

OTTAWA PARKWAY
WINDMILL DEVELOPMENT GROUP

Issued for SPC Resubmission
25/02/10

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LAST ISSUANCE DATE
A001	CONTEXT PLAN & STATISTICS	25-02-12
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A322-T1	ELEVATIONS 2	25-02-12



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**diamond
schmitt**

PROPERTY IDENTIFICATION NUMBER: 04282-0673(LT

* Not including Mechanical Penthouses

GFA definition per City of Ottawa Zoning By-law 2008-251 Consolidation, Part 1, Section 54

PROPOSED GFA INFORMATION			
	5a M	5a F	
RESIDENTIAL GFA**	34,080	366,833	97%
NON-RESIDENTIAL GFA**	830	10,015	3%
TOTAL GFA	35,010	376,848	100%

**GFA exemption as per Ottawa By-Law 2008-20

***Deduction includes floor area occupied by exterior walls and (a) floor area occupied by shared mechanical, service and electrical equipment; (b) common hallways, corridors, stairwells, elevator shafts and other common areas, stairs and landings; (c) bicycle parking, motor vehicle parking or loading facilities; (d) common storage (or common amenity areas) and common amenity areas.

BELOW GRADE PARKING							
Level	Floor-to-Floor (m)	GCA		Res GFA**		Deductions***	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
P2	-3.0	4,781	51,466	154	1,653	4,628	49,813
P1	-4.0	4,570	49,190	173	1,864	4,397	47,326
Sub-Total	-7.0	9,351	100,656	327	3,516	9,025	97,139

A1 (PARKWAY HOUSE FOUNDATION)

Level	Floor-to-Floor (m)	GCA		Res GFA***		Deductions***		Non-Res GFA**		Total GFA	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	3.5	1155	12,344	88	951	136	1,464	830	8,915	1,019	10,968
2	3.2	926	9,963	764	8,259	251	2,707			574	7,259
3	3.2	926	9,963	764	8,259	162	1,740			784	8,223
4	3.2	819	8,816	656	7,127	163	1,748			656	7,127
5	3.2	819	8,816	656	7,127	153	1,644			784	7,127
6	3.2	764	8,225	613	6,603	151	1,622			613	6,603
7	3.6	764	8,225	613	6,603	151	1,622			613	6,603
MPH	4.9	137	1,475	6	65	131	1,410			6	65
Sub-Total	28.0	6,330	67,915	4,091	44,138	1,288	13,862	930	10,015	5,022	54,055

	Sq M	Sq Ft	
Total Res GFA	4,091	44,038	81%
Total Non-Res GFA	930	10,015	19%
Total GFA	5,022	54,053	100%

T1 (WEST TOWER)

Level	Floor-to-Floor (m)	GCA		Req GFA*		Deductions**	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
G	4.5	779	8,386	133	1,434	646	6,952
2	3.5	731	7,865	295	3,166	436	4,687
3	3.0	850	9,117	658	7,087	192	2,054
4	3.0	850	9,117	658	7,087	142	1,524
5	3.0	850	9,117	658	7,087	142	1,524
6	3.0	850	9,117	658	7,087	142	1,524
7	3.0	850	9,117	658	7,087	142	1,524
8	3.0	850	9,117	658	7,087	142	1,524
9	3.3	850	9,117	658	7,087	142	1,524
10	3.0	850	9,117	658	7,087	142	1,524
11	3.0	850	9,117	658	7,087	142	1,524
12	3.0	850	9,117	658	7,087	142	1,524
13	3.0	850	9,117	658	7,087	142	1,524
14	3.0	850	9,117	658	7,087	142	1,524
15	3.0	850	9,117	658	7,087	142	1,524
16	3.5	850	9,117	658	7,087	142	1,524
MEP	0.0	1,548	1,548	0	0	1,548	1,548
Sub Total	34.8	20,323	218,644	6,056	65,144	1,692	18,202

EAST TOWER (T2)

Level	Floor-to-Floor (m)	GOA		Seq 51A*		Decision**	
		Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
0	4.5	1,180	12,703	145	1,581	386	4,155
1	3.5	1,132	12,103	104	10,448	198	2,135
2	3.0	1,180	12,703	979	10,541	201	2,162
3	3.0	1,180	12,703	979	10,541	201	2,162
4	3.0	1,180	12,703	979	10,541	201	2,162
5	3.0	1,180	12,703	979	10,541	201	2,162
6	3.0	1,180	12,703	979	10,541	201	2,162
7	3.5	1,180	12,703	979	10,541	201	2,162
8	3.5	1,048	11,286	854	9,188	196	2,098
9	3.5	919	9,919	761	8,199	179	1,919
10	3.0	788	8,477	637	6,856	151	1,620
11	3.0	788	8,477	637	6,856	151	1,620
12	3.0	788	8,477	637	6,856	151	1,620
13	3.0	788	8,477	637	6,856	151	1,620
14	3.0	788	8,477	637	6,856	151	1,620
15	3.0	788	8,477	637	6,856	151	1,620
16	3.0	788	8,477	637	6,856	151	1,620
17	3.0	788	8,477	637	6,856	151	1,620
18	3.0	788	8,477	637	6,856	151	1,620
19	3.3	788	8,477	637	6,856	151	1,620
20	3.0	788	8,477	637	6,856	151	1,620
21	3.0	788	8,477	637	6,856	151	1,620
22	3.0	788	8,477	637	6,856	151	1,620
23	3.0	788	8,477	637	6,856	151	1,620
24	3.0	788	8,477	637	6,856	151	1,620
25	3.0	788	8,477	637	6,856	151	1,620
26	3.0	788	8,477	637	6,856	151	1,620
27	3.0	788	8,477	637	6,856	151	1,620
28	3.0	788	8,477	637	6,856	151	1,620
29	3.5	788	8,477	637	6,856	151	1,620
30	3.5	788	8,477	637	6,856	151	1,620
MPH			248,276	14	153	234	248
Sub-Total	64.3	25,390	273,694	19,707	212,122	5,034	54,186

RESIDENTIAL UNIT COUNT															
Level	PARKWAY HOUSE(A)						WEST TOWER(T1)			EAST TOWER (T2)				Sub-Total	
	S	B	H	TB	SB	A	S	B	TB	SB	S	B	TB		SB
G															
2	1	6	4				1	0	0	0	0	0	0	0	7
3	2	7	5				1	6	4	1	1	6	6	0	21
4	2	9	2				1	6	4	1	1	10	6	0	42
5	2	9	2				1	6	4	1	1	10	6	0	41
6	3	6	3				1	6	4	1	1	10	6	0	40
8 MPH	3	6	3				1	6	4	1	1	10	6	0	40
9							1	6	4	1		7	5	0	28
10							1	6	4	1		5	4	1	22
11							1	6	4	1		5	4	1	22
12							1	6	4	1		5	4	1	22
13							1	6	4	1		5	4	1	22
14							1	6	4	1		5	4	1	22
15							1	6	4	1		5	4	1	22
16							1	0	4	1		5	4	1	22
17-MPH												5	4	1	10
18												5	4	1	10
19												5	4	1	10
20												5	4	1	10
21												5	4	1	10
22												5	4	1	10
23												5	4	1	10
24												5	4	1	10
25												5	4	1	10
26												5	4	1	10
27												5	4	1	10
28												5	4	1	10
Mph															
Sub-Total	13	43	19	0			15	90	59	15		170	122	19	565
Unit Count			75						179				311		
	17%	57%	25%	0%				50%	33%	8%		55%	31%	6%	
									254				311		
Total Unit	28	900	200	34											
	5%	54%	35%	6%											

Proposed unit mix number
and percentages subject to modifications
based on further project design
development.

**Amenity Area definition per City of Ottawa Zoning By-law 2008-250 Consolidation
Part 1, Section 54. Amenity requirements per Part 5, section 137**

OVERALL		Sq M	Sq Ft	
Communal Amenity	Interior	1,115	12,000	1.97 m ² per unit
	Exterior	787	8,474	1.39 m ² per unit
	Sub-Total	1,902	20,474	3.37 m ² per unit
Personal Amenity		2,426	26,109	4.29 m ² per unit
	Total Amenity	4,328	46,583	7.66 m ² per unit

A1 (PARKWAY HOUSE)						
Level	Shared Amenity (Int)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
P1						
G						
2	136	1,459	125.12	1,347	107	1,157
3					55	597
4					145	1,559
5					52	556
6					91	982
7					44	469
MDPH						
Sq Ft [total]	136	1,459	125	1,347	494	5,220

Communal Amenity	Interior	1.81	m ² per unit
	Exterior	1.67	m ² per unit
	Sub-Total	3.48	m ² per unit
Personal Amenity		6.59	m ² per unit
Total Amenity		10.1	m ² per unit

T1 (WEST TOWER)

Level	Shared Amenity (Int)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
0	330	3,524				
2					35	372
3					39	419
4					39	419
5					39	419
6					39	419
7					39	419
8					39	419
9					39	419
10					39	419
11					39	419
12					39	419
13					39	419
14					39	419
15					39	419
16					39	419
Misc			284			
	500	5,354	284	3,053	738	7,869

Communal Amenity	Interior	1.84	m2 per unit
	Exterior	1.59	m2 per unit
	Sub-Total	3.43	m2 per unit
Personal Amenity		3.23	m2 per unit
Total Amenity		6.66	m2 per unit

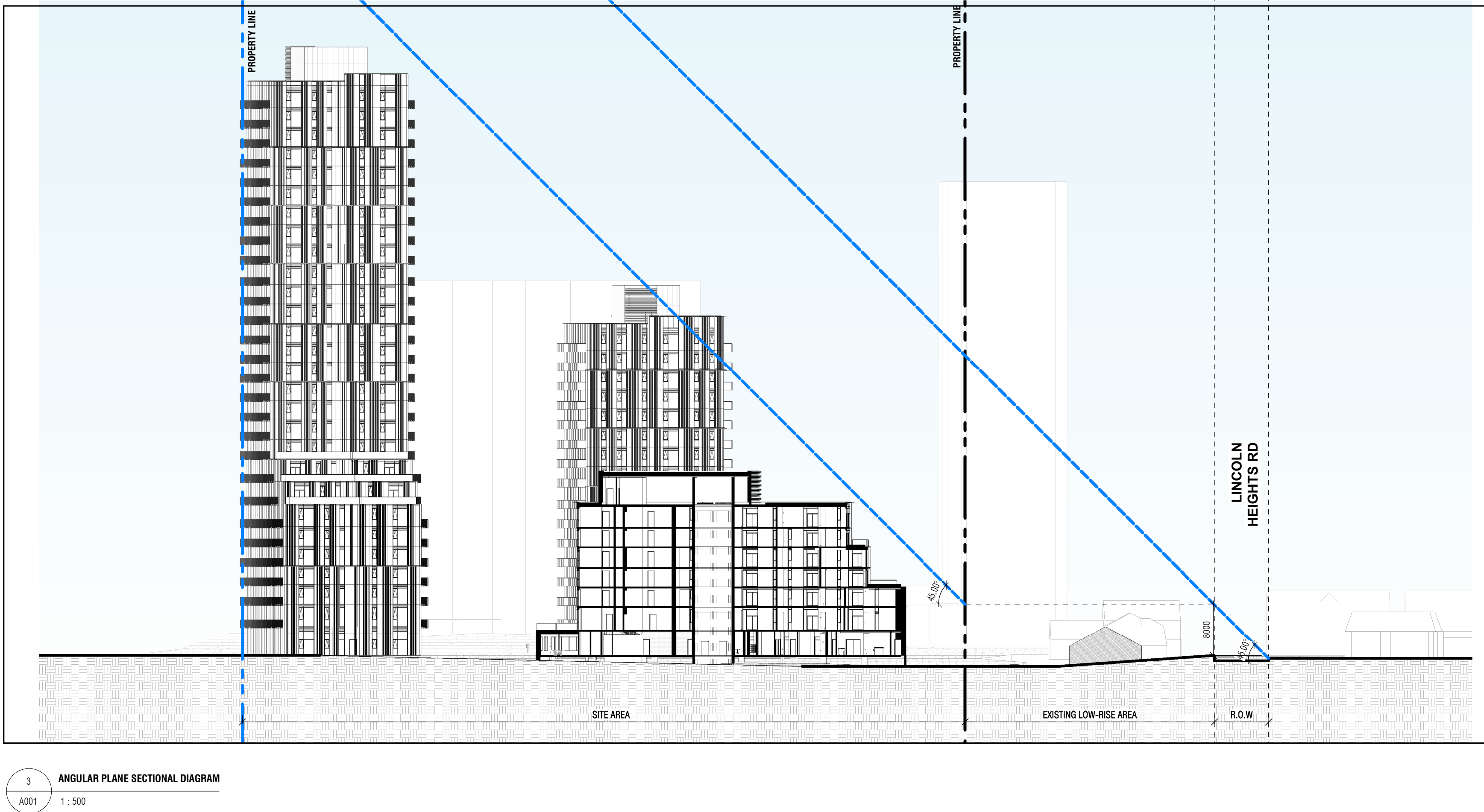
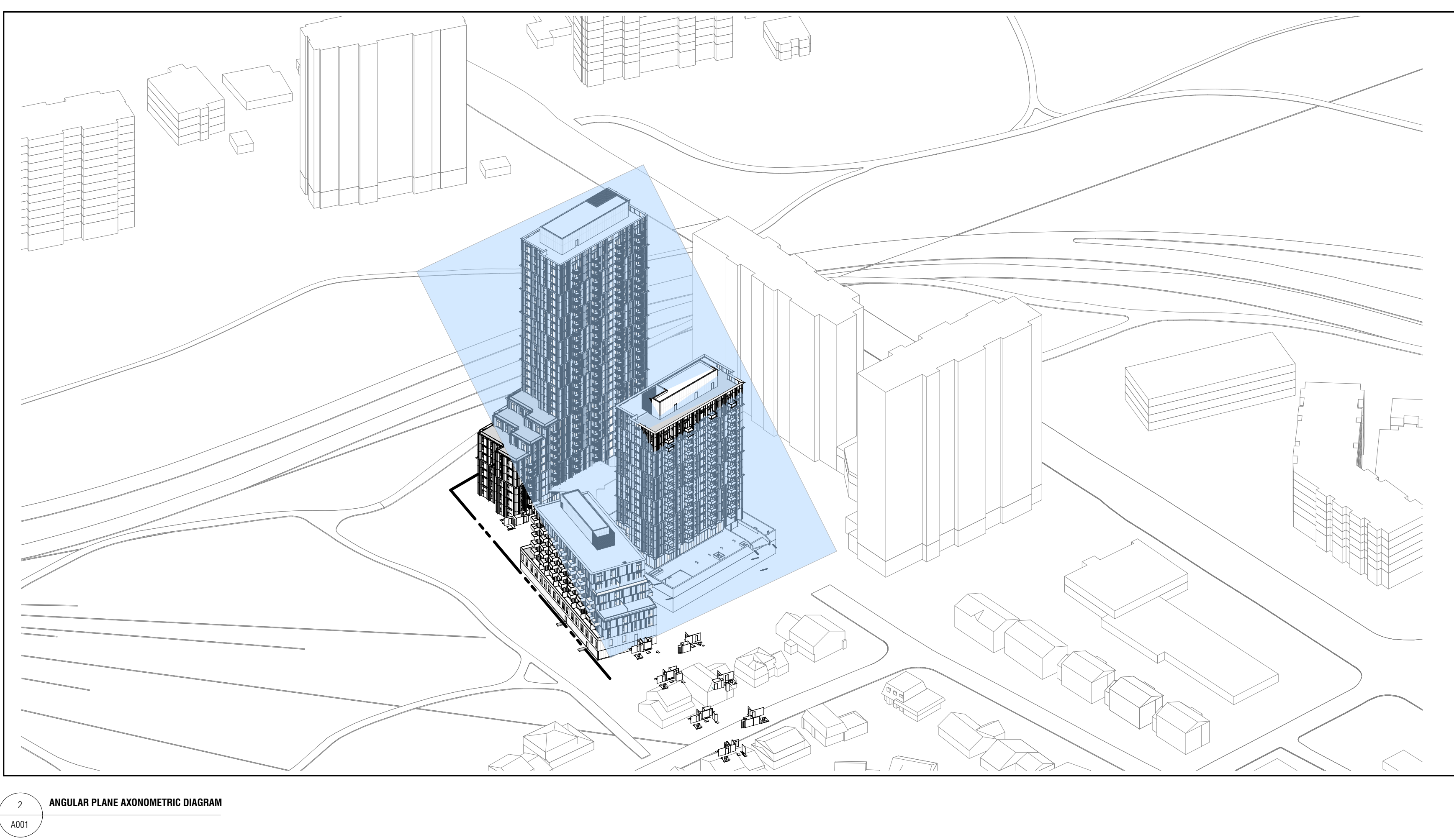
T2 (EAST TOWER)

Level	Shared Amenity (Ind)		Shared Amenity (Ext)		Personal Amenity	
	Sq M	Sq Ft	Sq M	Sq Ft	Sq M	Sq Ft
0	649	6,988	183	1,942		0
2					60	651
3					53	571
4					53	571
5					53	571
6					53	571
7					53	571
8					130	1,397
9					103	1,097
10					98	1,054
11					40	428
12					40	428
13					40	428
14					40	428
15					40	428
16					40	428
17					40	428
18					40	428
19					40	428
20					40	428
21					40	428
22					40	428
23					40	428
24					40	428
25					40	428
26					40	428
27					40	428
28					40	428
MPH			235	2,530		
Sub-Total	649	6,988	378	4,072	1,352	14,558

Communal Amenity	Interior	2.09	m2 per unit
	Exterior	1.22	m2 per unit
	Sub-Total	3.30	m2 per unit
Personal Amenity		4.3	m2 per unit
Total Amenity		7.7	m2 per unit

PARKING					
Level	PHASE	Parking Space (5,2X2.6m)	Compact Parking Space (4,6X2.4m)	Type A Accessible (5,2X3.4m)	Type B Accessible (5,2X2.4m)
P2	I	51		0	1
	II	62		1	1
P1	I	29		1	1
	II	43		2	1
G	I	18		2	0
	Sub-Total	204	0	5	5
Parkway House Parking					
					12
Residential Parking					
					192
Visitor Parking					
					22
Total Parking Spaces					214
				PHASE I	104
				PHASE II	110
Parking Rate (Spaces per unit)					0.38
				PHASE I	0.41
				PHASE II	0.35
BICYCLE PARKING					
Long-Term Parking Spaces					584
				PHASE I	268
				PHASE II	316
Parking Rate (Spaces per unit)					1.03
Grade Level Short-Term Parking Spaces					36

Parking requirements per City of Ottawa Zoning By-law 2008-20 Consolidation, Part 4, Section 101.
 Accessible parking requirements per City of Ottawa Accessibility Design Standard, Bicycle parking requirements per Iy of Ottawa Zoning By-law 2008-20 Consolidation, Part 4, Section 111.



Issued		
No.	Date	Description
1	22-05-13	Issued for ZBA
3	23-01-31	Issued for ZBA Resubmission Addendum
4	24-03-08	Issued for Site Plan Control Phase 2
5	24-03-08	Issued for Schematic Design
6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission



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8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPCC Resubmission



NORTH EAST VIEW FROM PARKWAY



WEST VIEW FROM REGINA ENTRY



SOUTH VIEW LOOKING TOWARD CENTRE GREEN

NOT FOR
CONSTRUCTION

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OTTAWA PARKWAY HOUSE

WINDMILL DEVELOPMENT GROUP
PROPERTY IDENTIFICATION NUMBER: 04282-0673(LT)
2476 REGINA ST, OTTAWA, ON K2B 6X3



A PLANNED ONE PLANET LIVING COMMUNITY WITH GUIDING THEMES OF YEAR-ROUND NATURAL CONNECTIONS, ZERO CARBON LIVING, WELCOMING AND INCLUSIVE COMMUNITY.

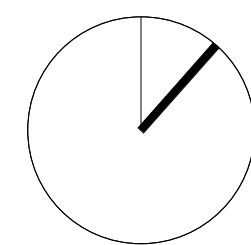
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- ELEVATION NOTES**
1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 28 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETICS LTD. REFER TO SURVEY DRAWING.
 2. ELEVATION SHOWN HEREON ARE GEODETIC (CGD-1028/1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMNET. OTTAWA ELEVATION = 95.230

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Landscape

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Planning

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Energy Modeling

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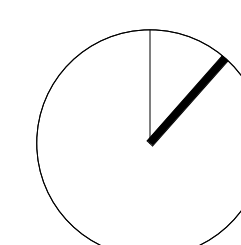


Issued		
No.	Date	Description
9	25-02-12	Issued for SPC Resubmission

ELEVATION NOTES

1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 23 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETRICS LTD. REFER TO SURVEY DRAWING.
2. ELEVATION SHOWN HEREON ARE GEODETIC (CGVD-1928-1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT. OTTAWA ELEVATION = 95.230

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SITE PLAN PHASE I
As indicated

A011

WINDMILL DEVELOPMENT GROUP
PROPERTY IDENTIFICATION NUMBER: 04282-0673(LT)
2475 REGINA ST. OTTAWA ON K2B 6X3



A PLANNED **ONE PLANET LIVING**
COMMUNITY WITH GUIDING THEMES
OF YEAR-ROUND NATURAL
CONNECTIONS, ZERO CARBON
LIVING, WELCOMING AND INCLUSIVE
COMMUNITY

BYRON LINEAR
TRAMWAY PARK

06

ONCE

A1
7 STOREY
PARKWAY HOUSE AT GROUND LEVEL
6 STOREY RESIDENTIAL ABOVE

PARKWAY HOUSE
EXISTING 1 STOREY
FACILITY

T1
16 STOP
PROPOS
RESIDEN

17 STOREY
EXISTING
RESIDENTIAL

22 STOREY
EXISTING
RESIDENTIAL

Architect

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384 ADELAIDE STREET WEST, SUITE 100
TORONTO, ON M5V 1R7
T: (416) 862-8800

Client

WINDMILL DEVELOPMENTS
150 ELGIN, SUITE 1000
OTTAWA ON K2P 1L4
T: 613-820-5600

Civil

STANTEC
1331 CLYDE AVE, 300
OTTAWA ON K2C 3G4
T: 613-722-4420

Landscape

STANTEC
1331 CLYDE AVE, 300
OTTAWA ON K2C 3G4
T: 613-722-4420

Planning

GBA
1339 WELLINGTON ST W, SUITE 204
OTTAWA ON K1Y 3B8
T: 613-680-9450

Transportation Planning

CGH TRANSPORTATION INC
6 PLAZA COURT
OTTAWA ON K2H 7W1
T: 613-697-3797

Electrical

SMITH + ANDERSEN
1600 CARLING AVE, 530
OTTAWA ON K1Z 1G3
T: 613-230-1186

Mechanical

SMITH + ANDERSEN
1600 CARLING AVE, 530
OTTAWA ON K1Z 1G3
T: 613-230-1186

Structural

ENTUITIVE
135 LAURIER AVE WEST
OTTAWA ON K1P 5J2
T: 343-308-9274

Environmental

PATERSON GROUP
28 CONCOURSE GATE, UNIT 1
OTTAWA ON K2E 7T7
T: 613-226-7381

Win

GRADIENT WIND ENGINEERING INC.
127 WALGREEN RD
OTTAWA ON K0A 1L0
T: 613-836-0934

Noise

GRADIENT WIND ENGINEERING INC.
127 WALGREEN RD
OTTAWA ON K0A 1L0
T: 613-836-0934

Energy Modeling

EQ BUILDING PERFORMANCE
20 FLORAL PARKWAY
CONCORD ON L4K 4R1
T: 416-645-1186

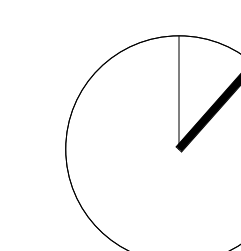


Issued		
No.	Date	Description
6	24-11-22	Issued for Site Plan Control
7	24-12-16	Issued for Permit Phase 2
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

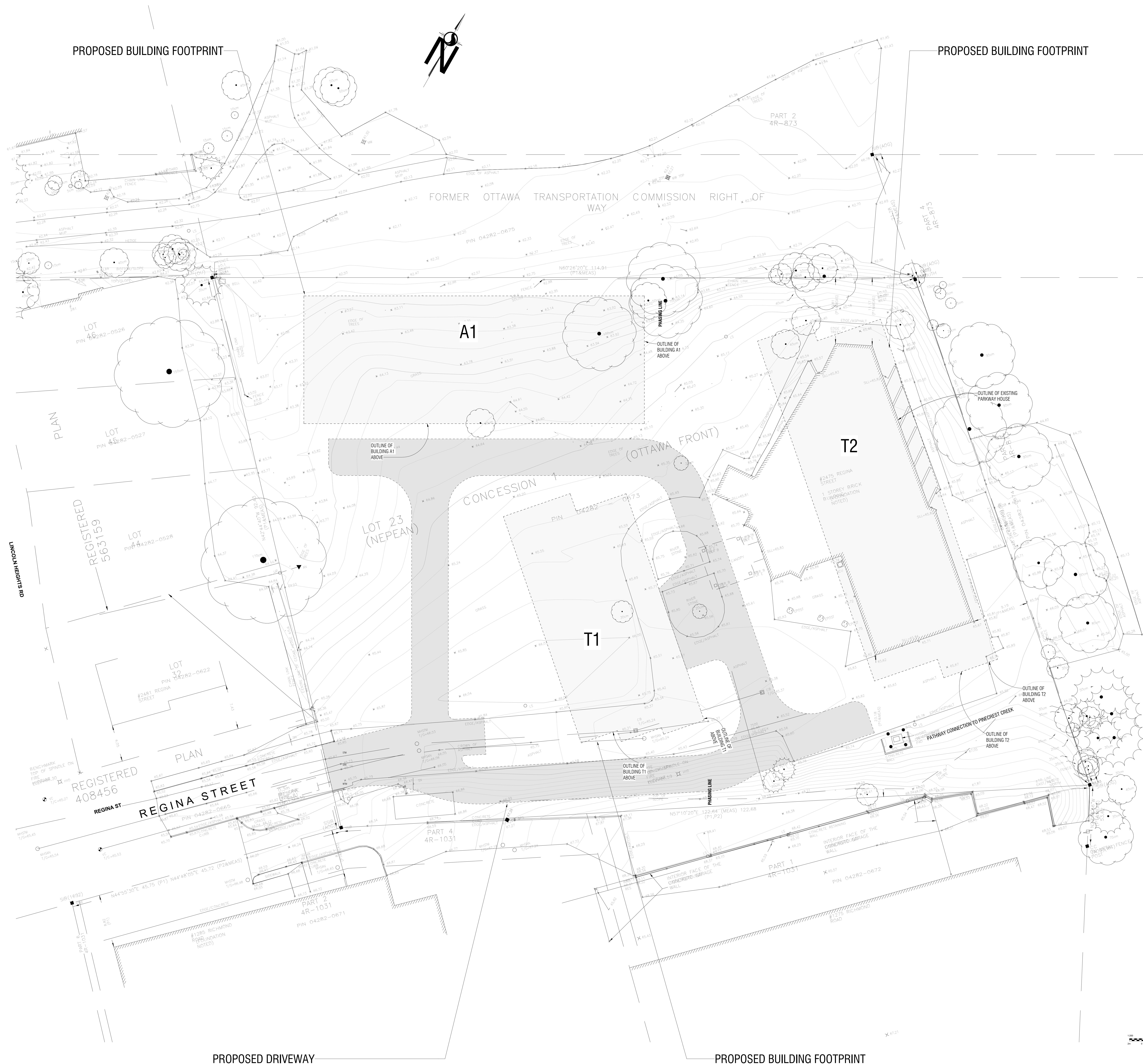
ELEVATION NOTES

1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION DERIVED FROM TOPOGRAPHIC SKETCH OF PART OF LOT 23 CONCESSION 1 (OTTAWA FRONT), CITY OF OTTAWA, PREPARED BY STANTEC GEOMETRICS LTD. REFER TO SURVEY DRAWING.
2. ELEVATION SHOWN HEREON ARE GEODETIC (CGVD-1928:1978) AND ARE DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT: OTTAWA FI ELEVATION = 95.230

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1	22-05-13	Issued for ZBA
2	22-10-21	Issued for ZBA Resubmission
4	24-03-08	Issued for Site Plan Control Phase 2
5	24-03-08	Issued for Schematic Design
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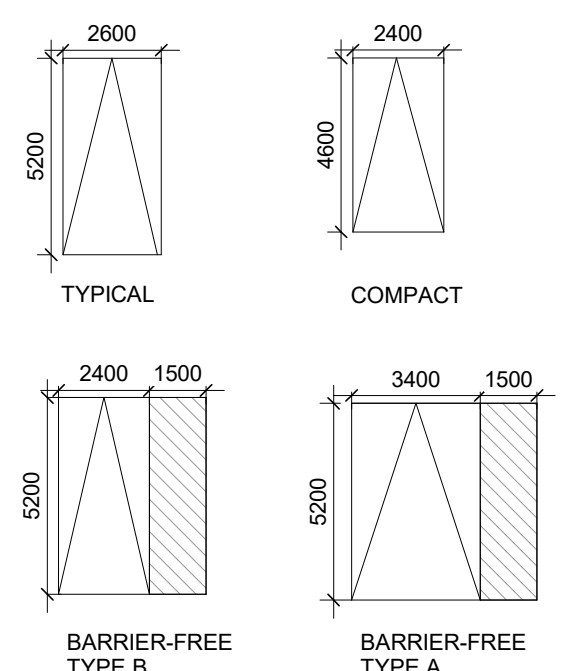
- GENERAL NOTES - PLANS:**
- REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
 - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 - AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
 - ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
 - INCREASE THICKNESS OF WALLS OR FURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
 - FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
 - ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F14B.
 - REFER TO A-150 SERIES FOR ENLARGED PLANS.
 - REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

PARKING SUMMARY
ALL PARKING STALLS ARE 2.8M X 5.2M PER BY-LAW 2021-210 UNLESS OTHERWISE NOTED.
ACCESSIBLE PARKING STALLS ARE TYPE A 3.0M X 5.3M, AND TYPE B 2.4M X 5.2M.

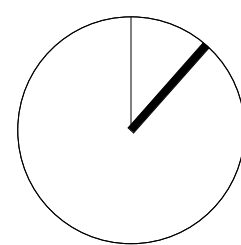
P20 - PHASE I: 82 SPACES
PHASE I: 64 SPACES
P01 - PHASE I: 31 SPACES
PHASE I: 46 SPACES
L01 - 21 SPACES
PHASE I: 104
PHASE I: 115
TOTAL: 214 SPACES

ALL BICYCLE PARKING RACKS ARE STACKED 1.8M X 0.46M
PHASE I: 270
PHASE II: 316
TOTAL 586 LONG-TERM BICYCLE PARKING SPACES

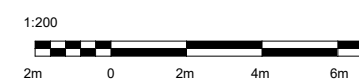
PARKING



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8	25-02-05	Issued for 30% CD
9	26-09-12	Issued for SPC Resubmission

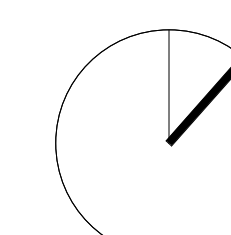
GENERAL NOTES - PLANS:

1. REFERENCE TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
2. REFERENCE TO MECHANICAL AND ELECTRICAL SCHEDULE FOR ANY ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CURTAINING OF INTERIOR PARTITIONS, PARTITION SHALL BE CUT OUT AND BRACES REQUIRED TO MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION.
4. POSITIONING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE OFFSETTING.
5. ALL DIMENSIONS ARE TAKEN TO FACE OF MASSIVE CONCRETE PARTITION WALLS AND CONCRETE PARTITIONS. DIMENSIONS AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF STUDS/BOM BOARD, UNLESS OTHERWISE NOTED.
6. INCREASE THICKNESS OF WALLS OR FLUITS OR WALL THICKNESS AS REQUIRED TO ACHIEVE THE MECHANICAL AND ELECTRICAL PARTITIONS SEPARATION FIRE SEPARATION SOUND RATING AROUND BACK OF PANELS WHERE APPLICABLE.
7. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
8. FOR AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF WALLS TO BE COVERED WITH FINISH TYPE F148.
9. REFER TO A150 SERIES FOR ENLARGED PANELS.
10. FOR ALL PARTITION DECISIONS, THE PARTITION SHALL BE REFERRED TO PARTITION. PARTITIONS MAY BE REQUIRED TO BE CONCRETE OR STEEL STUD PARTITIONS.

ELEVATION NOTES

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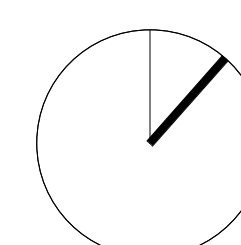


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GENERAL NOTES - PLANS:

1. REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONNECTION OF INTERIOR WALLS, INTERFERE PARTITION, ROOF, CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING. PARTITION, OFFSETTINGS OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE WALLS, PARTITIONS AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLUR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
6. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL, IN EXTERIOR BUILDING TO BE COVERED WITH FURNISHING TYPE F-148.
8. REFER TO A100 SERIES FOR ENLARGED PLANS.
9. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES, MATERIALS AND COLOURS (REF)

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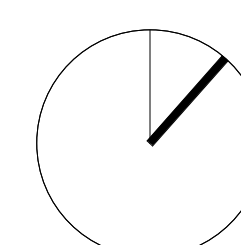


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GENERAL NOTES - PLANS:

1. REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONCRETE OF INTERIOR PARTITION WALLS PARTITIONS SHALL BE BRACED AND SECURED. MAINTAIN FIRE SEPARATION AS REQUIRED RATING OF PARTITION.
4. MECH. DUCTS SHALL BE ONLY INSTALLED WHERE DUCTWORK CAN NOT BE POSITIONED.
5. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE. CONCRETE AT MASSORY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPMON BOARD, UNLESS OTHERWISE NOTED.
6. INCREASE THICKNESS OF WALLS ON FLUR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION AND RATING OF PANELS WHERE REQUIRED.
7. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
8. AT AREAS OF EXPOSED SPANDREL PANELS AT INTERIOR WALLS TO BE COVERED WITH FINISH TYPE F148.
9. REFER TO A150 SERIES FOR ENLARGED PANELS.
10. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES.

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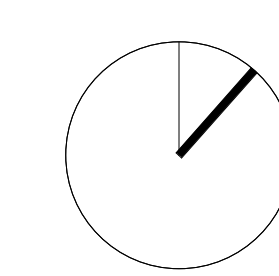


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GENERAL NOTES - PLANS:

- 7. REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SLOTTING TYPES.
- 8. PROVIDE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 9. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR WALLS, PARTITION WALLS, CEILING, ROOFING AND BRACE ARE REQUIRED. MAINTAIN FIRE RESISTANCE RATING OF PARTITION.
- 10. PROVIDE MECHANICAL DUCTWORK WHEN PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
- 11. ALL LOCATIONS WHERE THERE IS TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF CURVED BOARD, UNLESS OTHERWISE NOTED.
- 12. INCREASE THICKNESS OF WALL OR PURLIN OUT WALL THICKNESS AS REQUIRED TO SUPPORT MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE RESISTANCE AROUND BACK OF PANELS WHERE REQUIRED.
- 13. FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
- 14. ALL AREAS OF EXPOSED SPANREL PANEL AT INTERIOR ARE TO BE COVERED WITH FLURRING TYPE F14B.
- 15. REFER TO A150 SERIES FOR ENLARGED PANELS.
- 16. PROVIDE 150mm (6") DUCTWORK DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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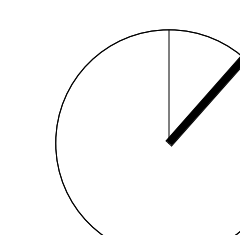


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GENERAL NOTES - PLANS:

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3. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- 3.A1 LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITION WALLS. PARTITION WALLS SHALL BE BRACED AND REINFORCED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED WHERE DUCTWORK CANNOT BE OFFSETTED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION OR AT CENTER OF WALL, FOR CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSHOT BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATIO OF PANELS WHERE APPLICABLE.
6. FOR CONCRETE OF CONCRETE TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR WALLS TO BE COVERED WITH FINISH TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHER TRADES SHALL BE REQUIRED BY OTHER TRADES. PARTITIONS THAT MAY BE REQUIRED BY OTHER TRADES SHALL BE REQUIRED BY OTHER TRADES.

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LEVEL 5 FLOOR PLAN

1 : 200

A105

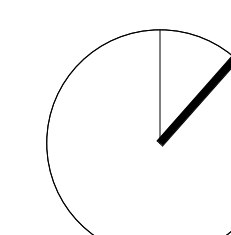


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GENERAL NOTES - PLANS

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- 3.A1 LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITION WALLS. PARTITION WALLS MUST BE BRACED AND REINFORCED. MAINTAIN FIRE SEPARATION SOUND RATING OF PARTITION. POSITIONS OF PARTITIONS WILL ONLY BE DETERMINED WHERE DUCTWORK CANNOT BE OFFSETTED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION AT INTERIOR. ALL CORNERS AND CORNER WALLS AND PARTITIONS, AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSHOT BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATIO OF PANELS WHERE APPLICABLE.
6. FOR CONCRETE OF CONCRETE TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR TO BE COVERED WITH FINISHING TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHERS ARE NOT TO BE CONSIDERED.

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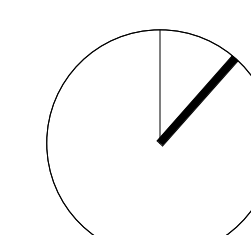


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4. ALL DIMENSIONS ARE TAKEN TO FACE OF PARTITION AT INTERIOR. ALL CORNERS AND CORNER WALLS AND PARTITIONS, AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSHOT BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL OR ELECTRICAL SERVICES. MAINTAIN FIRE SEPARATION SOUND RATIO OF PANELS WHERE APPLICABLE.
6. FOR CONCRETE OF CONCRETE TO SLAB EDGE DRAWINGS.
7. ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR TO BE COVERED WITH FINISHING TYPE F148.
8. REFER TO A150 SERIES FOR ENLARGED PANELS.
9. ADDITIONAL PARTITIONS THAT MAY BE REQUIRED BY OTHERS ARE NOT TO BE SHOWN ON THESE ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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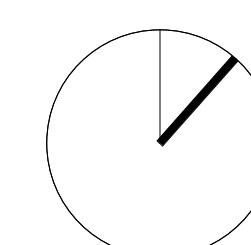


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3. REFER TO MECHANICAL AND ELECTRICAL PARTITIONS FOR ADDITIONAL REQUIREMENTS.
- 3A. LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CURTAINING OF INTERIOR PARTITIONS. MECH. PARTITION ABOVE CEILING AND SPACE AS REQUIRED. MAINTAIN FIRE SEPARATION/ SOUND RATING OF PARTITION. IF POSITIONS OF PARTITIONS WILL ONLY BE DIFFERENT DUE TO DUCTWORK, CORRECTION IS NOT REQUIRED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE AT INTERIOR WALLS AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF UPSIDE BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLUR UP WALL THICKNESS AS REQUIRED TO MEET MECHANICAL AND ELECTRICAL PARTITIONS AND SERVICES. MAINTAIN FIRE SEPARATION AND SOUND R. OF PANELS WHERE APPLICABLE.
6. FOR CURTAINING OF CONCRETE REFER TO SLAB AND ELEV. DRAWINGS.
7. ALLOWING TO EXPOSE SPANDREL PANEL. AT INTERIOR WALLS TO BE COVERED WITH TYPICAL TYPE F-40.
8. REFER TO A100 SERIES FOR ENLARGED PANELS.
9. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR PARTITION TYPES. INTERIOR PARTITION TYPES ARE NOT TO BE USED FOR EXTERIOR PARTITIONS.

NOT FOR
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LEVEL 8/ A1 MPH FLOOR PLAN

1 : 200

A108

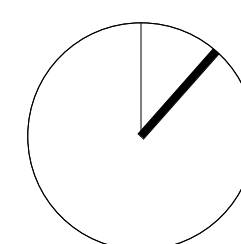


Issued		
No.	Date	Description
1	22-05-13	Issued for ZDA
4	24-03-08	Issued for Site Plan Control Phase 2
5	24-03-08	Issued for Schematic Design
6	24-11-22	Issued for Site Plan Control
8	25-02-05	Issued for 30% CD
9	25-02-12	Issued for SPC Resubmission

GENERAL NOTES - PLANS:

- REFER TO BUILDING ELEMENTS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRUCE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
- ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
- INCREASE THICKNESS OF WALLS OR FURR OUT WALL THICKNESS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE SEPARATION AROUND BACK OF PANELS WHERE APPLICABLE.
- FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
- ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F-145.
- REFER TO A150 SERIES FOR ENLARGED PLANS.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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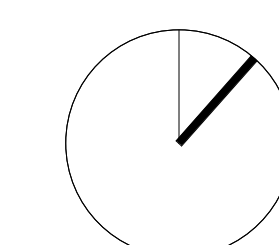


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9	25-02-12	Issued for SPC Resubmission

GENERAL NOTES - PLANS:

- REFER TO BUILDING ELECTIONS SCHEDULE FOR EXTERIOR WALL, PARTITION, ROOF, CEILING AND SOFFIT TYPES.
3. REPAIR ALL MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECH. DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR WALLS, PARTITIONS, ROOF, CEILING, FLOORING AND BRACING AS REQUIRED. MAINTAIN FIRE RATING OF EXISTING PARTITION OR WALL. IF NOT PERMITTED WHERE DUCTWORK CANNOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FACE OF OPSION BOARD, UNLESS OTHERWISE NOTED.
5. INCREASE THICKNESS OF WALLS OR FLIR OUT WALL THICKNESS AS REQUIRED TO SUPPORT MECHANICAL AND ELECTRICAL PANELS AND SERVICES. MAINTAIN FIRE RATING AROUND BACK OF PANELS WHERE REQUIRED.
6. FOR DIMENSIONS OF CONCRETE TO SLAB EDGE DRAWINGS.
- ALL AIRKES OF EXPOSED SPANDREL PANEL, AT INTERIOR, TO BE COVERED WITH FLUPE TYPE F148.
- REFER TO A150 SERIES FOR ENLARGED PANELS. DISCREPANCIES TO BE CORRECTED BY ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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LEVEL 10-16 TYP. FLOOR PLAN

1 : 200

A110

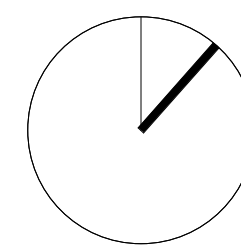


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GENERAL NOTES - PLANS:

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- FOR DIMENSIONS OF CONCRETE REFER TO SLAB EDGE DRAWINGS.
- ALL AREAS OF EXPOSED SPANDREL PANEL AT INTERIOR OF BUILDING TO BE COVERED WITH FURRING TYPE F-14B.
- REFER TO A150 SERIES FOR ENLARGED PLANS.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL PARTITIONS THAT MAY BE REQUIRED.

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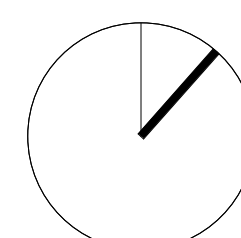


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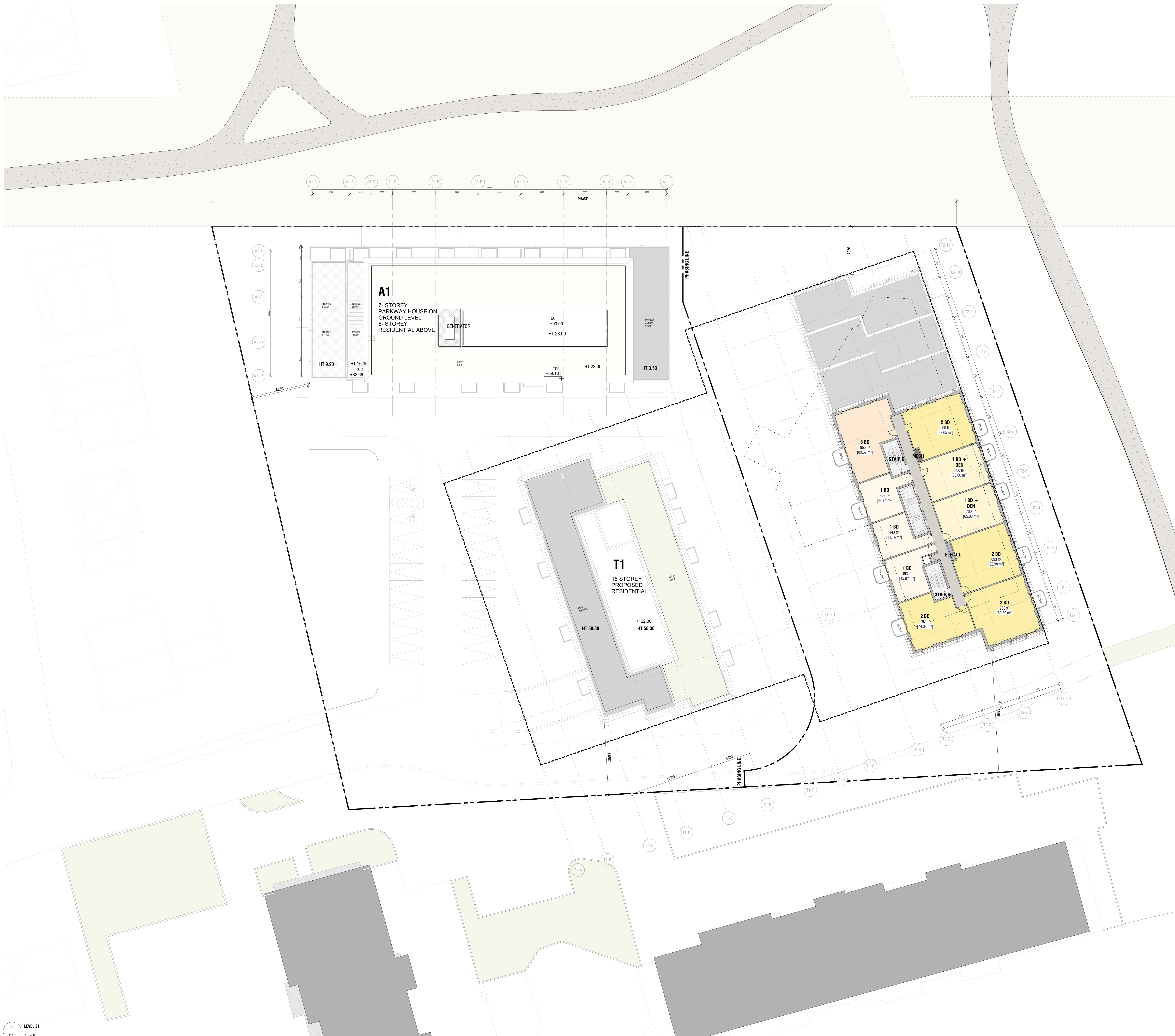


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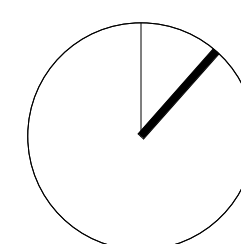


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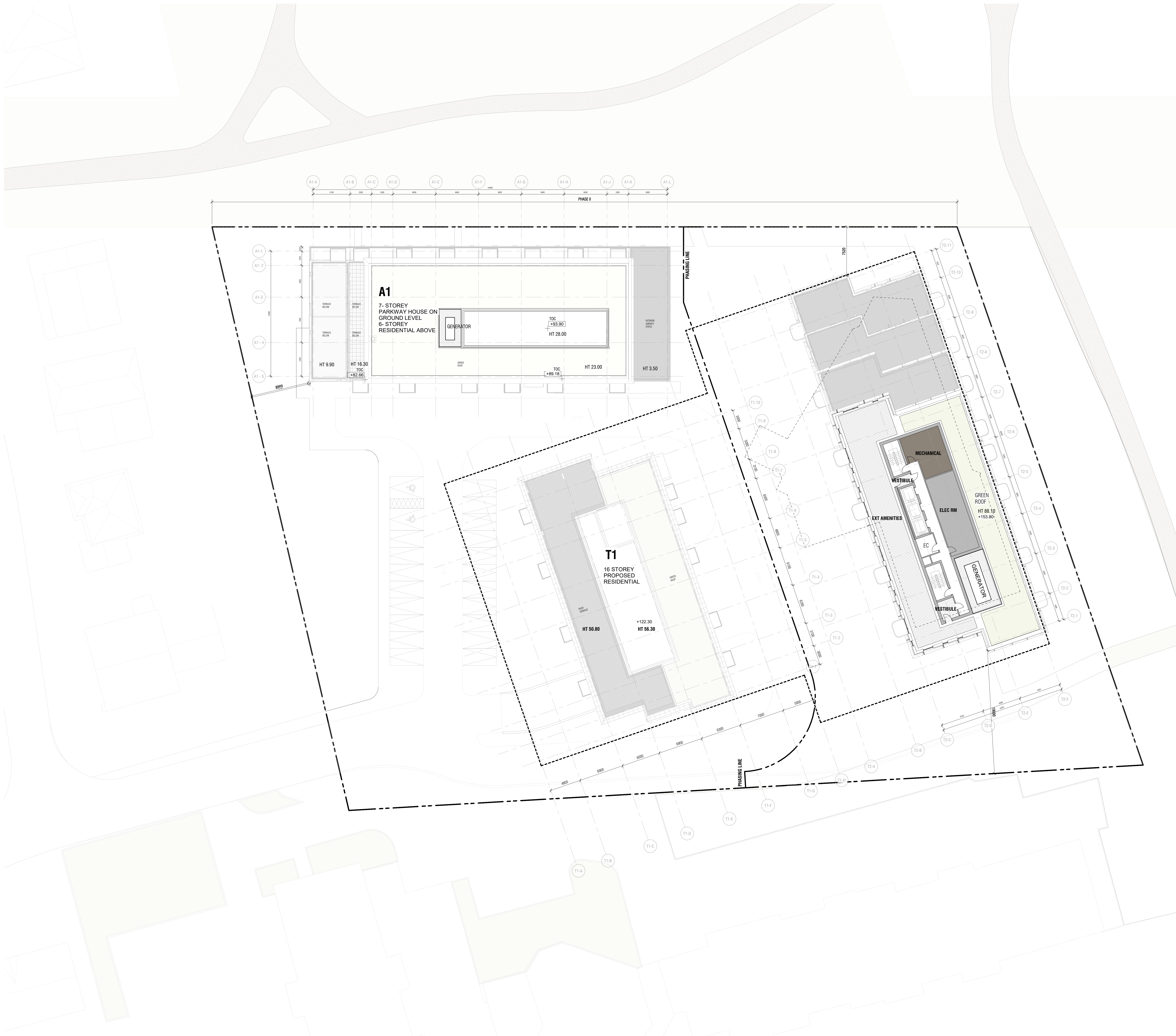
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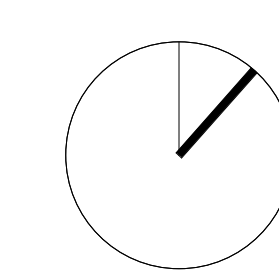




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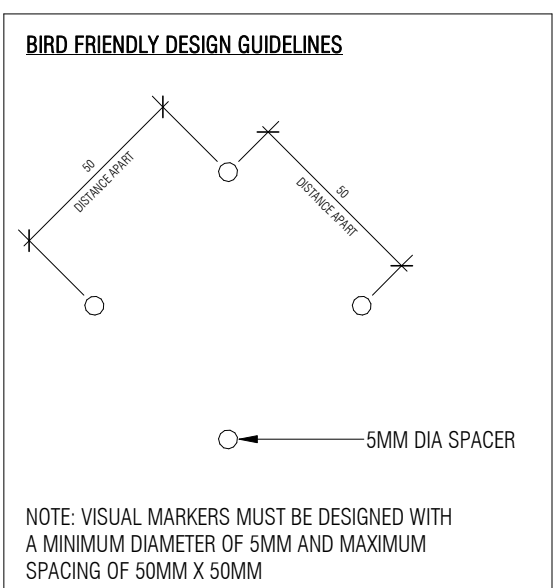
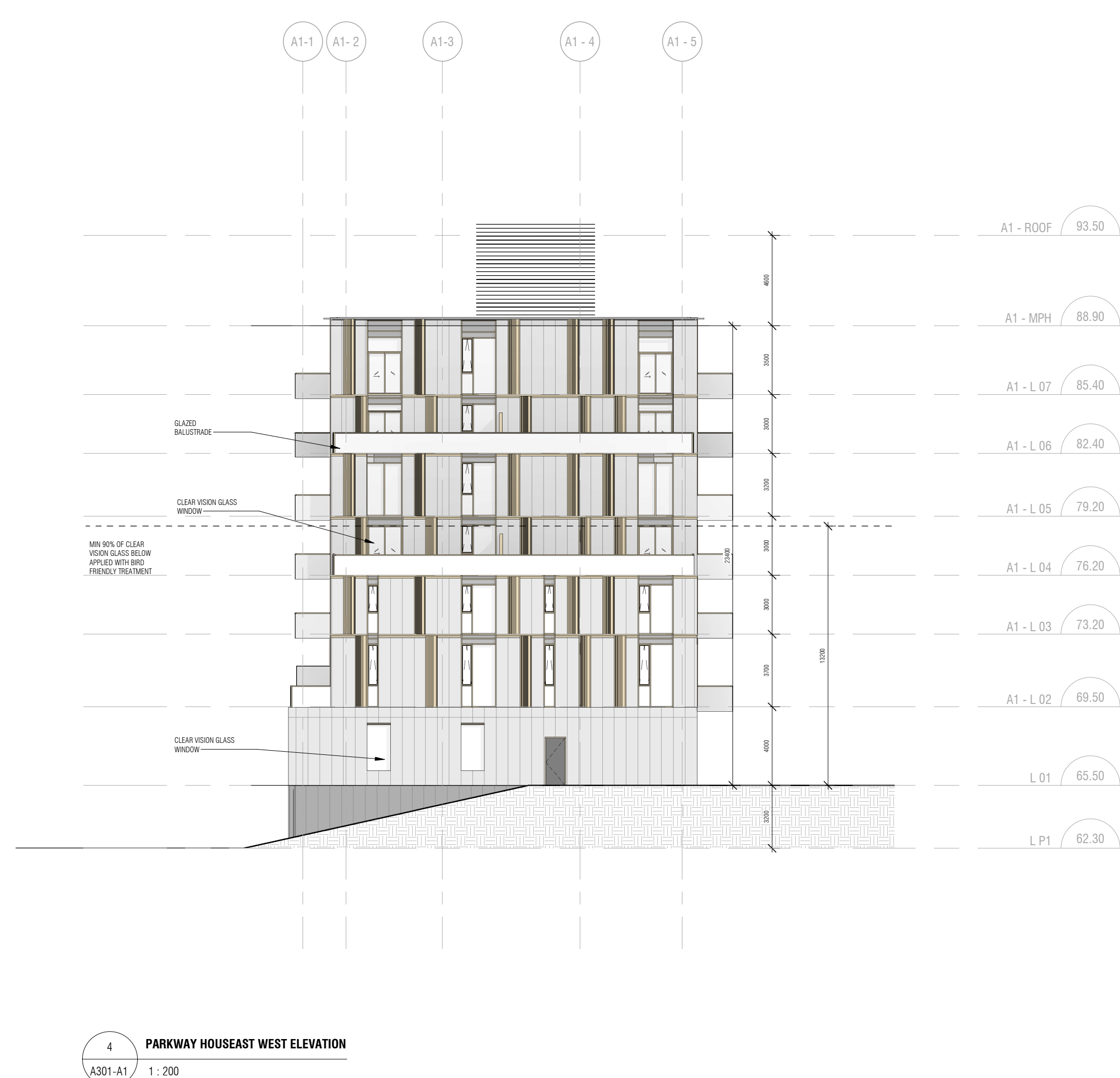
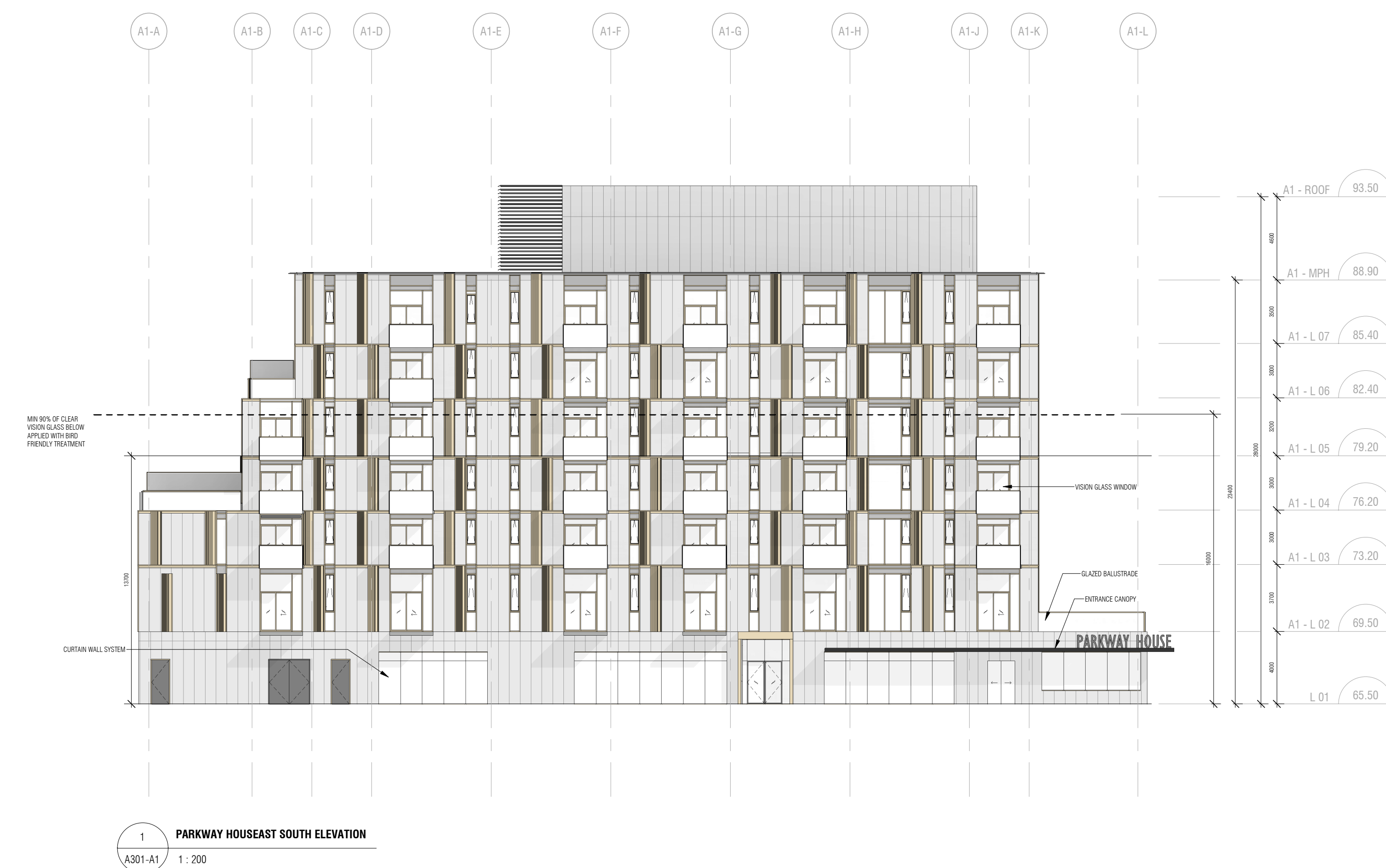
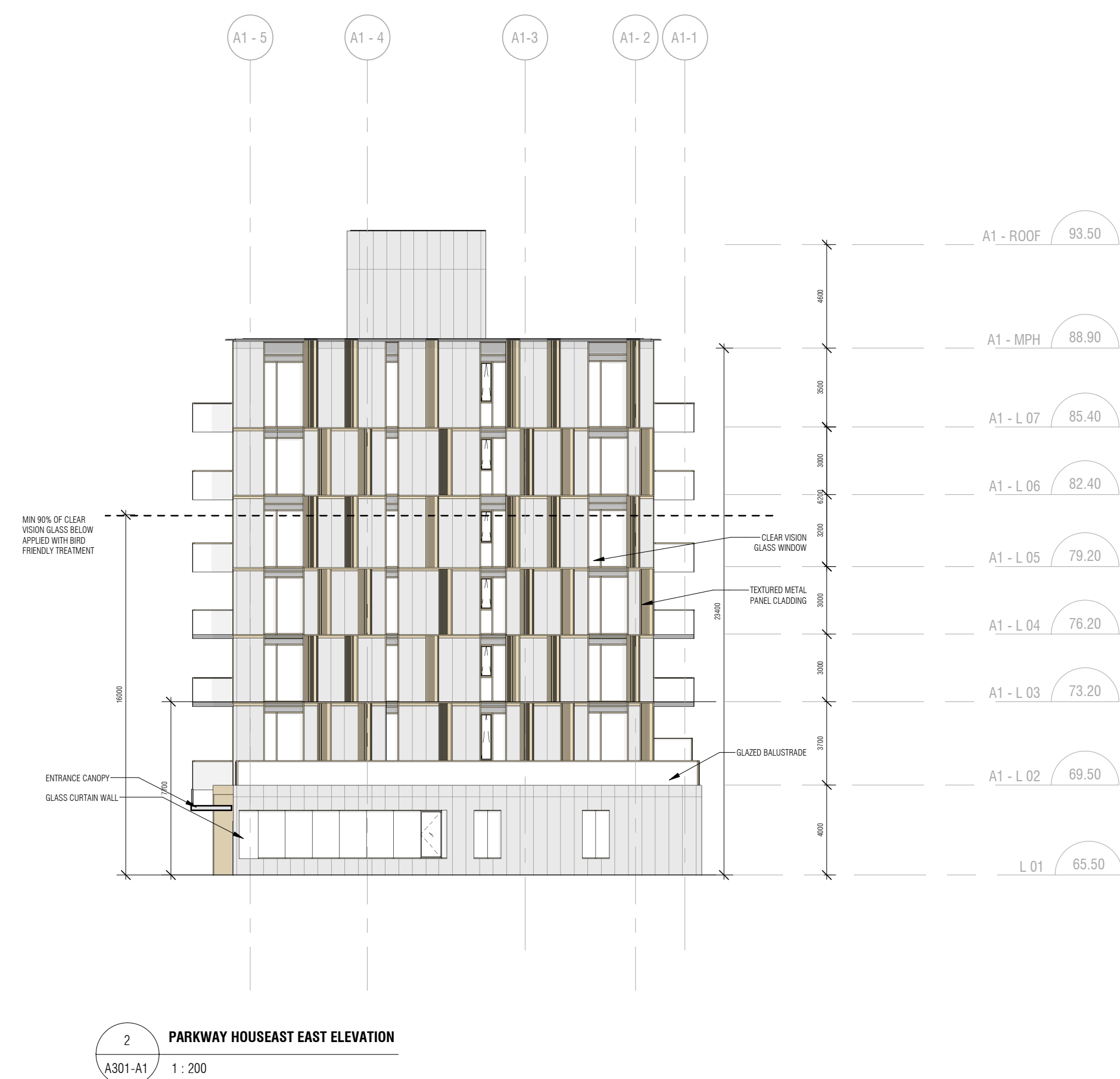
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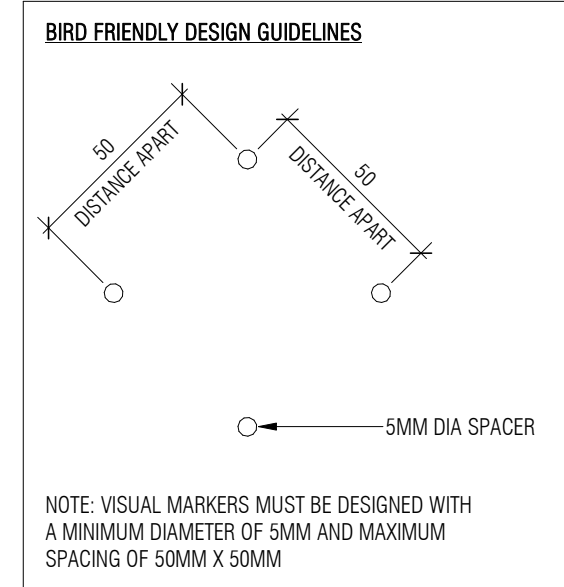
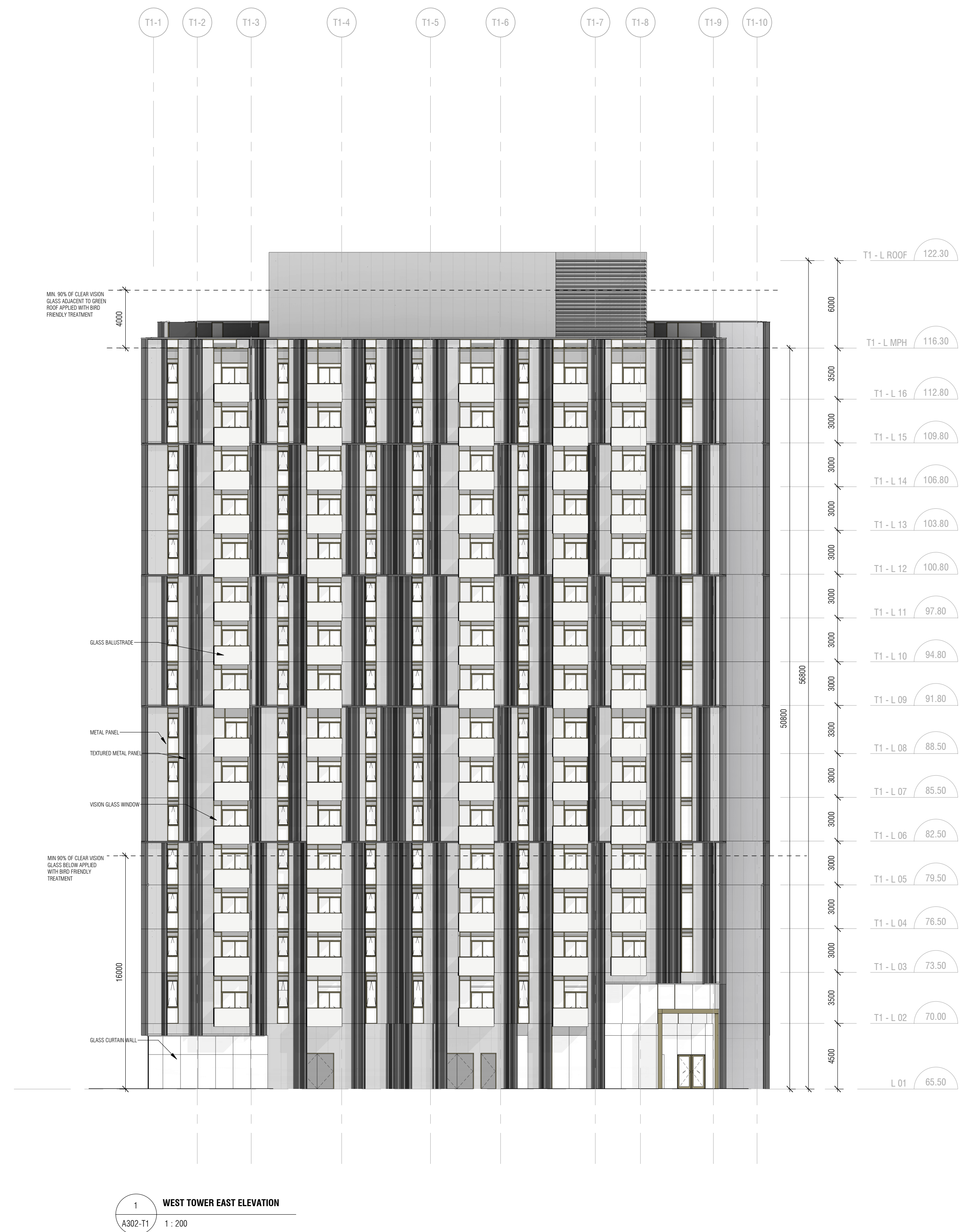
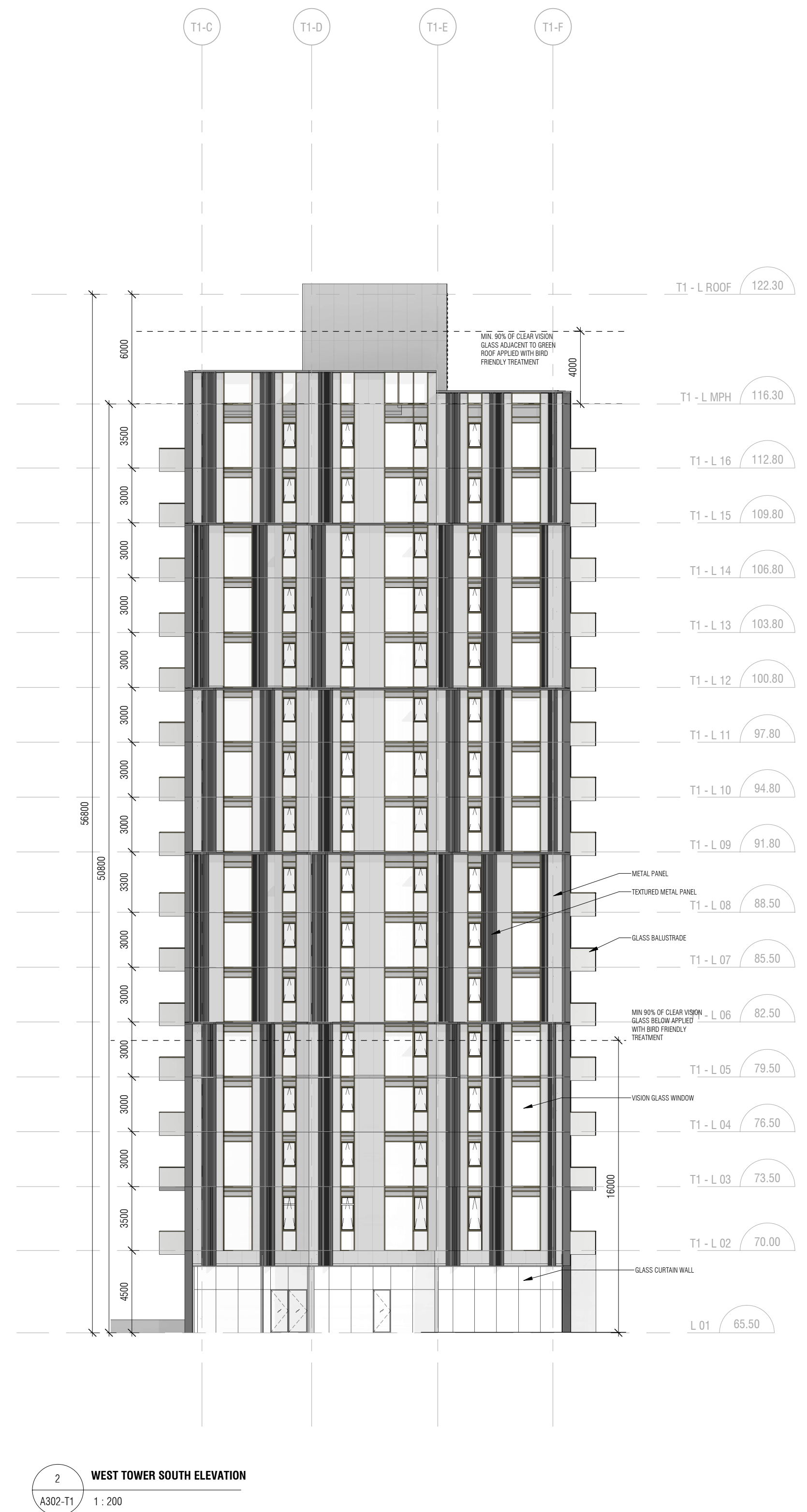
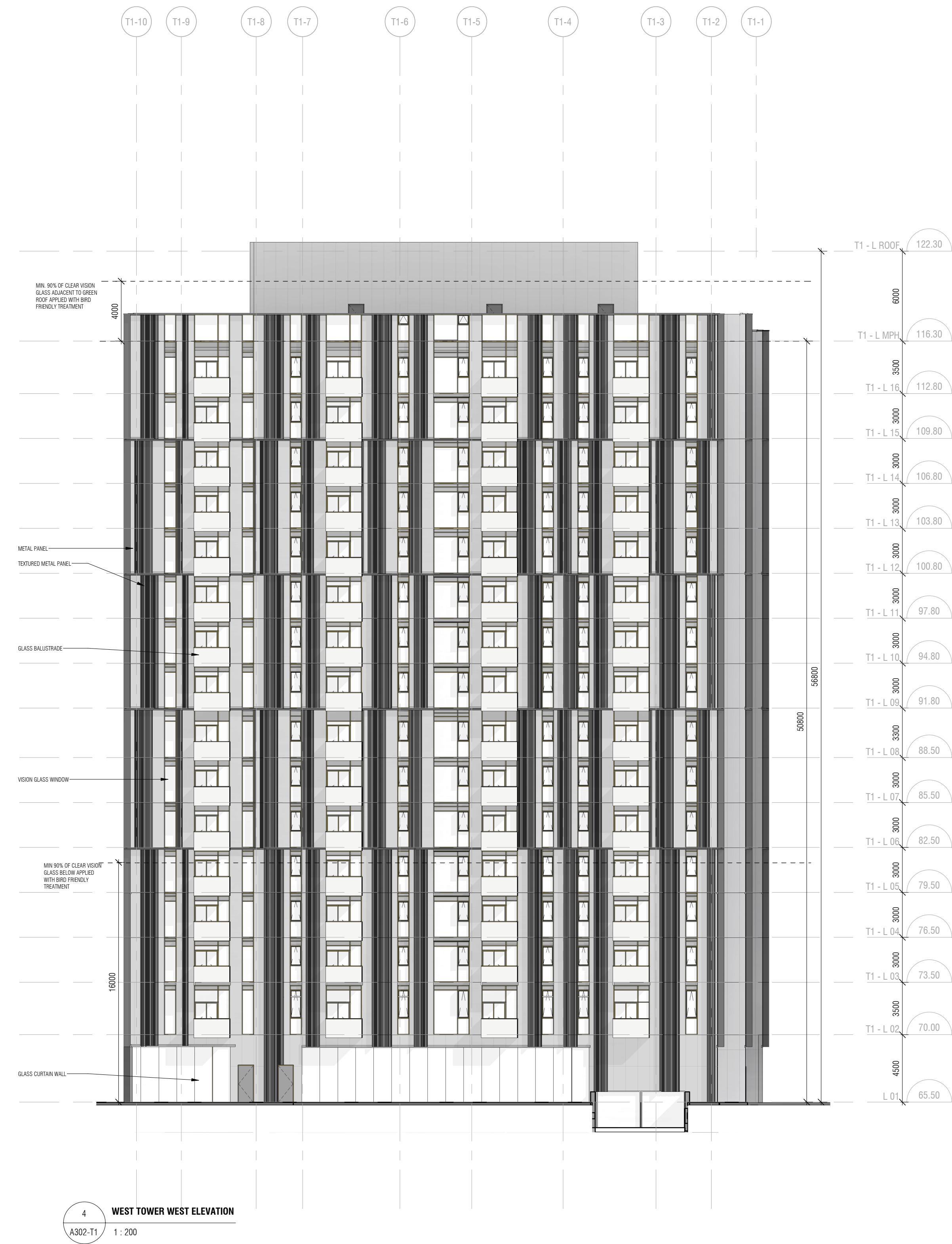


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ELEVATIONS
As Indicated
A302-T1

diamond schmitt

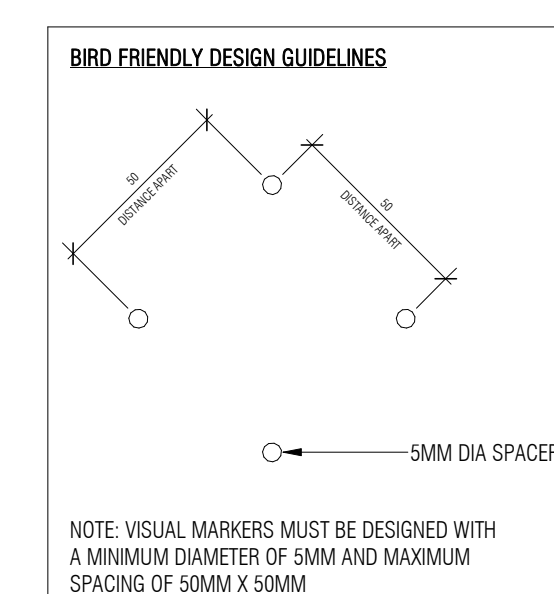
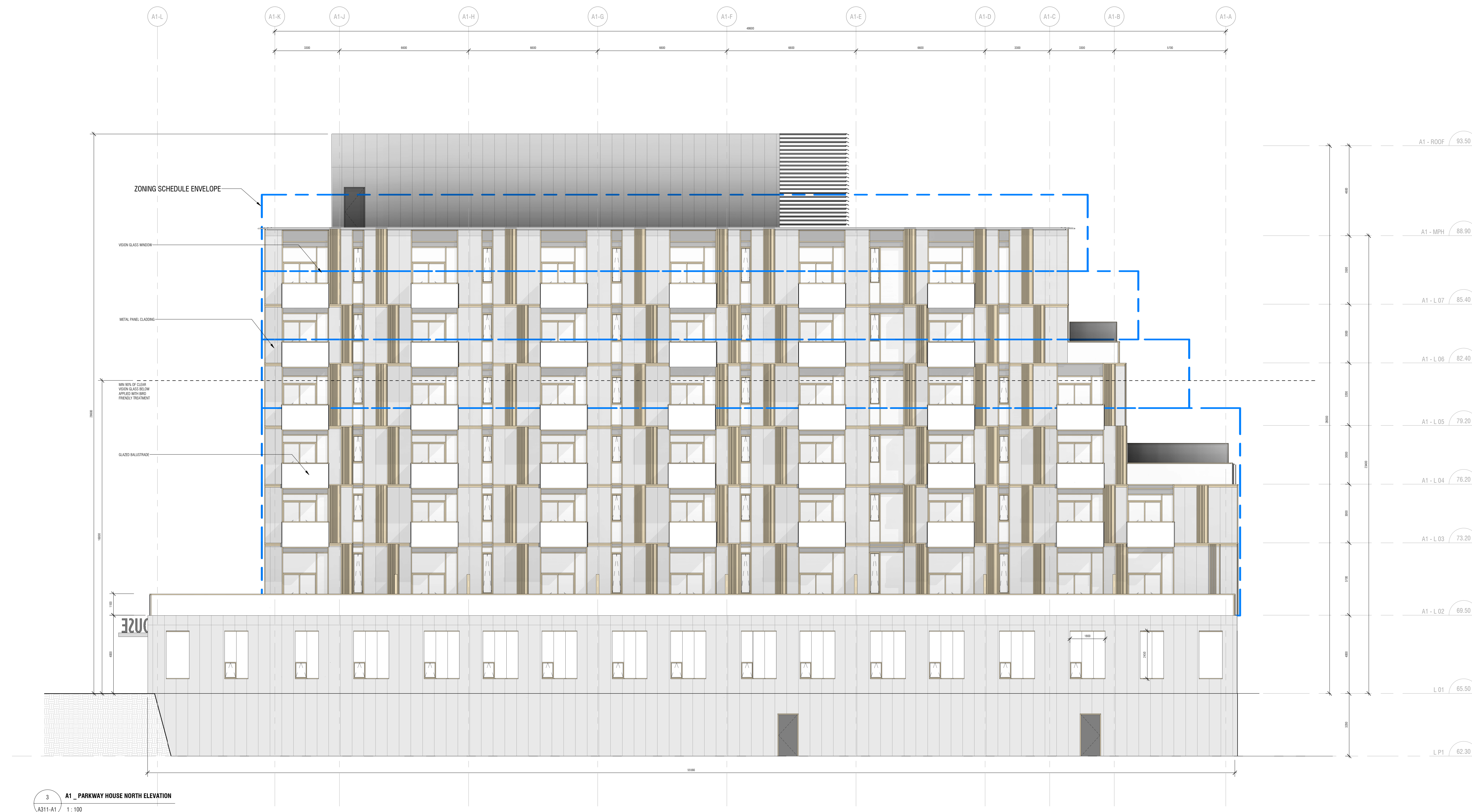
ONTARIO ASSOCIATION OF ARCHITECTS
Project # 221001
2024-08-08
DONALD R. M. SCHMITT
LICENCE 3070



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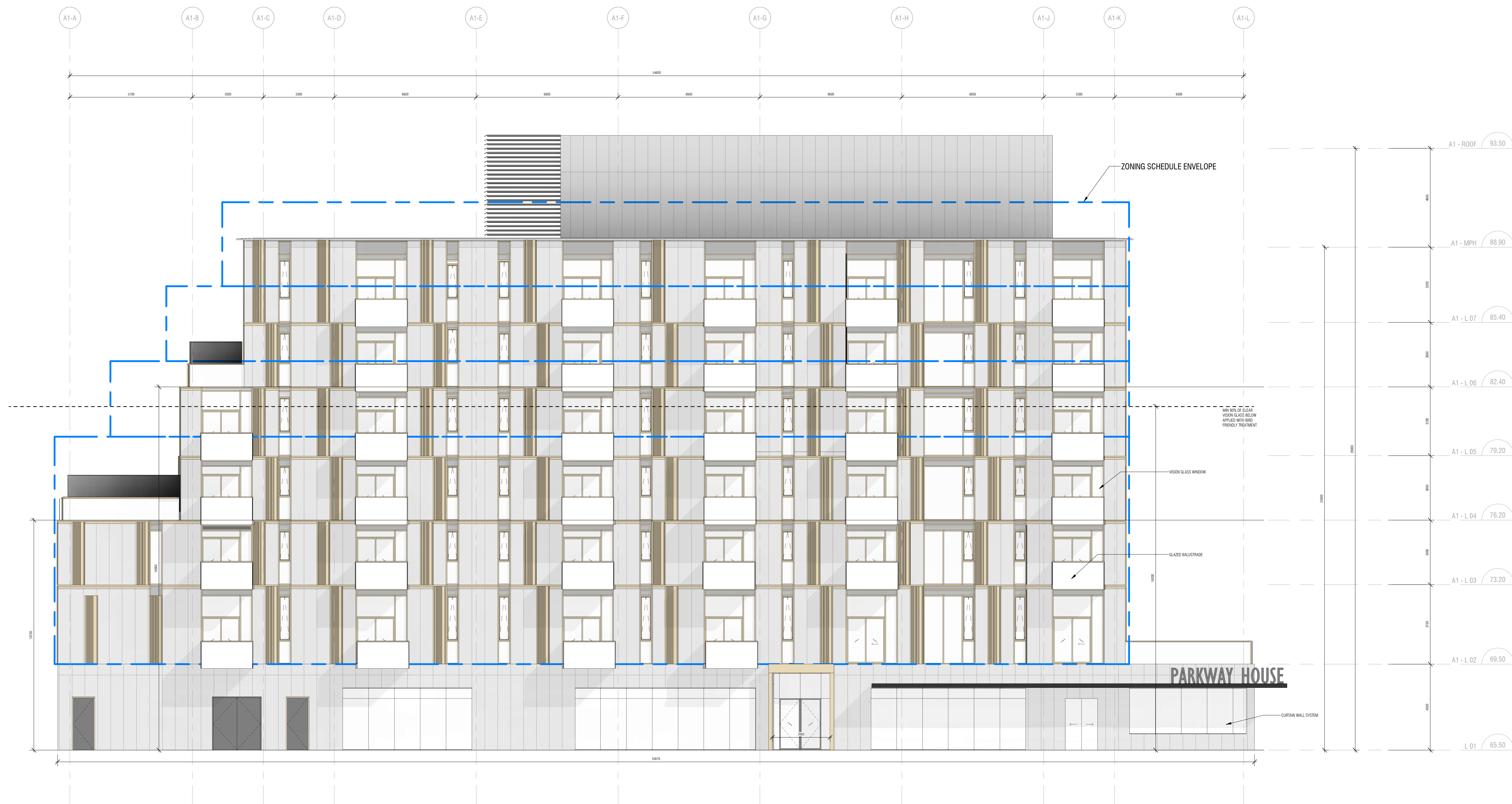


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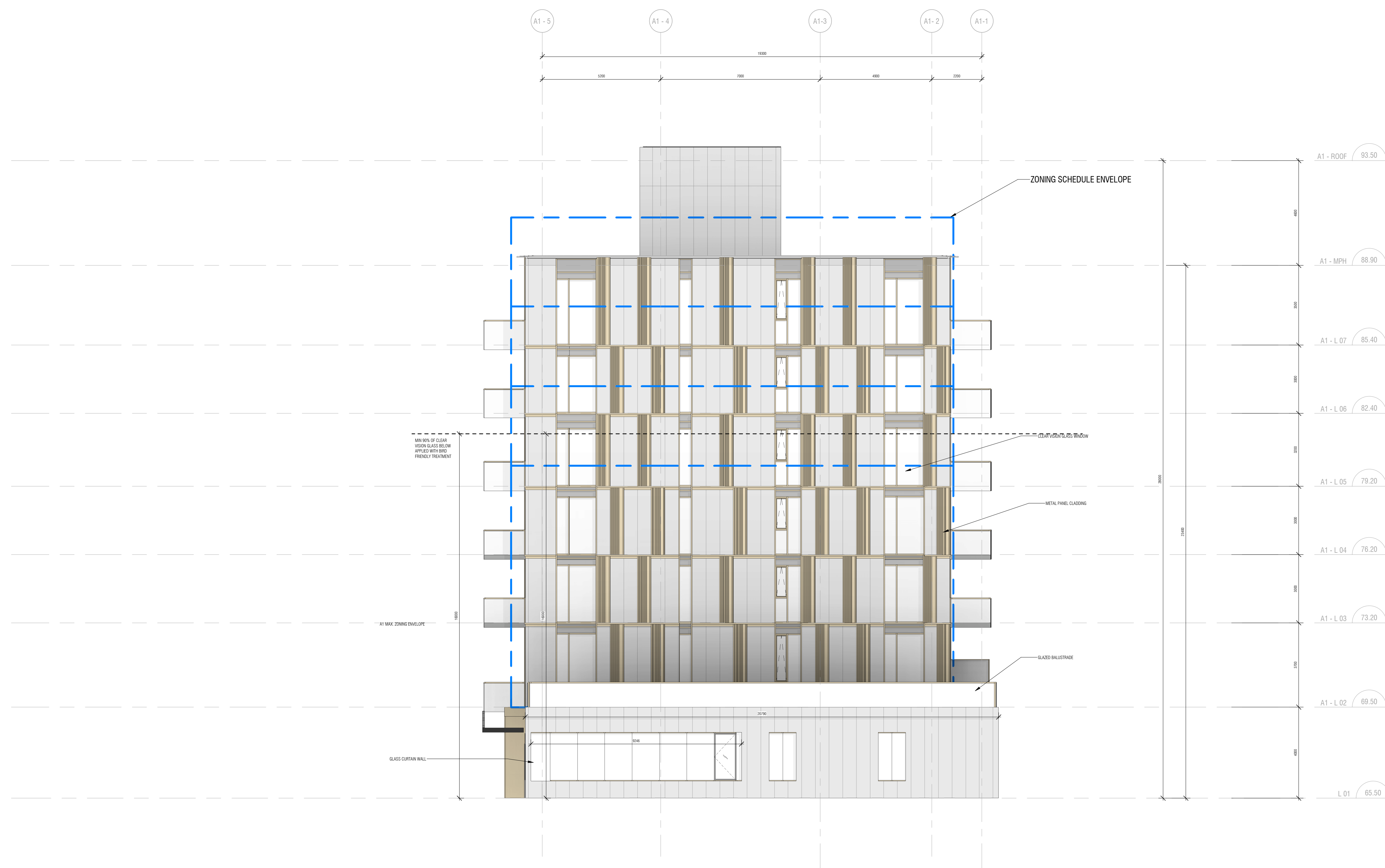
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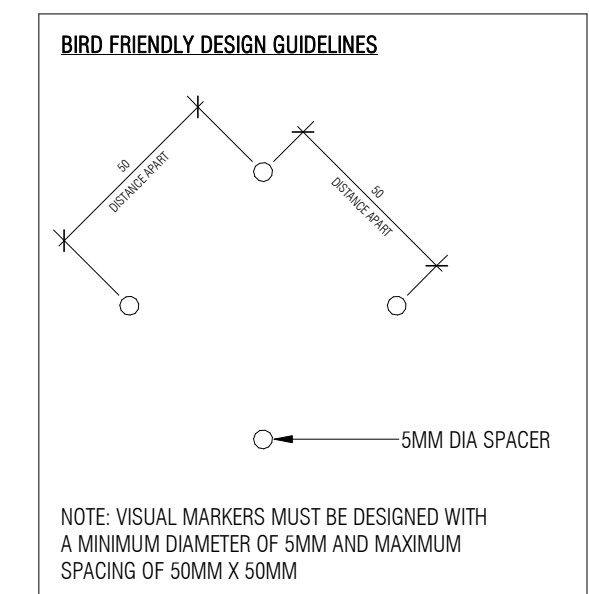
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2
A1 - PARKWAY HOUSE EAST SOUTH ELEVATION
A312-A1 1:100



1
A1 - PARKWAY HOUSE EAST EAST ELEVATION
A312-A1 1:100

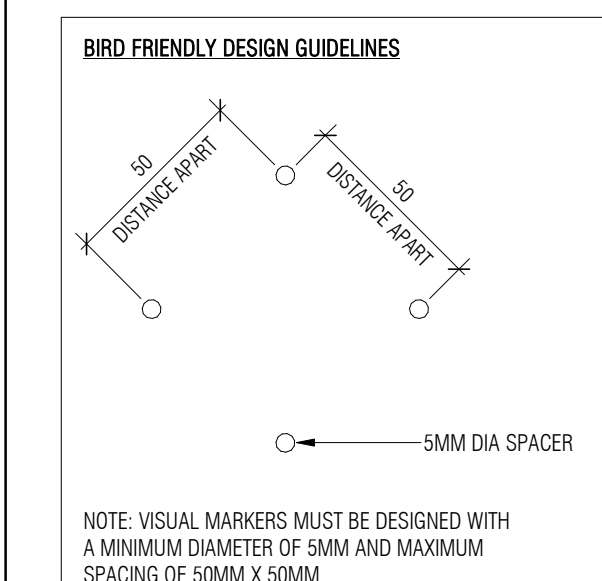


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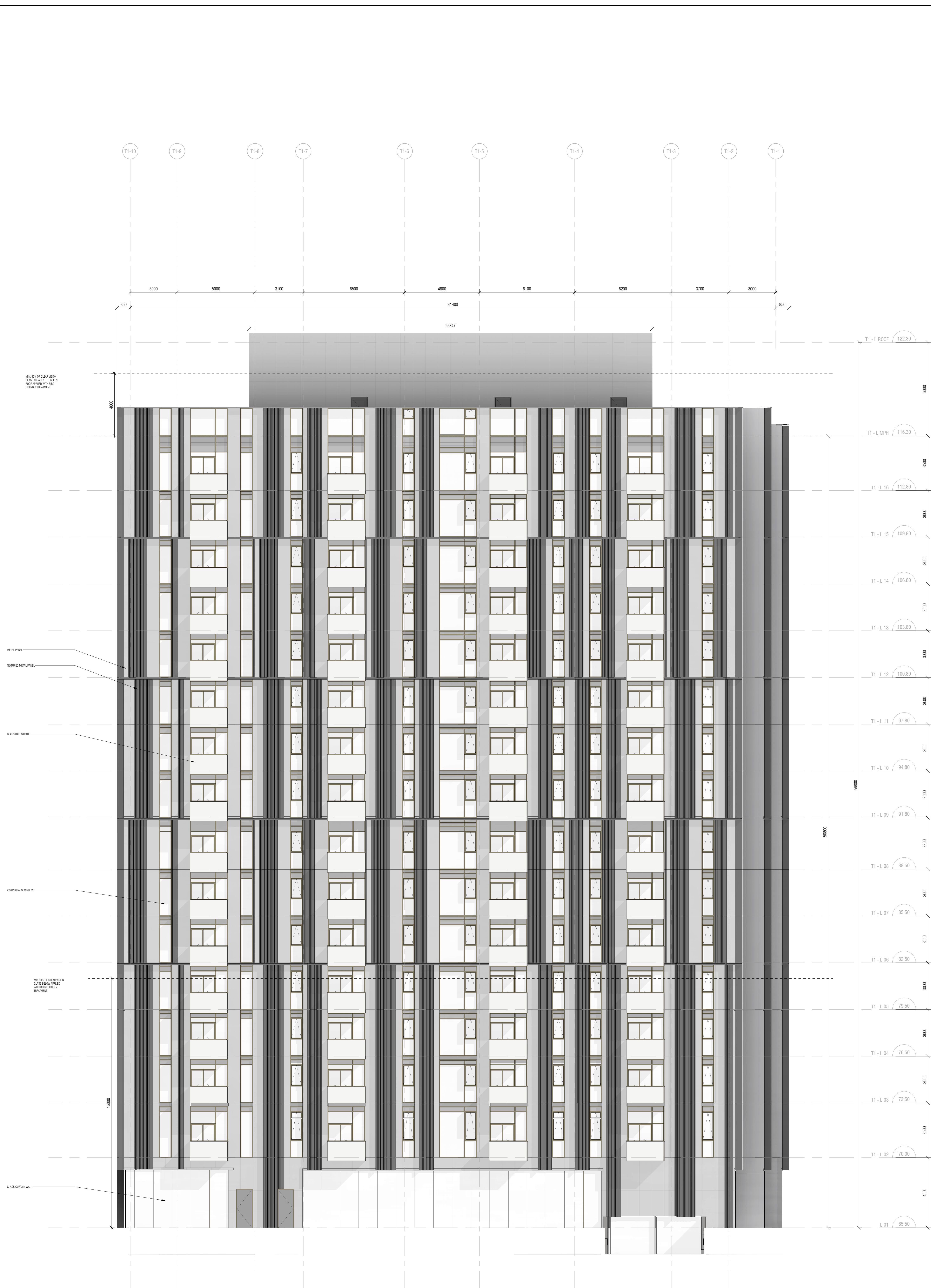


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4 T1 - WEST TOWER NORTH ELEVATION

A321-T1 1:100

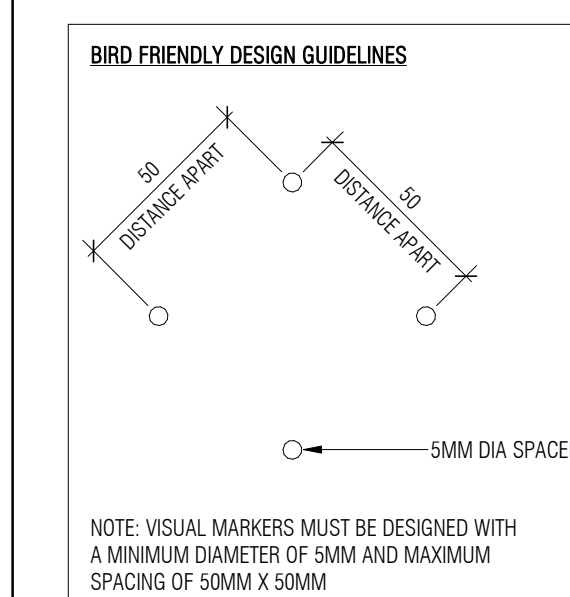


3 T1 - WEST TOWER WEST ELEVATION

A321-T1 1:100

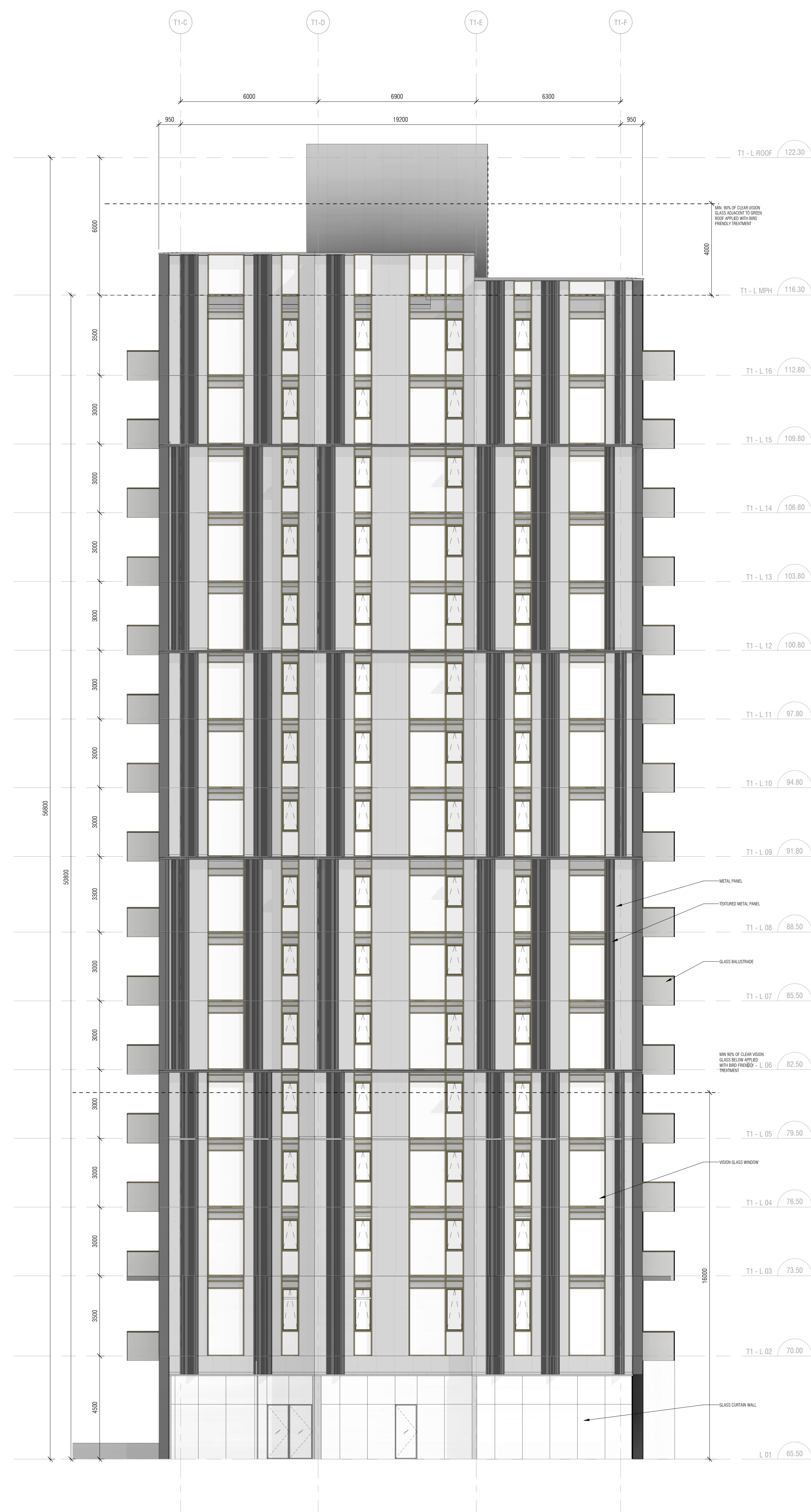


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1 T1 _ WEST TOWER EAST ELEVATION
A322-T1 1:100