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DEPARTMENT, CITY OF OTTAWA

APPROVED
 By sevignyjo at 11:33 am, Feb 20, 2025



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PROJECT TEAM / ÉQUIPE DU PROJET :
 ARCHITECTURE

KEY PLAN / PLAN CLÉ :

CLIENT :

ADDRESS, CITY
 Tel : XXX-XXX-XXXX | www.WEBSITE.com

| revision | description | date |
|----------|------------------|------------|
| 3.7 | 33% REVISION 7 | 2024/09/15 |
| 3.6 | 33% REVISION 6 | 2024/03/05 |
| 3.5 | 33% REVISION 5 | 2024/01/30 |
| 3.4 | 33% REVISION 4 | 2023/12/19 |
| 3.3 | 33% REVISION 3 | 2023/11/13 |
| 3.2 | 33% REVISION 2 | 2023/10/25 |
| 3.1 | 33% REVISION 1 | 2023/10/18 |
| 3.0 | COORDINATION 33% | 2023/06/05 |
| 2.0 | SCHEMATIC DESIGN | 2023/04/28 |
| 1.0 | PRE-DESIGN | 2023/01/13 |

PROJECT NAME / NOM DU PROJET :

3317 NAVAN RD

3317 Navan Road, Navan ON K4B 1H9

DRAWING NAME / NOM DU DESSIN :

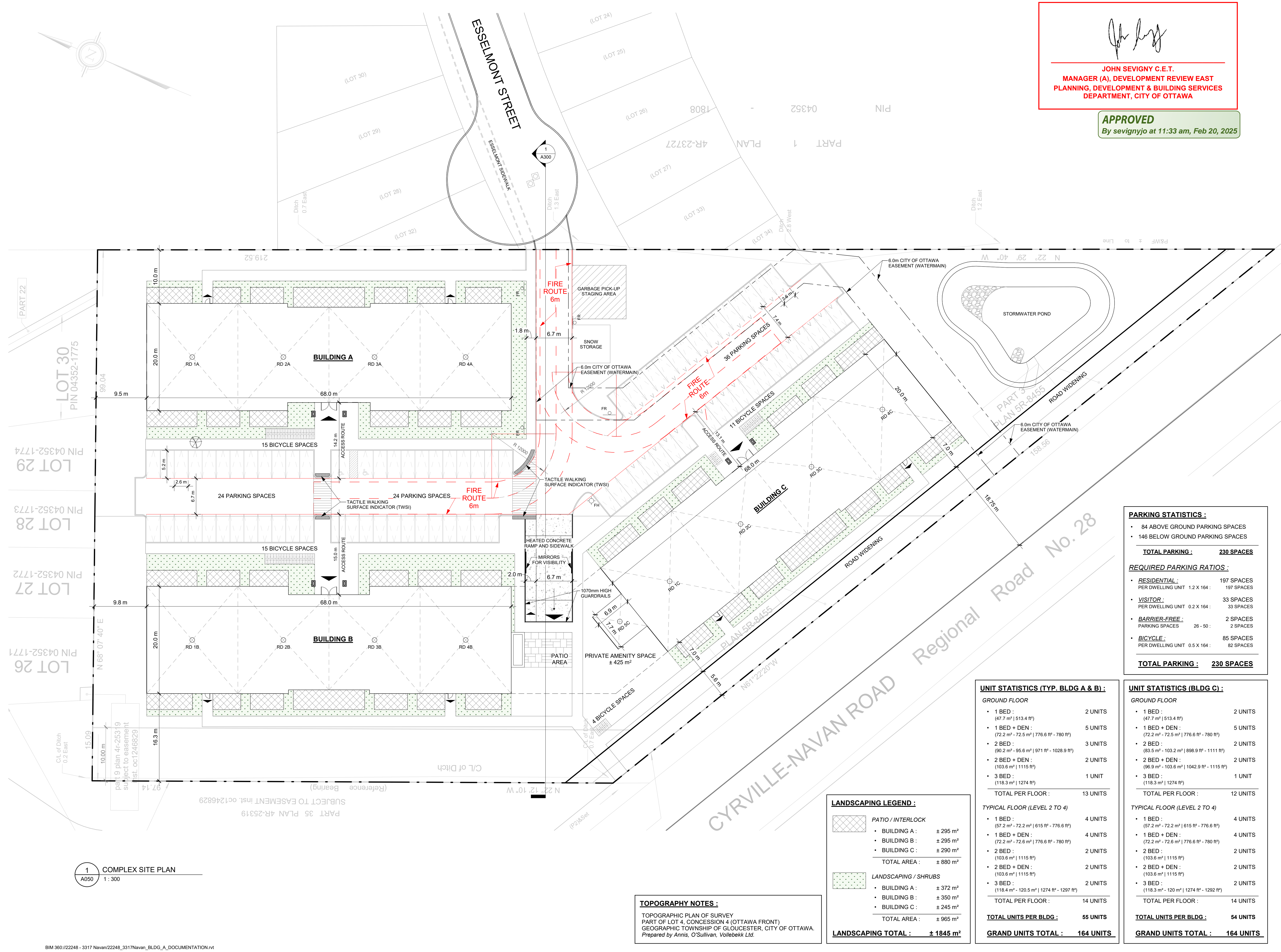
COMPLEX SITE PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22248A**
 DATE : **2023/12/19**
 DRAWN BY / DESSINÉ PAR : **T. LECLERC**
 REVIEWED BY / VÉRIFIÉ PAR : **E. SOULIERE**
 SCALE / ÉCHELLE : **1 : 300**
 PROJECT PHASE / PHASE DU PROJET : **0**
 DWG NO. / NO. DESSIN :

A050

REVISION NO. / NO. DE RÉVISION :



PARKING STATISTICS :

- 84 ABOVE GROUND PARKING SPACES
- 146 BELOW GROUND PARKING SPACES

TOTAL PARKING : 230 SPACES

REQUIRED PARKING RATIOS :

- RESIDENTIAL :** 197 SPACES
PER DWELLING UNIT 1.2 X 164 :
- VISITOR :** 33 SPACES
PER DWELLING UNIT 0.2 X 164 :
- BARRIER-FREE :** 2 SPACES
PARKING SPACES 26 - 50 :
- BICYCLE :** 85 SPACES
PER DWELLING UNIT 0.5 X 164 :

TOTAL PARKING : 230 SPACES



UNIT STATISTICS (TYP. BLDG A & B) :

| GROUND FLOOR | |
|--|------------------|
| • 1 BED : (47.7 m ² 513.4 ft ²) | 2 UNITS |
| • 1 BED + DEN : (72.2 m ² - 72.5 m ² 776.6 ft ² - 780 ft ²) | 5 UNITS |
| • 2 BED : (90.2 m ² - 95.6 m ² 971 ft ² - 1028.9 ft ²) | 3 UNITS |
| • 2 BED + DEN : (103.6 m ² 1115 ft ²) | 2 UNITS |
| • 3 BED : (118.3 m ² 1274 ft ²) | 1 UNIT |
| TOTAL PER FLOOR : | 13 UNITS |
| TYPICAL FLOOR (LEVEL 2 TO 4) | |
| • 1 BED : (57.2 m ² - 72.2 m ² 615 ft ² - 776.6 ft ²) | 4 UNITS |
| • 1 BED + DEN : (72.2 m ² - 72.6 m ² 776.6 ft ² - 780 ft ²) | 4 UNITS |
| • 2 BED : (103.6 m ² 1115 ft ²) | 2 UNITS |
| • 2 BED + DEN : (103.6 m ² 1115 ft ²) | 2 UNITS |
| • 3 BED : (118.4 m ² - 120.5 m ² 1274 ft ² - 1297 ft ²) | 2 UNITS |
| TOTAL PER FLOOR : | 14 UNITS |
| TOTAL UNITS PER BLDG : | 55 UNITS |
| GRAND UNITS TOTAL : | 164 UNITS |

UNIT STATISTICS (BLDG C) :

| GROUND FLOOR | |
|---|------------------|
| • 1 BED : (47.7 m ² 513.4 ft ²) | 2 UNITS |
| • 1 BED + DEN : (72.2 m ² - 72.5 m ² 776.6 ft ² - 780 ft ²) | 5 UNITS |
| • 2 BED : (83.5 m ² - 103.2 m ² 898.9 ft ² - 1111 ft ²) | 2 UNITS |
| • 2 BED + DEN : (96.9 m ² - 103.6 m ² 1042.9 ft ² - 1115 ft ²) | 2 UNITS |
| • 3 BED : (118.3 m ² 1274 ft ²) | 1 UNIT |
| TOTAL PER FLOOR : | 12 UNITS |
| TYPICAL FLOOR (LEVEL 2 TO 4) | |
| • 1 BED : (57.2 m ² - 72.2 m ² 615 ft ² - 776.6 ft ²) | 4 UNITS |
| • 1 BED + DEN : (72.2 m ² - 72.6 m ² 776.6 ft ² - 780 ft ²) | 4 UNITS |
| • 2 BED : (103.6 m ² 1115 ft ²) | 2 UNITS |
| • 2 BED + DEN : (103.6 m ² 1115 ft ²) | 2 UNITS |
| • 3 BED : (118.4 m ² - 120 m ² 1274 ft ² - 1292 ft ²) | 2 UNITS |
| TOTAL PER FLOOR : | 14 UNITS |
| TOTAL UNITS PER BLDG : | 54 UNITS |
| GRAND UNITS TOTAL : | 164 UNITS |

LANDSCAPING LEGEND :

| | |
|---|-----------------------------|
|  | PATIO / INTERLOCK |
| • BUILDING A : | ± 295 m ² |
| • BUILDING B : | ± 295 m ² |
| • BUILDING C : | ± 290 m ² |
| TOTAL AREA : | ± 880 m² |
|  | LANDSCAPING / SHRUBS |
| • BUILDING A : | ± 372 m ² |
| • BUILDING B : | ± 350 m ² |
| • BUILDING C : | ± 245 m ² |
| TOTAL AREA : | ± 965 m² |
| LANDSCAPING TOTAL : | ± 1845 m² |

TOPOGRAPHY NOTES :
 TOPOGRAPHIC PLAN OF SURVEY
 PART OF LOT 4, CONCESSION 4 (OTTAWA FRONT)
 GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA.
 Prepared by Annis, O'Sullivan, Volebekk Ltd.

1 COMPLEX SITE PLAN
 A050 1 : 300