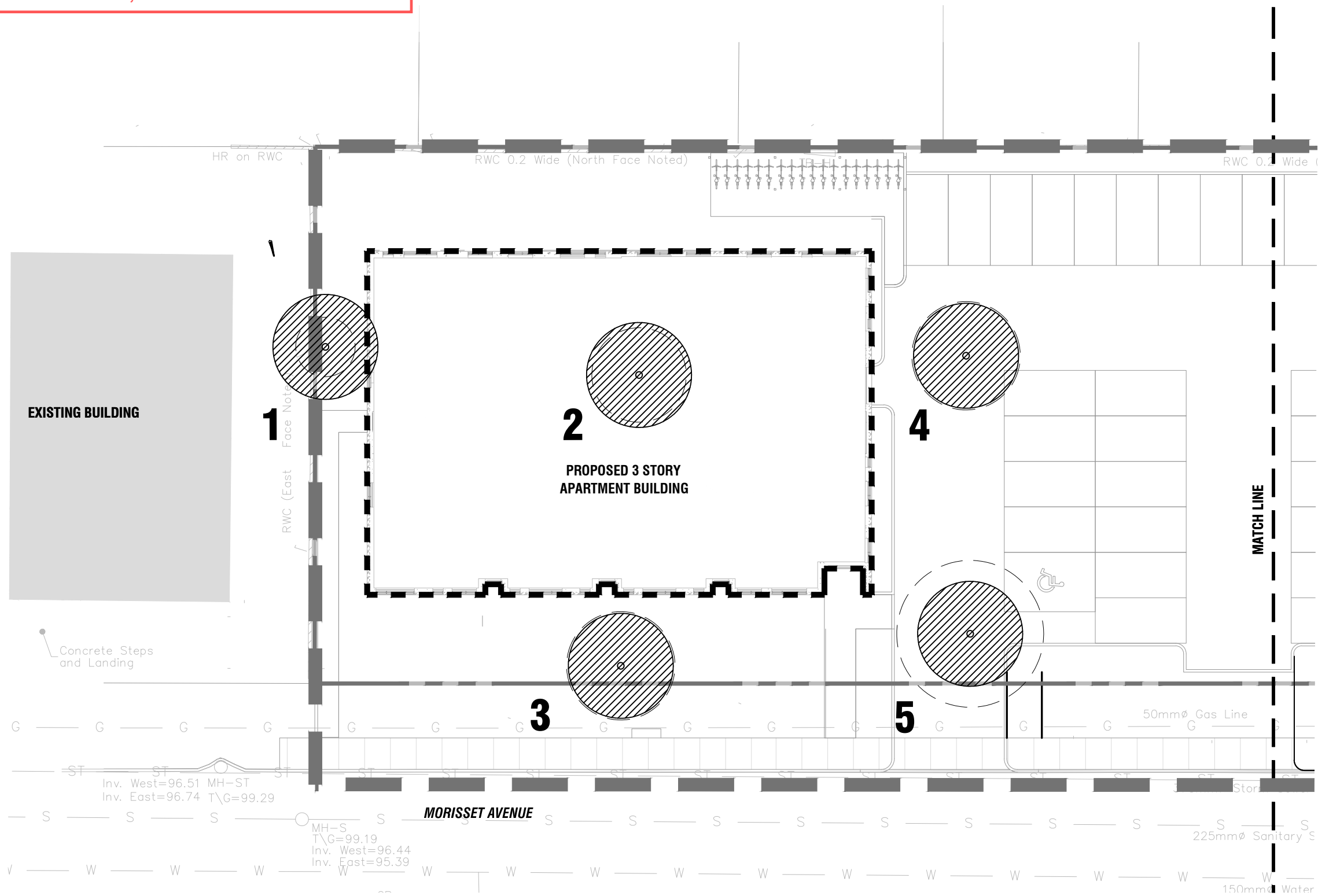


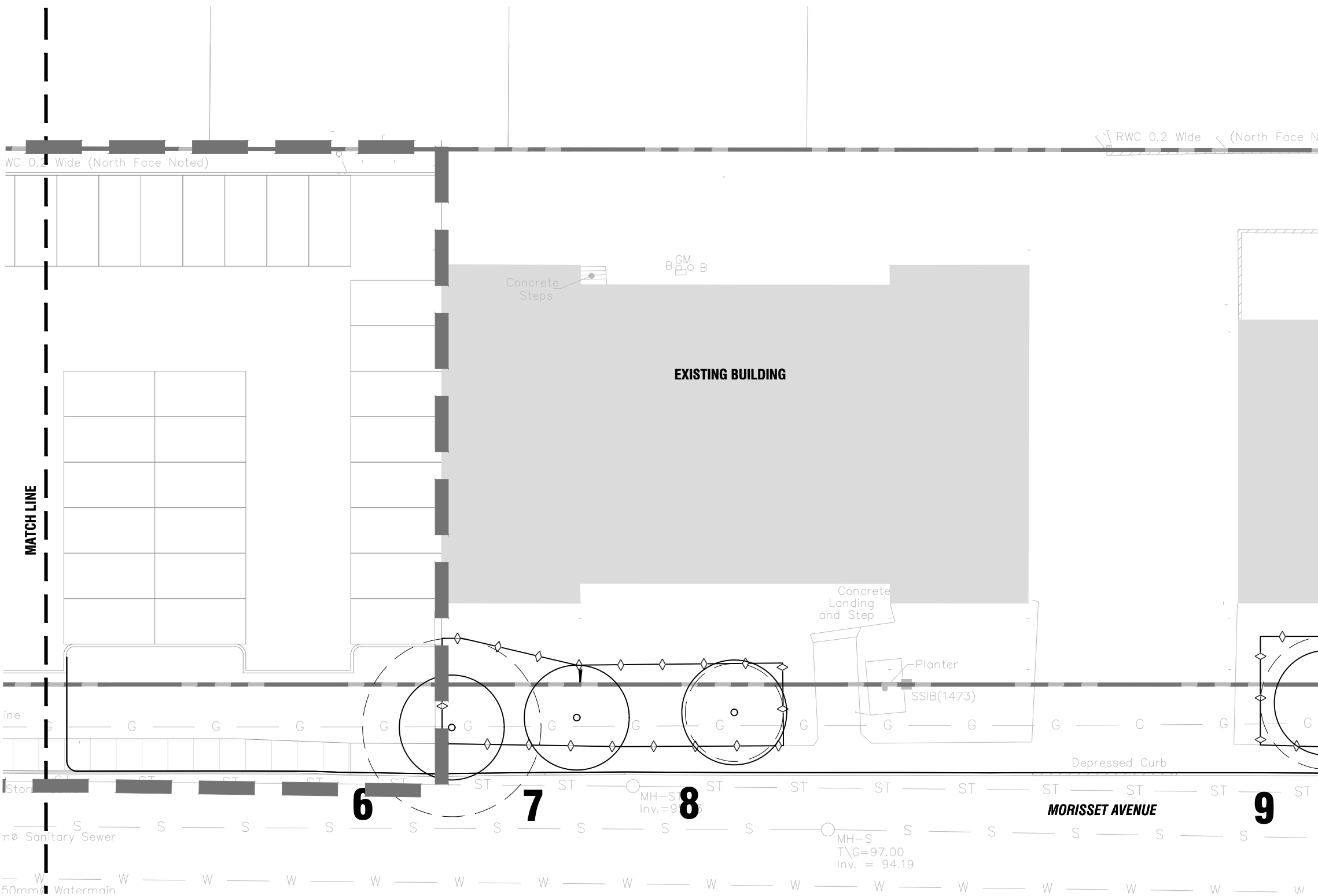
APPROVED
By Lily Xu at 2:10 pm, Mar 04, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA



1
LO.1 **1:250**

TREE CONSERVATIN PLAN - WEST



2
LO.1 **1:250**

TREE CONSERVATION PLAN - EAST

TABLE 1: TREE INVENTORY AND ASSESSMENT					
NO.	SPECIES	D.B.H. ¹ (cm)	TREE CONDITION	STATUS ²	CRZ ³ (m)
1	Siberian elm (Ulmus pumila)	17	Poor; Mature; tri-stemmed; multiple dead and broken branches—including physical damage from snow piling; lower bole, root collar and rooting area obscured by snow; introduced invasive species.	To be removed	1.7
2	Siberian elm (Ulmus pumila)	27	Fair; Mature; four stemmed; 0.25-0.5m from grade; stems moderately divergent; multiple dead, hanging branches; very restricted rooting area.	To be removed	2.7
3	Manitoba maple (Acer negundo)	31	Fair; Mature; lower stem divergent towards northeast; co-dominant stems at 2m with suppressed lateral towards southeast; broad crown; basal sprouts heavily cut back; very restricted rooting area; naturalized species.	To be removed	3.1
4	Siberian elm (Ulmus pumila)	31	Fair; Mature; central stem with co-dominant stems at 3m—reaction wood at union; multiple dead, hanging branches; very restricted rooting area.	To be removed	3.1
5	Siberian elm (Ulmus pumila)	38 & 42	Fair; Mature; double stemmed at 1m; stems moderately divergent; multiple dead, hanging branches; very restricted rooting area.	To be removed	4.2
6	Siberian elm (Ulmus pumila)	49 & 51	Fair; Mature; double stemmed at 1.2m with strong union; stems moderately divergent; crown extends far over road; maintained.	To be retained	5.1
7	Norway maple (Acer platanoides)	30	Good; Mature; central stem with divergent leaders at 5m; maintained; introduced invasive species.	To be retained	3.0
8	Norway maple (Acer platanoides)	28	Good; Mature; central stem with competing leaders at 4.5m; maintained.	To be retained	2.8
9	Little-leaf linden (Tilia cordata)	38	Fair; Mature; central stem with competing lateral at 3.5m on north; poor vigour and crown density; multiple girdling roots; introduced species.	To be retained	3.8
10	Norway maple (Acer platanoides)	18	Very poor; Mature; eutypella canker (Eutypella parasitica) on main stem at 0.2-1.5m; canker occupies +/-80% stem circumference—hazardous.	To be retained	1.8
11	Norway maple (Acer platanoides)	19	Very poor; Mature; eutypella canker on main stem at 0.25-1m; canker occupies +/-70% stem circumference—hazardous.	To be retained	1.9
12	Norway maple (Acer platanoides)	26	Good; Mature; central stem with competing lateral at 1.5m on north; multiple co-dominant stems at 2.5m—broad crown.	To be retained	2.6
13	Norway maple (Acer platanoides)	29	Fair; Mature; central stem with suppressed lateral at 2m on east (with weak union); tri-dominant leaders at 3m—broad crown.	To be retained	2.9
14	Little-leaf linden (Tilia cordata)	39	Poor; Mature; atypical growth form; co-dominant leaders at 4m; poor vigour and crown density; heavy linden borer (Saperda vestita) feeding damage apparent in exposed root collar.	To be retained	3.9

¹ D.B.H.: INDICATES DIAMETER (cm) MEASUREMENT AT BREAST HEIGHT (1.3m ABOVE GRADE);
² TO BE RETAINED OR REMOVED
³ CRZ: INDICATES RADIUS OF CRITICAL ROOTING ZONE AND IS ESTABLISHED AS BEING 10 CENTIMETERS FROM THE TRUNK OF A TREE FOR EVERY 1 CENTIMETER OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH x 10cm

REFER TO RECOMMENDATIONS IN REPORT PREPARED BY IFS ASSOCIATES INC. FOR TECHNIQUES TO PRESERVE TREES.

3
LO.1

TABLE 1

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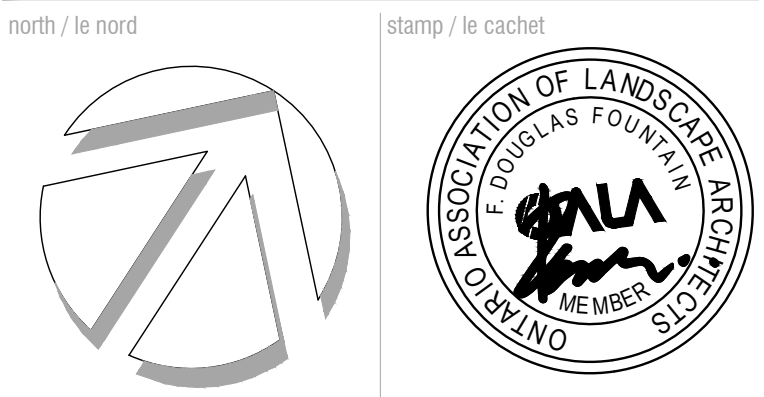
key plan / plan repère

legend / légende

- PROPERTY LINE
- BOUNDARY OF APPLICATION
- PROPOSED BUILDING OUTLINE
- EXISTING TREES TO REMAIN, REFER TO TABLE 1 AND REPORT PREPARED BY: IFS ASSOCIATES INC.
- CRITICAL ROOT ZONE, REFER TO TABLE 1 AND REPORT PREPARED BY: IFS ASSOCIATES INC.
- EXISTING TREES TO BE REMOVED, REFER TO REPORT PREPARED BY: IFS ASSOCIATES INC.
- TREE PROTECTION FENCING, REFER TO DETAIL 1 / TC-2 AND REPORT PREPARED BY: IFS ASSOCIATES INC. FOR PRESERVATION TECHNIQUES

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project / projet

1465 MORISSETTE AVENUE

drawing / dessin

TREE CONSERVATION PLAN

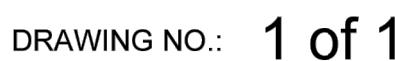
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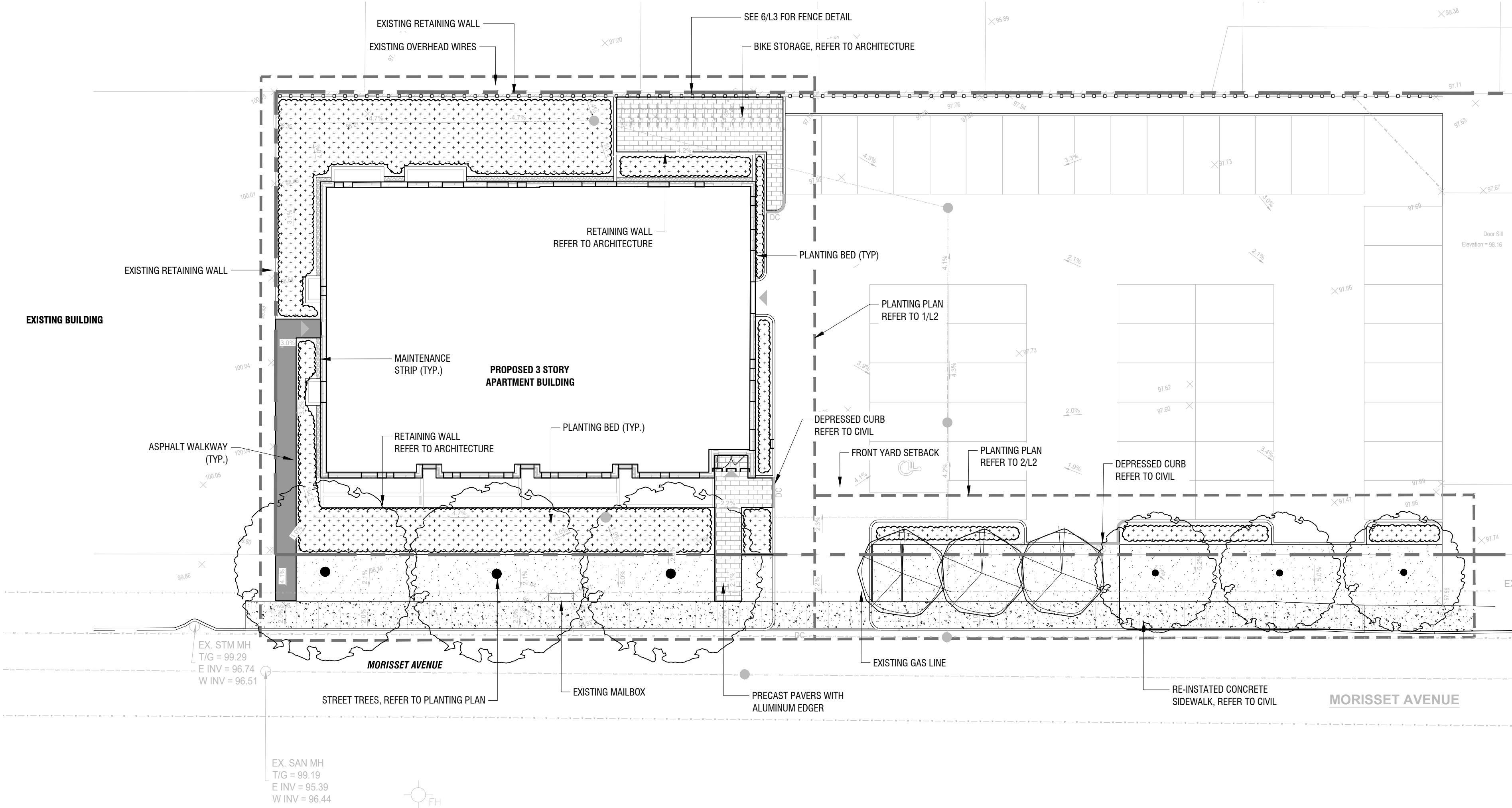
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**ISSUE FOR SITE
PLAN APPROVAL**
REFER TO GENERAL NOTES

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PLOT INFORMATION: DWG NAME: p:\PROJECTS\10m capital\1455-1456 morissette & spiceland\1455-1456 morissette.dwg PLOT DATE: 2025-02-27 9:56:39 AM SHEET SIZE: 300mm x 450mm (A1) PLOTTED BY: Emily Maderna LAST SAVED BY: emaderna




1

L1

LANDSCAPE PLAN

1:200

APPROVED
By Lily Xu at 2:10 pm, Mar 04, 2025


LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

NOTES:

- DO NOT SCALE DRAWINGS;
- NOTES ARE APPLICABLE TO ALL DRAWINGS IN THE SET;
- DRAWING PREPARED FOR SITE PLAN APPROVAL TO CONFIRM CITY REQUIREMENTS ONLY AND HAS NOT BEEN PREPARED FOR CONSTRUCTION. CONTRACTOR TO OBTAIN "ISSUE FOR CONSTRUCTION" LANDSCAPE DRAWINGS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITIES ON SITE;
- Fotenn Consultants Inc. IS NOT RESPONSIBLE FOR ACCURACY OF BASE INFORMATION;
- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING & SITE SERVICING INFORMATION;
- THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING SITE CONDITIONS AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT;
- THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING EXACT LOCATIONS OF ALL UNDERGROUND SERVICES AND OBTAINING CLEARANCE FROM ALL APPLICABLE UTILITIES. PROPOSED WORKS FOUND TO BE IN CONFLICT WITH UNDERGROUND SERVICES MAY BE ADJUSTED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT;
- LANDSCAPE ELEMENTS SHOWN ARE SUBJECT TO THE FINAL LOCATION OF UNDERGROUND SERVICES AND UTILITIES;

- DO NOT INSTALL TREES ON PROPERTY / LOT LINES OR WITHIN DRAINAGE EASEMENTS;
- PERFORM WORK IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS;
- ALL PLANT MATERIAL SHALL BE No. 1 NURSERY STOCK AND SHALL MEET OR EXCEED THE SPECIFICATION OF THE Canadian Standards for Nursery Stock, AS PUBLISHED BY THE Canadian Nursery Landscape Association;
- SPECIES SUBSTITUTIONS ARE NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT;
- ALL UN-PAVED SURFACES TO RECEIVE 150mm DEPTH TOPSOIL & SOD.

STANDARDS FOR TREE PLANTING:

- NO PLANTING ON CORNERS OR ANYWHERE WHERE IT WOULD CREATE A SIGHT LINE CONCERN;
- MAINTAIN A MINIMUM DISTANCE OF 2.5m FROM THE CURB FOR DECIDUOUS TREES AND 4.5m FOR CONIFEROUS TREES;
- MAINTAIN A MINIMUM DISTANCE OF 1.5m FOR DECIDUOUS (4.5m FOR CONIFERS) FROM ANY SIDEWALK OR PRIVATE WALKWAY;
- MAINTAIN A MINIMUM DISTANCE OF 1.2m FROM ALL DRIVEWAYS;
- MAINTAIN A MINIMUM DISTANCE OF 2.5m FROM COMMUNITY MAILBOXES, LIGHT STANDARDS, FIRE HYDRANTS AND NO PLANTING IN FRONT OF HYDRANTS;
- MAINTAIN A MINIMUM DISTANCE OF 3.0m FROM ALL HYDRO TRANSFORMERS;
- MAINTAIN A MINIMUM DISTANCE OF 1.0m FROM ALL UNDERGROUND SERVICES;
- MAINTAIN A MINIMUM DISTANCE OF 1.0m FROM ALL BELL AND CABLE BOXES;
- MAINTAIN A MINIMUM DISTANCE OF 10.0 FROM BUS SHELTERS

IMPORTANT NOTICE FOR CONTRACTOR:

- THE CITY OF OTTAWA REQUIRES A Certificate of Completion (F1) Landscape Works TO BE SUBMITTED AND SEALED BY THE LANDSCAPE ARCHITECT. CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE REQUIREMENTS OF THIS PROCESS AND PROVIDING SUFFICIENT NOTICE TO THE LANDSCAPE ARCHITECT TO CONDUCT SITE REVIEWS DURING INSTALLATION OF TREES. THE 1 YEAR WARRANTY PERIOD SHALL NOT COMMENCE UNTIL THE LANDSCAPE ARCHITECT HAS SUBMITTED THE F1 Certificate.
- PRIOR TO INSTALLATION OF TREES, THE DEVELOPER WILL CONTACT THE PLANNING AND GROWTH MANAGEMENT AND FORESTRY SERVICES TO REVIEW THE SPECIES AND LOCATION OF TREES.

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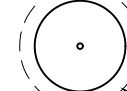

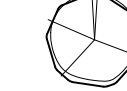




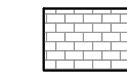
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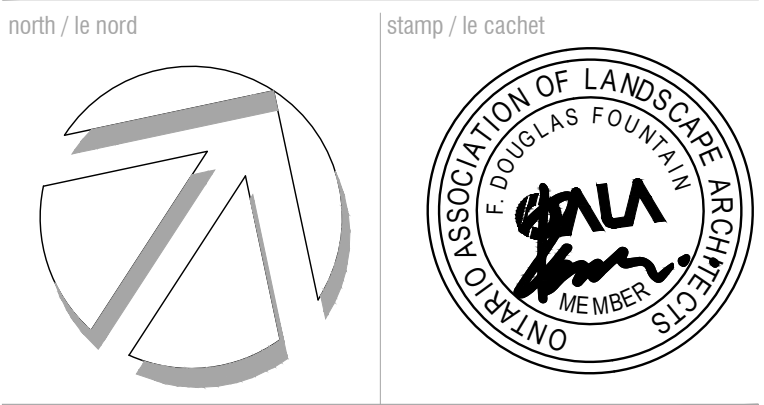
key plan / plan repère

legend / légende

- SCOPE OF APPLICATION
-  EXISTING TREES TO REMAIN
-  CRITICAL ROOT ZONE
-  DECIDUOUS TREES (SEE PLANTING NOTES & SCHEDULE FOR SPECIES AND QUANTITIES)
-  SHRUB / PERENNIAL PLANTING BED (SEE PLANTING NOTES & SCHEDULE FOR SPECIES AND QUANTITIES)
- PLANT KEY
-  SOD
-  ASPHALT PAVING
-  CONCRETE PAVING
-  UNIT PAVING

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LANDSCAPE PLAN

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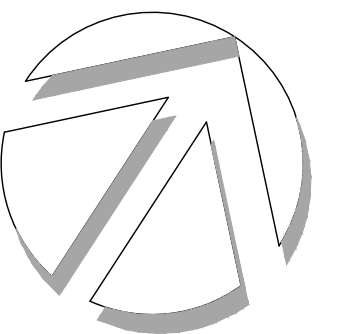
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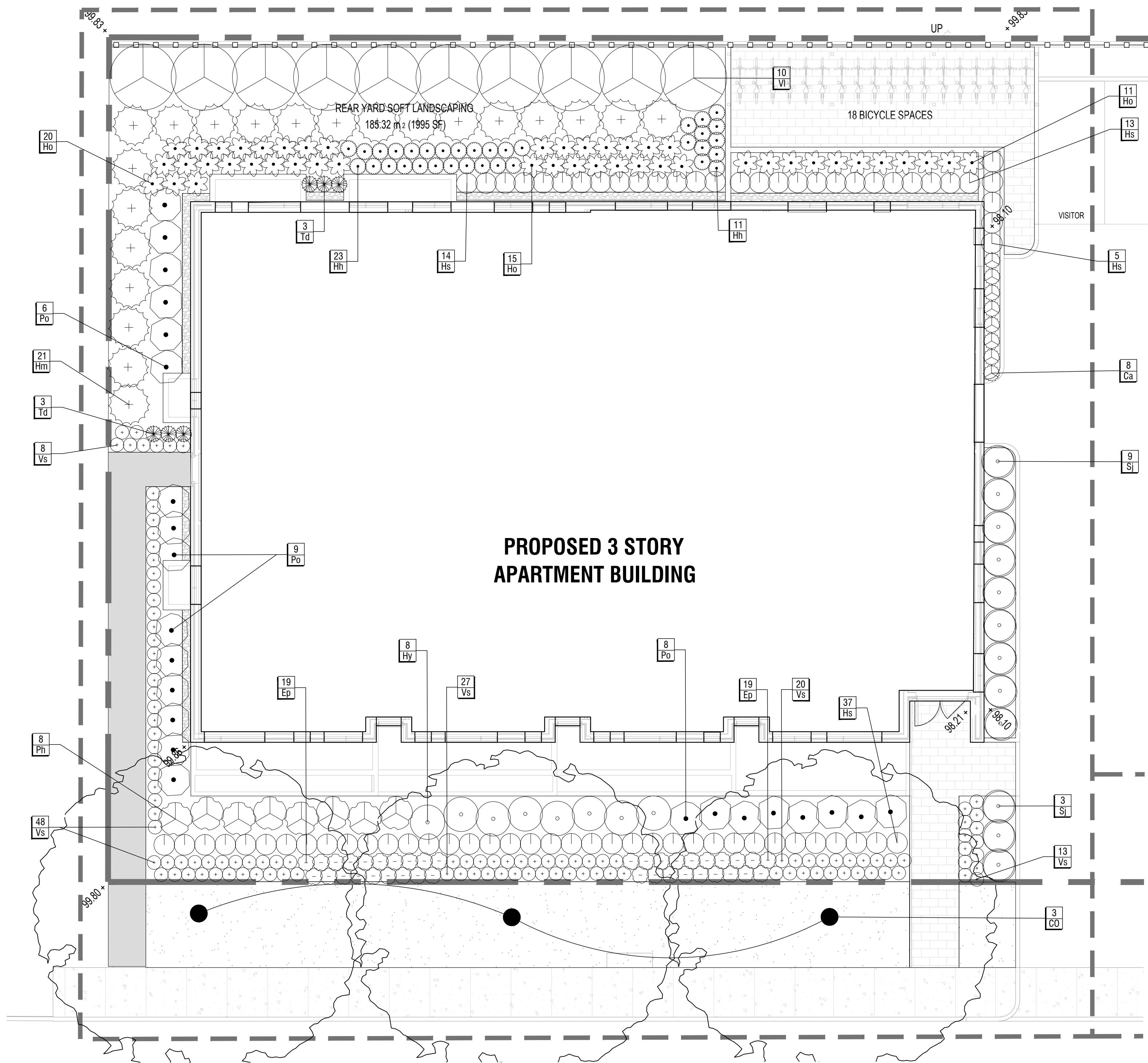
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1465 MORISSETTE AVENUE

PLANTING PLAN

L2.0



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION / SPACING
DECIDUOUS TREES				
CD	3	Celtis occidentalis	Common Hackberry	70mm cal. / W.B.
GB	3	Ginkgo biloba	Maenhair Tree	70mm cal. / W.B.
SI	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	70mm cal. / W.B.
SHRUBS				
Hs	69	Diervilla x splendens 'El Madragal'	Firefly Nightglow Bush Honeysuckle	#2 Pot / 75cm sp.
Hm	39	Hydrangea macrophylla	Largeleaf Hydrangea	#3 Pot / 120cm sp.
Hy	8	Hydrangea paniculata	Panicle Hydrangea	#3 Pot / 120cm sp.
Ph	23	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	#3 Pot / 120cm sp.
Py	8	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	#3 Pot / 120cm sp.
SI	12	Spiraea japonica 'Firelight'	Firelight Japanese Spirea	#2 Pot / 120cm sp.
VI	10	Viburnum lentago	Nannyberry	100cm ht. / specimen quality / 1.75m sp.
PERENNIALS & GRASSES				
Ca	8	Calamagrostis x acutiflora	Feather Reed Grass	#1 Pot / 60cm sp.
Ep	38	Echinacea purpurea	Coneflower	#1 Pot / 60cm sp.
Ho	46	Hosta x August Moon	August Moon Hosta	#2 Pot / 90cm sp.
Hs	34	Hosta x Hudson Bay	Hudson Bay Hosta	#1 Pot / 60cm sp.
Vs	116	Veronica caerulea 'Royal Candies'	Spike Speedwell 'Royal Candies'	#1 pot / 50cm sp.
HEDGE				
Td	6	Taxus x media	Anglo-Japanese Yew	100cm ht. / 60cm sp.

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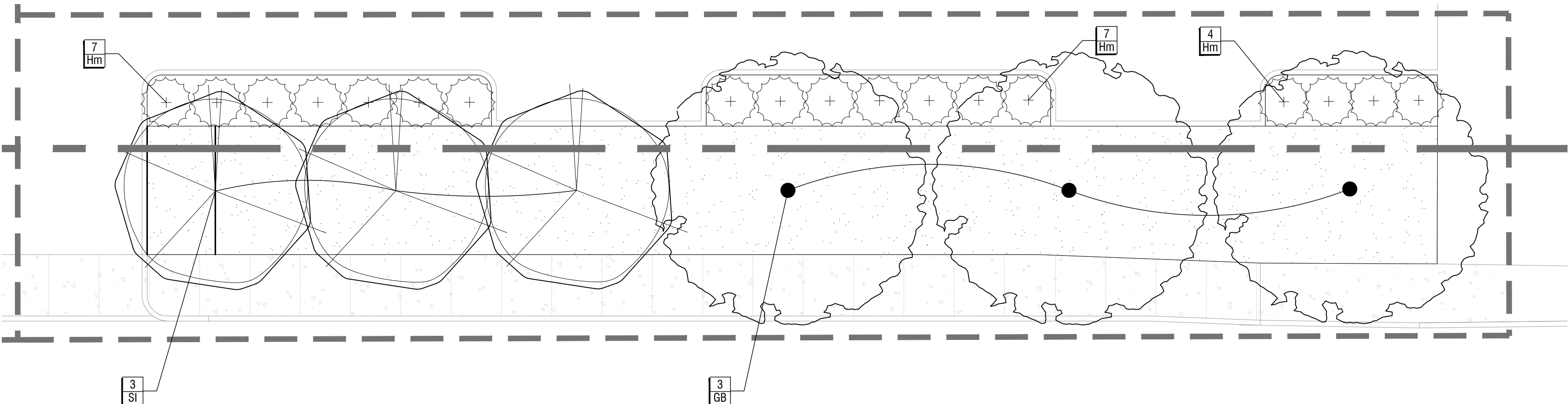
By Lily Xu at 2:10 pm, Mar 04, 2025



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DEPARTMENT, CITY OF OTTAWA

1 ENLARGED PLANTING PLAN

L2 **1:100**



2 ENLARGED PLANTING PLAN

L2 **1:100**

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1465 MORISSETTE AVENUE

DETAILS

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