONTRACTORS SHALL CHANGES WI ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MAT CHANGES ARE DEEMED TO BE P CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VA TIME, COST AND QUALITY OF CONSTRINCES CONTRACTORS SHALL MAKE EV REASONABLE EFFORT TO MAINT SCHEDULE TARGETS AND PROVE	ERIFY ALL ENCIES TO NTS LTD., ATION T SCALE NTED AND NTS OF PYRIGHT ACIFIC ITED. ER THAN R PACIFIC ITED. FAMILIAR ALL H LOCAL DING MAINTAIN SAFETY HE DNAL RELATED LL NOT BE C ERIAL LAN LUE, UCTION. ERY AIN IDE GOOD MANSHIP			
AND QUALITY TOWARD DEFICIENCY-FREE RESULTS. PROJECT NAME: PALLADIUM TERRACE				
PROJECT NUMBER: VP 2402				
ADDRESS: 425 CULDAFF RD OTTAWA, ON DRAWING TITLE: SECOND FLOOR PLAN				
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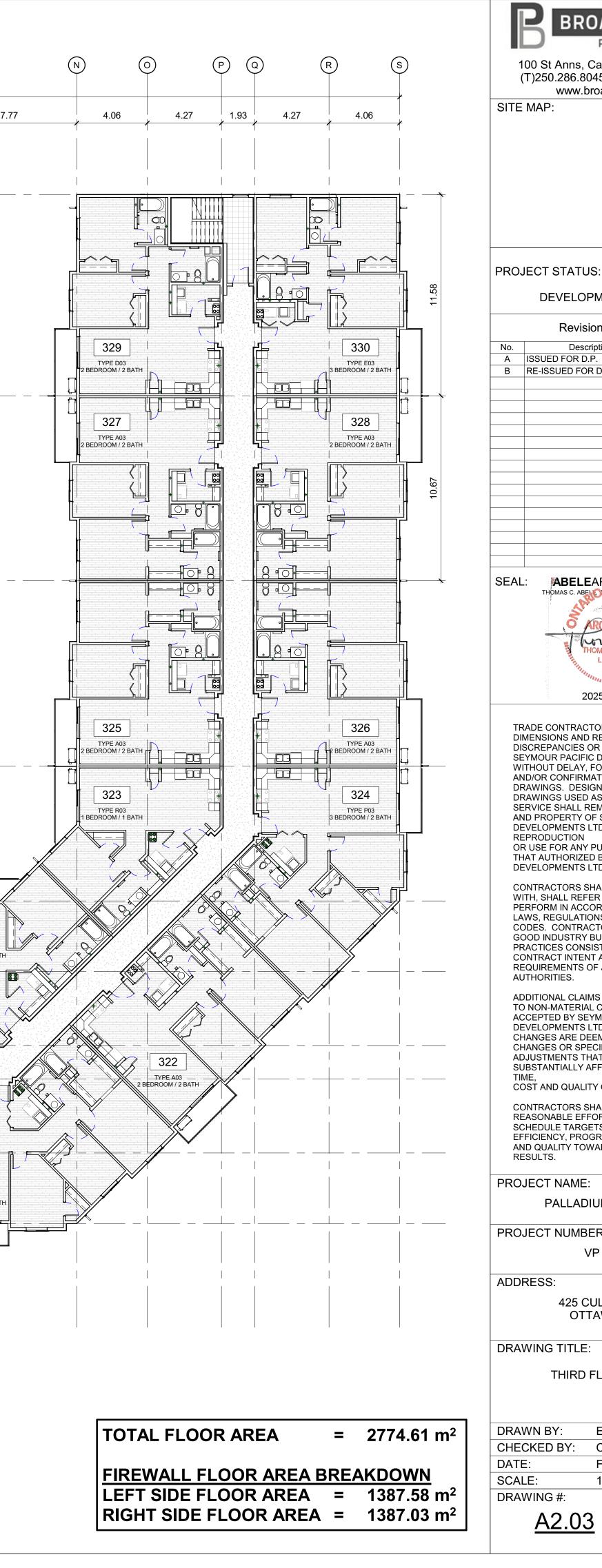
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1 THIRD FLOOR PLAN 1 : 150

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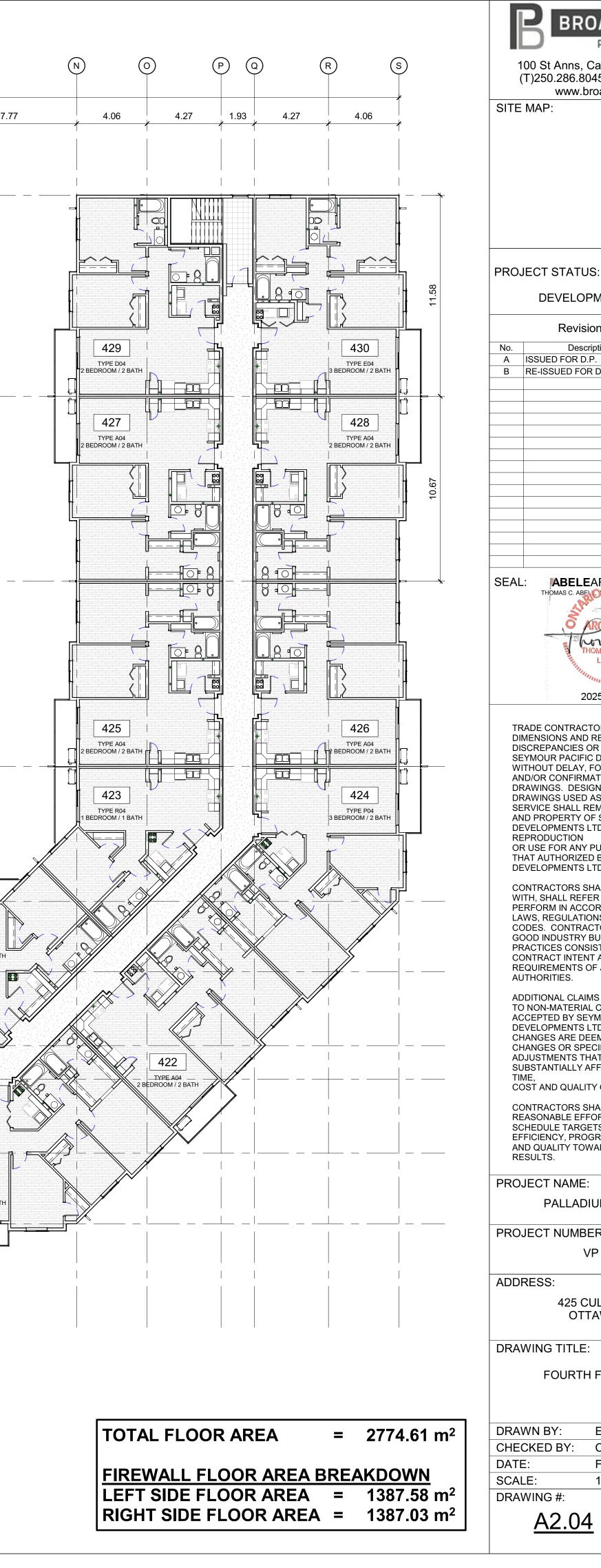
BROADSTREET PROPERTIES LTD. 100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.broadstreet.ca SITE MAP:				
PROJECT STATUS: DEVELOPMENT PERM	ИІТ			
Revision Schedule           No.         Description	Revision Date			
A ISSUED FOR D.P. B RE-ISSUED FOR D.P. 	OCT 15, 2024 FEB 14, 2025			
SEAL: THOMAS C. ABEL ON REAL ENDER ARCHITECTS THOMAS C. ABELE LICENCE 9633 2025-02-12	604.682-6818			
TRADE CONTRACTORS SHALL VE DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTED SEYMOUR PACIFIC DEVELOPMEN WITHOUT DELAY, FOR CLARIFICA AND/OR CONFIRMATION. DO NOT DRAWINGS. DESIGNS REPRESEN DRAWINGS USED AS INSTRUMEN SERVICE SHALL REMAIN THE COF AND PROPERTY OF SEYMOUR PA DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHE THAT AUTHORIZED BY SEYMOUR DEVELOPMENTS LTD. IS PROHIBIT CONTRACTORS SHALL REMAIN FA WITH, SHALL REFER TO, AND SHA PERFORM IN ACCORDANCE WITH LAWS, REGULATIONS AND BUILDI CODES. CONTRACTORS SHALL M GOOD INDUSTRY BUILDING AND S PRACTICES CONSISTENT WITH TH CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTION AUTHORITIES. ADDITIONAL CLAIMS AND COSTS I TO NON-MATERIAL CHANGES WIL ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATE CHANGES ARE DEEMED TO BE PL CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VAL TIME, COST AND QUALITY OF CONSTRU CONTRACTORS SHALL MAKE EVE REASONABLE EFFORT TO MAINTA SCHEDULE TARGETS AND PROVID EFFICIENCY, PROGRESS, WORKM AND QUALITY TOWARD DEFICIENT RESULTS.	NCIES TO TS LTD., TION SCALE ITED AND TS OF PYRIGHT CIFIC ER THAN PACIFIC TED. AMILIAR ALL I LOCAL NG MAINTAIN SAFETY HE NAL RELATED L NOT BE SRIAL AN UE, ICTION. SRY AIN DE GOOD IANSHIP			
PROJECT NAME: PALLADIUM TERRAC	)E			
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BROADSTREET PROPERTIES' LTD. 100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046					
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No. A	Description ISSUED FOR D.P.	Revision Date			
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PALLADIUM TERRACE					
PRO.	JECT NUMBER:				
	VP 2402				
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	OTTAWA, ON				
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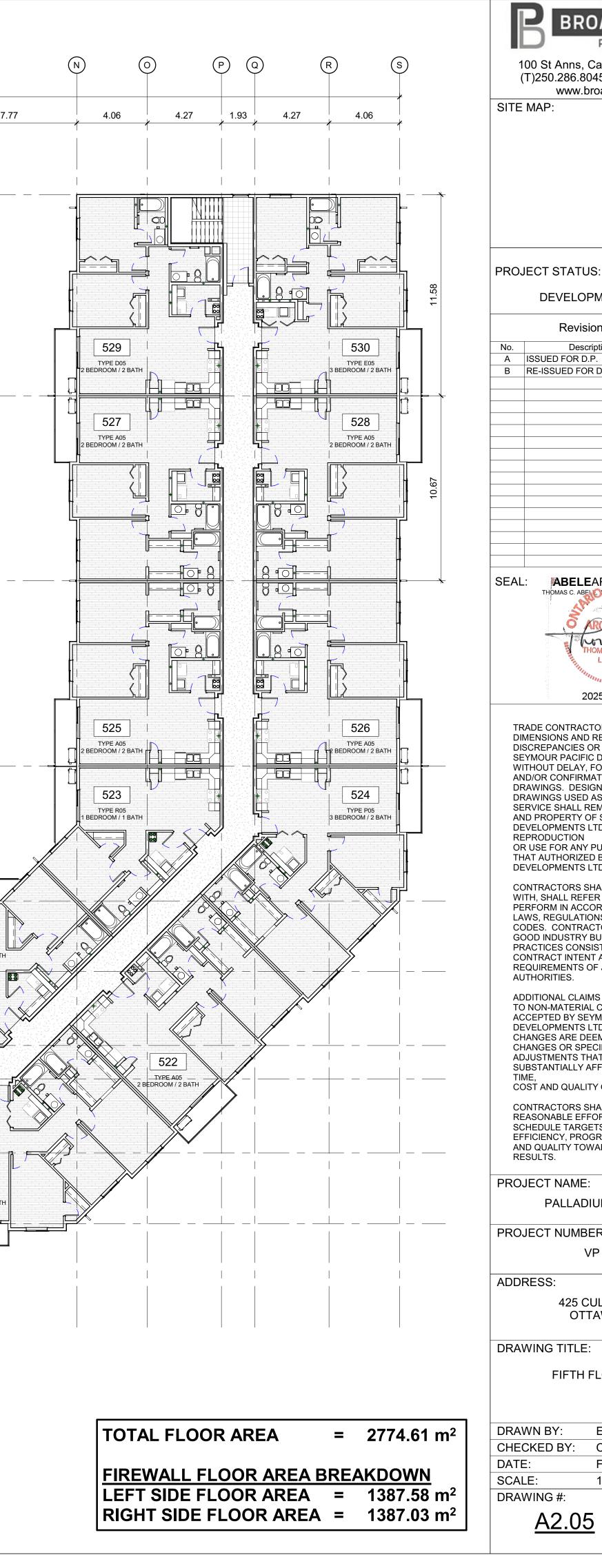
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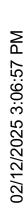
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BROADSTREET PROPERTIES LTD. 100 St Anns, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.broadstreet.ca SITE MAP:				
PROJECT STATUS: DEVELOPMENT PE	RMIT			
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No.DescriptionAISSUED FOR D.P.	Revision Date OCT 15, 2024			
B RE-ISSUED FOR D.P.	FEB 14, 2025			
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ARCHITECTS	Ž			
THOMAS C. ABELE				
Sent LICENCE 9633				
2025-02-12	9) 12			
TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED. CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO, AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES. ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES ARE DEEMED TO BE PLAN CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION. CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.				
PALLADIUM TERRACE				
VP 2402				
ADDRESS: 425 CULDAFF RD OTTAWA, ON DRAWING TITLE:				
FIFTH FLOOR PLAN				
DRAWN BY: EC				
CHECKED BY: CG	2025			
DATE: FEB 14, 2 SCALE: 1 : 150	2025			
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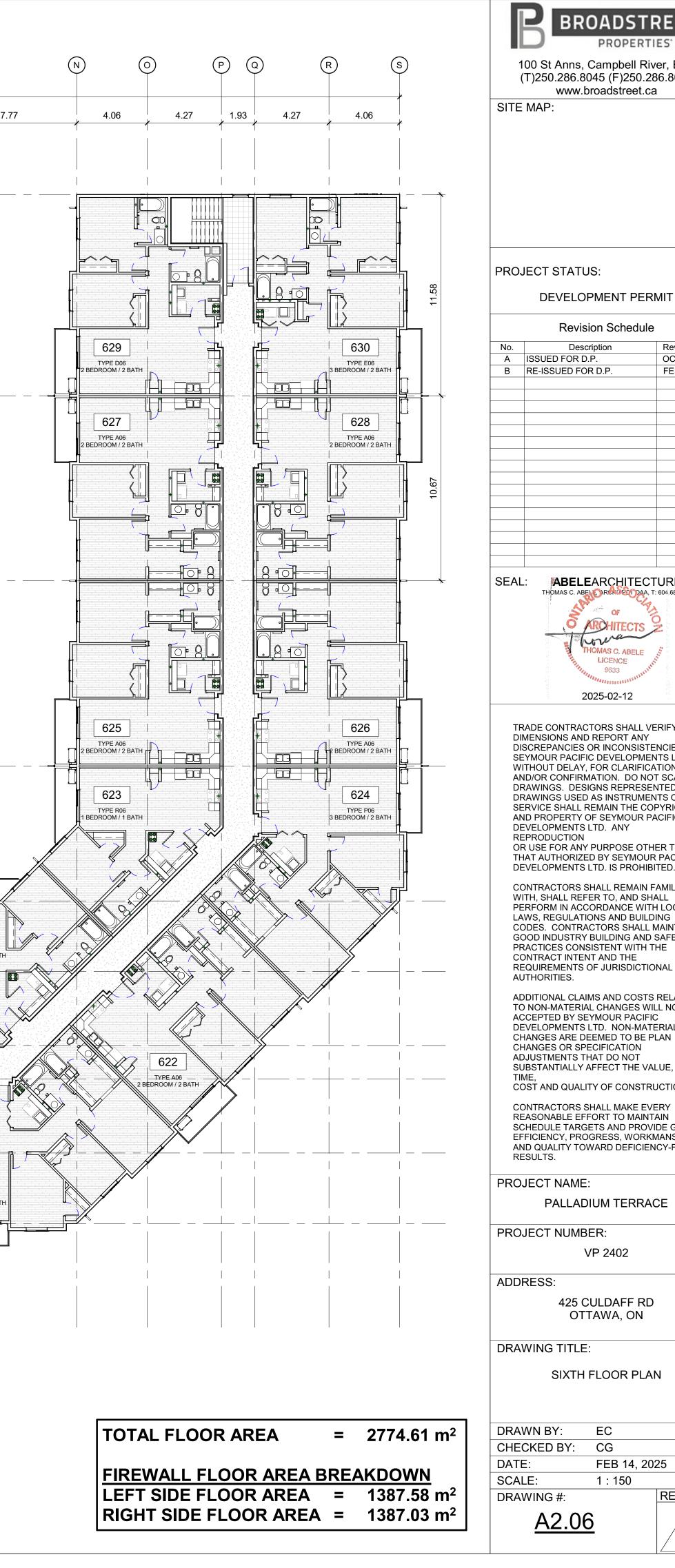


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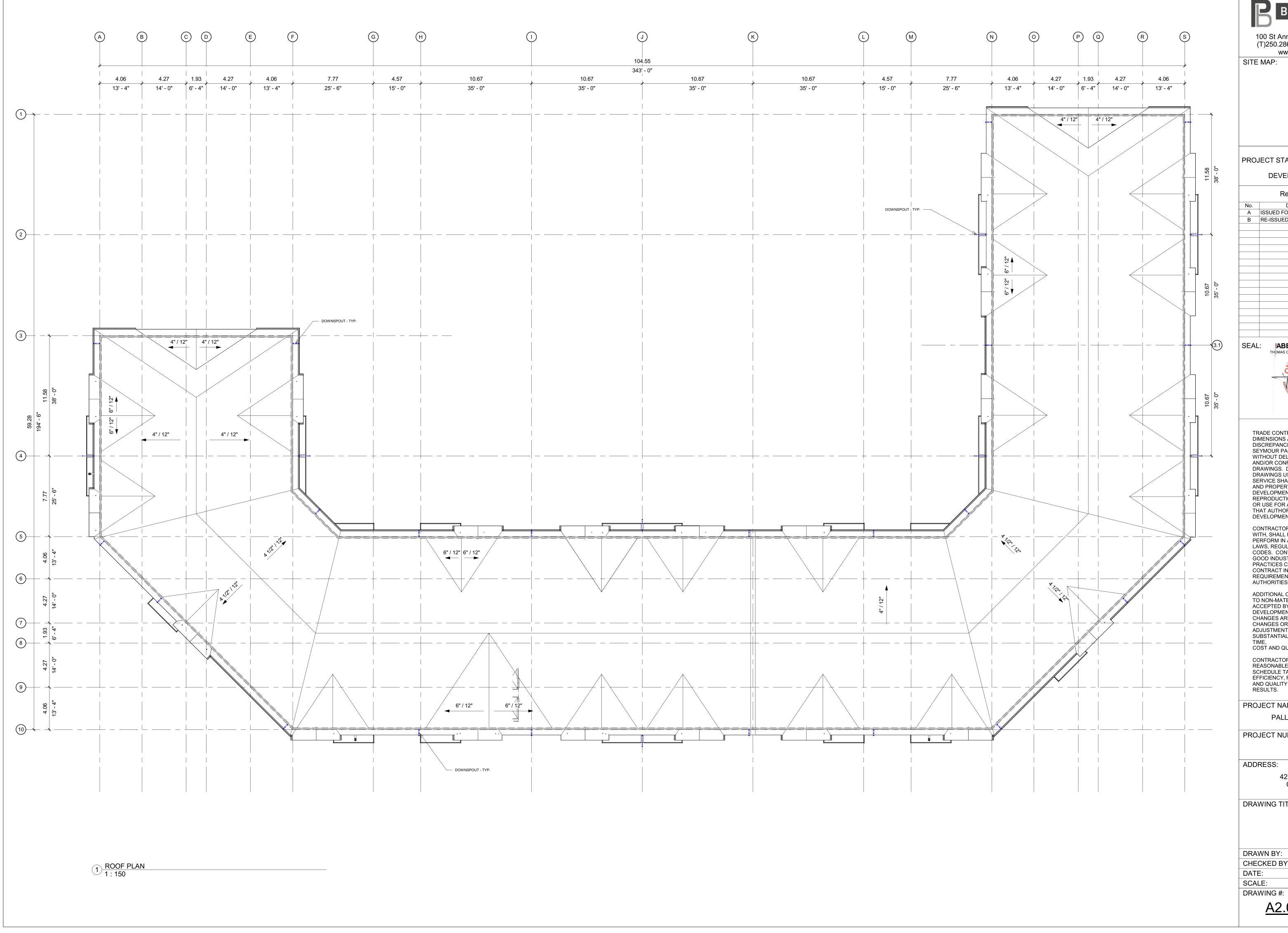
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PROJ	ECT STATUS: DEVELOPMENT PERM	ЛІТ		
	Revision Schedule			
No. A	Description ISSUED FOR D.P.	Revision Date OCT 15, 2024		
В	RE-ISSUED FOR D.P.	FEB 14, 2025		
SEAL	: ABELEARCHITECT THOMAS C. ABEL, NRCH DEDI DAA, T:			
	S ARCHITECTS			
	THOMAS C. ABELE LICENCE 9633			
	2025-02-12			
TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.				
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AUTHORITIES. ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.				
CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.				
PROJECT NAME: PALLADIUM TERRACE				
PROJECT NUMBER: VP 2402				
ADDRESS:				
425 CULDAFF RD OTTAWA, ON				
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No. A	Description	Revision Date OCT 15, 2024			
B	RE-ISSUED FOR D.P.	FEB 14, 2025			
SEAL: ABELEARCHITECTURE THOMAS C. ABELE ARCHITECTURE THOMAS C. ABELE LICENCE 9633 2025-02-12 TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY					
DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.					
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REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.					
PROJECT NAME: PALLADIUM TERRACE					
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ADDRESS: 425 CULDAFF RD OTTAWA, ON					
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