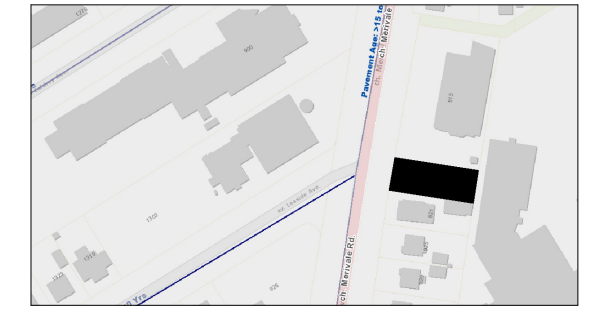


MARC AMYOT | 917 MERIVALE ROAD, OTTAWA, ON



NO.	DATE	BY	DESCRIPTION
2	11 FEB 2024	SH	REVISED FOR SPA
1	02 DEC 2024	SH	RE-ISSUED FOR SPA

REVISION RECORD

NO.	DATE	BY	DESCRIPTION
2	21 JAN 2025	SH	ISSUED FOR PERMIT
1	22 JUL 2024	DS	ISSUED FOR SPA

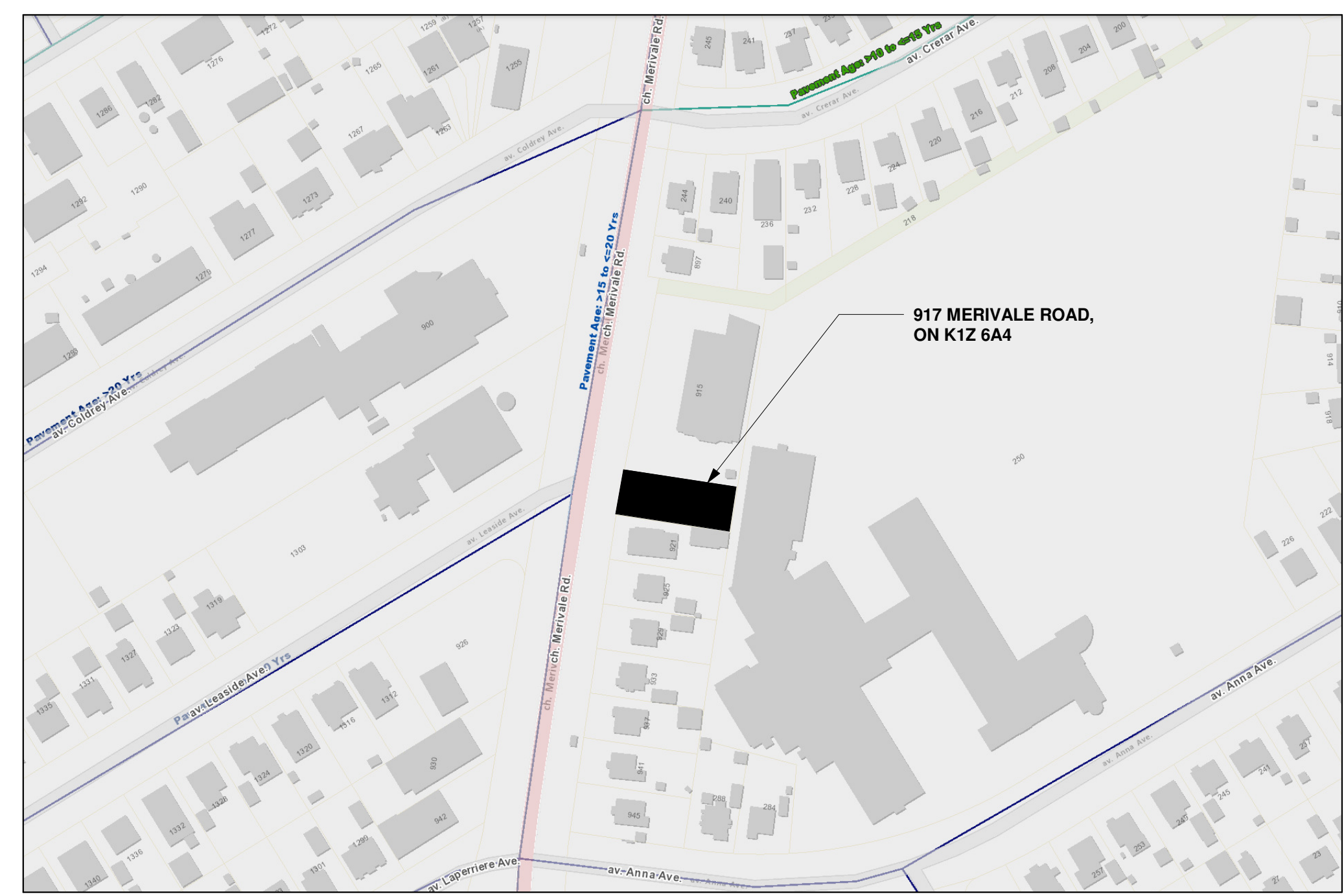
ISSUE RECORD

Project No. 2301
Date 2025.02.11
Issued For Revised for SPA

PROJECT DESCRIPTION:
6 storey apartment building with basement storage

- 1. ARCHITECT
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- 4. ELECTRICAL ENGINEER
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INDEX OF DRAWINGS		ISSUED FOR SCHEMATIC DESIGN	ISSUED FOR SITE PLAN APPLICATION	ISSUED FOR EXCAVATION PERMIT / TENDER	ISSUED FOR BUILDING PERMIT
ARCHITECTURAL DRAWING LIST	SD	SPA	TP #1	PERMIT	
A001 SCHEMATIC PLANS		✓	✓	✓	✓
A002 COVER PAGE		✓	✓	✓	✓
A003 SCHEMATIC PLANS		✓	✓	✓	✓
A004 SCHEMATIC PLANS		✓	✓	✓	✓
A005 NORTH FACADE GLAZING		✓	✓	✓	✓
A006 LIFE SAFETY PLAN		✓	✓	✓	✓
A008 DEMO SITE PLAN		✓	✓	✓	✓
A009 PROPOSED SITE PLAN		✓	✓	✓	✓
A010 VEHICLE TURNING PLAN		✓	✓	✓	✓
A011 EXCAVATION SITE PLAN		✓	✓	✓	✓
A100 BASEMENT PLAN		✓	✓	✓	✓
A101 FIRST LEVEL FLOOR PLANS		✓	✓	✓	✓
A102 SECOND LEVEL FLOOR PLAN		✓	✓	✓	✓
A103 THIRD LEVEL FLOOR PLAN		✓	✓	✓	✓
A104 FOURTH LEVEL FLOOR PLAN		✓	✓	✓	✓
A105 FIFTH LEVEL FLOOR PLAN		✓	✓	✓	✓
A106 SIXTH LEVEL FLOOR PLAN		✓	✓	✓	✓
A107 FLAT ROOF PLAN		✓	✓	✓	✓
A108 ROOF PLAN		✓	✓	✓	✓
A116 REFLECTED CEILING PLANS		✓	✓	✓	✓
A117 REFLECTED CEILING PLANS		✓	✓	✓	✓
A118 REFLECTED CEILING PLANS		✓	✓	✓	✓
A119 REFLECTED CEILING PLANS		✓	✓	✓	✓
A120 REFLECTED CEILING PLANS		✓	✓	✓	✓
A121 REFLECTED CEILING PLANS		✓	✓	✓	✓
A122 REFLECTED CEILING PLANS		✓	✓	✓	✓
A202 BUILDING ELEVATIONS		✓	✓	✓	✓
A301 BUILDING SECTIONS		✓	✓	✓	✓
A302 BUILDING SECTIONS		✓	✓	✓	✓
A401 ENLARGED PLANS & SECTIONS		✓	✓	✓	✓
A402 INTERIOR ELEVATIONS		✓	✓	✓	✓
A403 WALL SECTIONS		✓	✓	✓	✓
A500 DETAILS		✓	✓	✓	✓
A501 DETAILS		✓	✓	✓	✓
A505 DETAILS		✓	✓	✓	✓
A601 WINDOW SCHEDULE		✓	✓	✓	✓
A602 DOOR SCHEDULE		✓	✓	✓	✓
A800 3D VIEWS		✓	✓	✓	✓
CIVIL DRAWING LIST					
D-1 STORM DRAINAGE AREA PLAN		✓			
SDM-1 STORMWATER MANAGEMENT PLAN		✓			
ESC-1 EROSION AND SEDIMENT CONTROL PLAN		✓			
G-1 LOT GRADING AND SERVICING PLAN		✓			
LANDSCAPE DRAWING LIST					
L1-01 LANDSCAPE PLAN		✓			
L2-01 SOIL VOLUME PLAN		✓			
LD-01 LANDSCAPE DETAILS		✓			
LD-02 LANDSCAPE DETAILS		✓			



1 KEY PLAN
A001 1:1500



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MERIVALE APARTMENT
917 MERIVALE RD
OTTAWA ON
for
MARC AMYOT

2301 PROJECT
As indicated SCALE
DS, SH DRAWN
SH REVIEWED

COVER PAGE

A001

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File No: D07-12-24-0067

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ARCHITECTURAL PARTITION ASSEMBLIES

Table with columns: TAG, GRAPHIC, ASSEMBLY. Rows include: F.A. PARTITION WALL - 138mm STUD WALL TO US OF FLOOR FRAMING; I.F.A. PARTITION WALL - 138mm STUD WALL TO US OF FLOOR FRAMING; I.F.A. STAIR PARTITION WALL - 138mm STUD WALL TO US OF FLOOR FRAMING; F.A. PARTITION WALL - 89mm STUD WALL TO US OF FLOOR FRAMING; I.F.A. PARTITION WALL - 138mm c/w CHANNELS WALL TO US OF FLOOR FRAMING; I.F.A. ELEVATOR PARTITION - 138mm c/w CHANNELS WALL TO US OF FLOOR FRAMING; PARTITION WALL - 89mm STUD WALL TO US OF FLOOR FRAMING; INSULATED PARTITION WALL - 89mm STUD WALL TO US OF FLOOR FRAMING; PARTITION WALL - 138mm STUD WALL TO US OF FLOOR FRAMING; INSULATED PARTITION WALL - 138mm STUD WALL TO US OF FLOOR FRAMING; FURRING WALL - 89mm STUD WALL TO US OF CEILING.

ARCHITECTURAL WALL ASSEMBLIES

Table with columns: TAG, GRAPHIC, ASSEMBLY. Rows include: C.I.P. FOUNDATION WALL, MIN. R-35 c.l. (R-35 PROVIDED); C.I.P. AIR ENTRAINED FOUNDATION / CURB WALL; EXTERIOR CEMENT PANEL WALL 1, MIN. R-13 c.l. (R-13 PROVIDED); EXTERIOR CEMENT PANEL FN WALL; UPVC PANEL WALL, MIN. R-13 c.l. (R-30 PROVIDED); UPVC PANEL FN WALL; INSULATED METAL PANEL WALL, MIN. R-13 c.l. (R-30 PROVIDED); BRICK RAINSCREEN WALL, MIN. R-13 c.l. (R-30 PROVIDED); BRICK RAINSCREEN SUPPORTING WALL.

ARCHITECTURAL FLOOR ASSEMBLIES

Table with columns: TAG, GRAPHIC, ASSEMBLY. Rows include: CIP CONCRETE SLAB, MIN. R-18 c.l. (R-18 PROVIDED); ENGINEERED FLOOR w/ WOOD FINISH; INSULATED ENGINEERED FLOOR w/ SOFFIT, MIN. R-30 c.l. (R-30 PROVIDED); INSULATED BALCONY DECK, MIN. R-38 c.l. (R-38 PROVIDED); EXTERIOR BALCONY DECK.

ARCHITECTURAL ROOF ASSEMBLIES

Table with columns: TAG, GRAPHIC, ASSEMBLY. Rows include: STANDING SEAM MONO-SLOPE ROOF, MIN. R-35 c.l. (R-35 PROVIDED); EPDM FLAT ROOF, MIN. R-35 c.l. (R-35 PROVIDED).

NOTES:
1. ALL WALLS NOTED TO HAVE AN FRR RATING ARE TO EXTEND TO THE US FLOOR ABOVE WITH ALL PENETRATIONS SEALED W/ FIRE CALKING.
2. FIRESTOP ALL VERTICAL AND HORIZONTAL FIRE SEPARATIONS TO TESTED INSTALLATIONS UNLESS NOTED OTHERWISE.
3. ALL WALLS NOTED TO HAVE AN STC RATING ARE TO EXTEND TO THE US FLOOR ABOVE W/ ALL JUNCTIONS & PENETRATIONS ACOUSTICALLY SEALED.
4. ALL GYPSUM WALLS ADJACENT TO WET AREAS ARE TO BE MOISTURE RESISTANT.



Table with columns: NO., DATE, BY, DESCRIPTION. Row 1: 2, 11 FEB 2024, SH, REVISED FOR SPA.

Table with columns: NO., DATE, BY, DESCRIPTION. Row 1: 1, 02 DEC 2024, SH, RE-ISSUED FOR SPA.

Table with columns: NO., DATE, BY, DESCRIPTION. Row 1: 2, 21 JAN 2025, SH, ISSUED FOR PERMIT.

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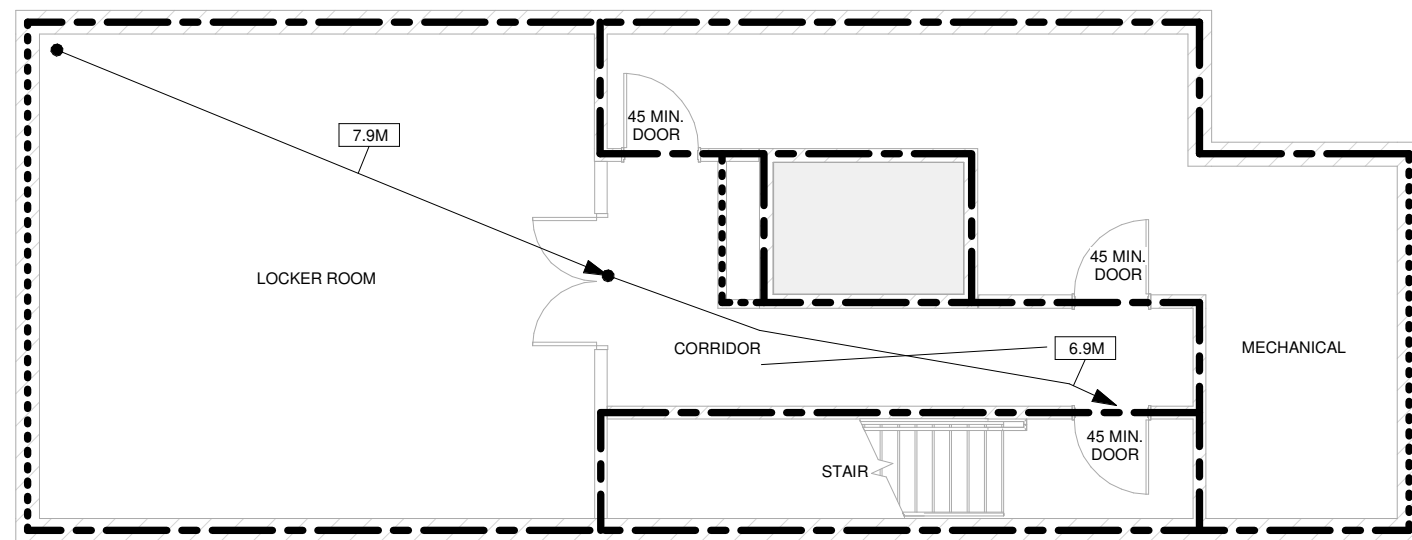
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MERIVALE APARTMENT
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OTTAWA ON
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MARC AMYOT

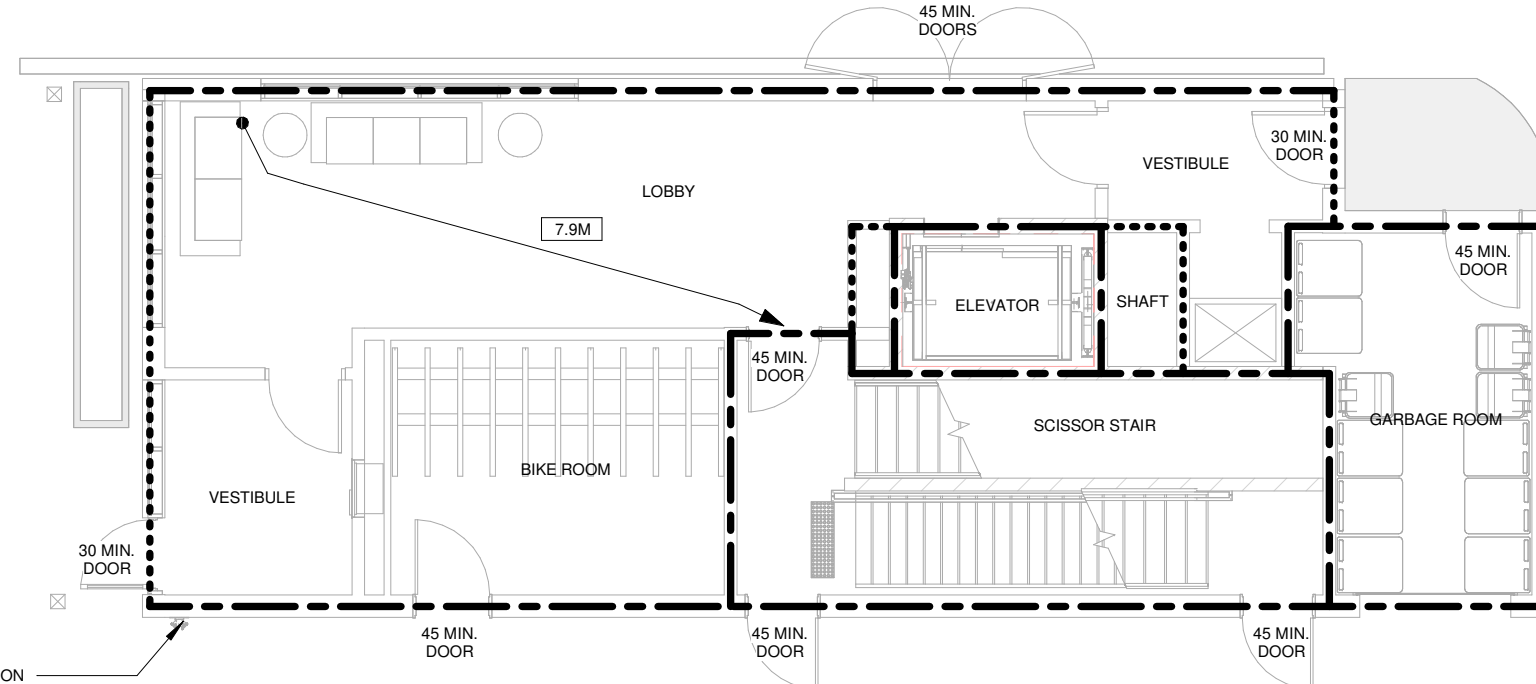
2301 PROJECT 1 : 20 SCALE
DS, SH DRAWN
SH REVIEWED

ARCHITECTURAL ASSEMBLIES
A005

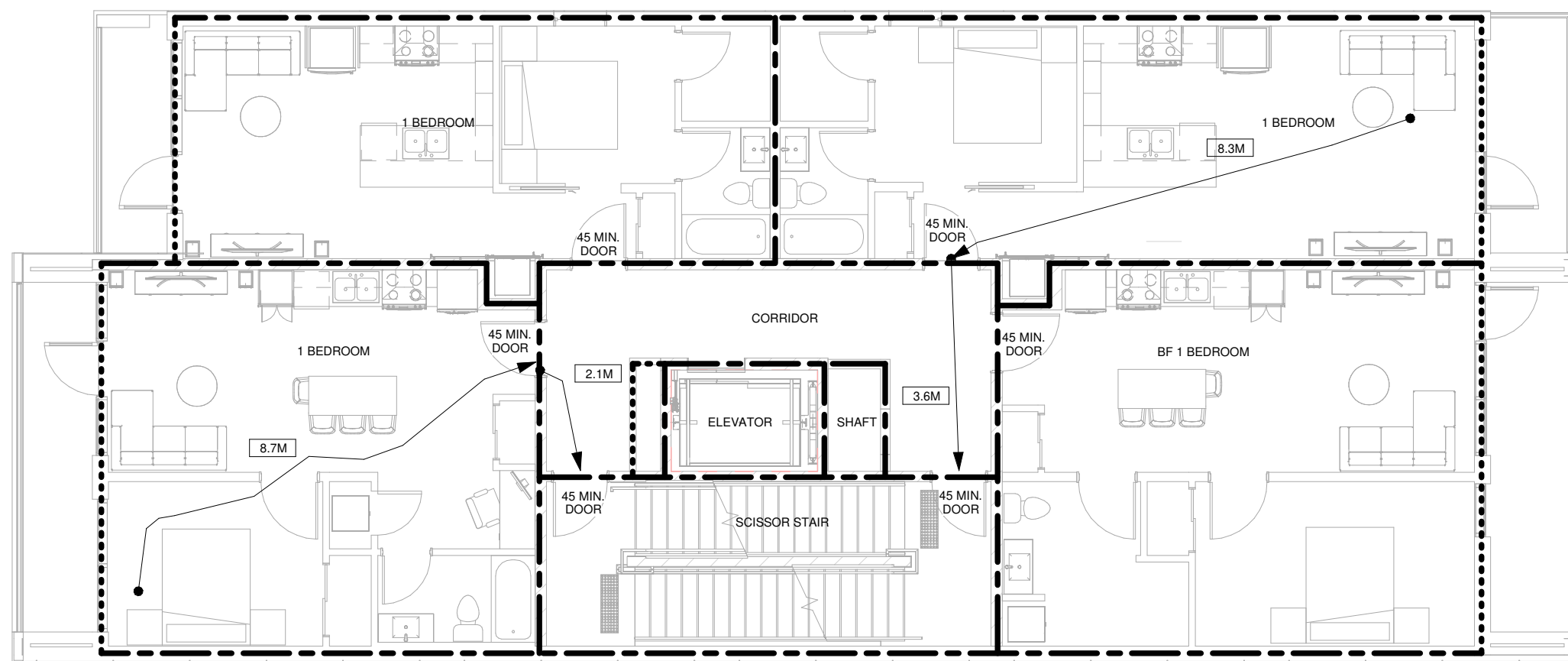
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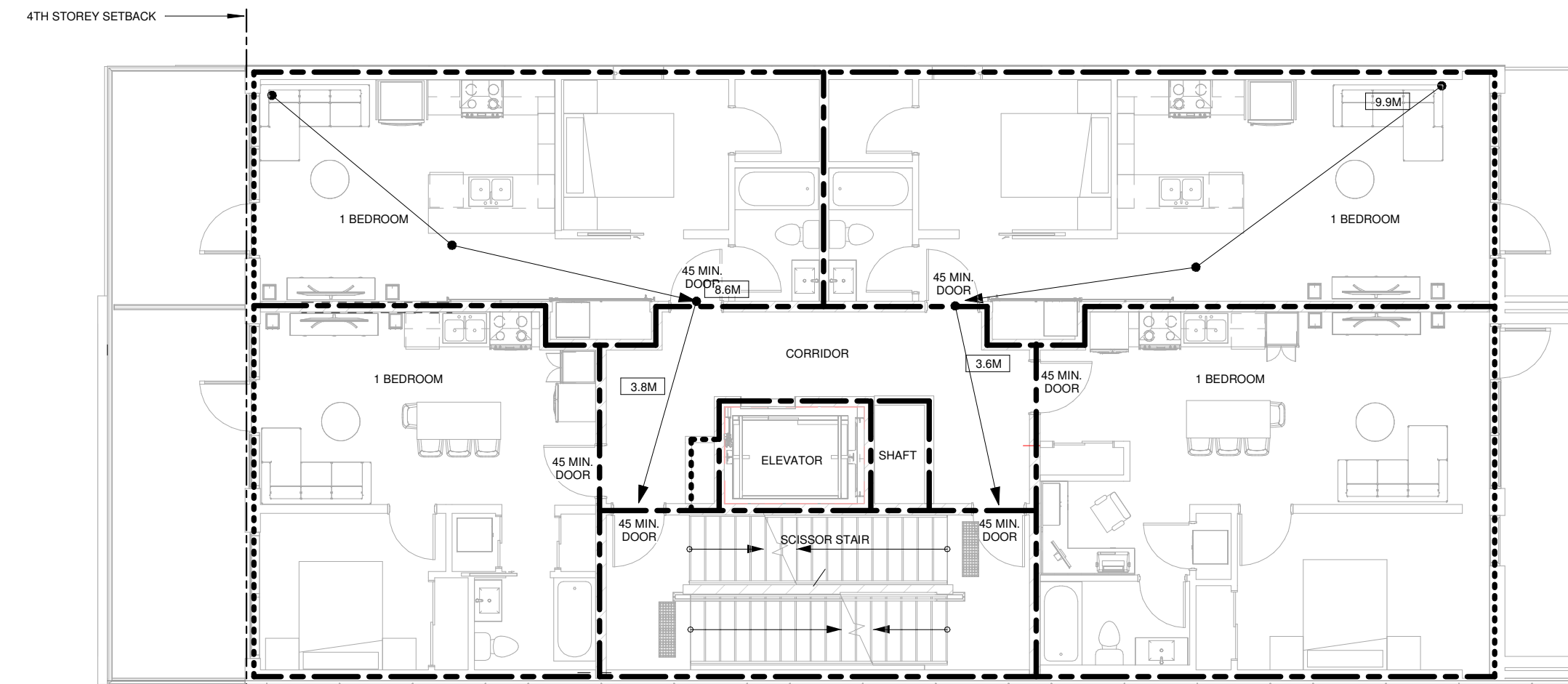
1 BASEMENT LEVEL FLS PLAN
A006 1:100



2 FIRST LEVEL FLS PLAN
A006 1:100



3 FLS PLAN - LEVELS 2-4
A006 1:100



4 FIFTH LEVEL FLS PLAN
A006 1:100

FLOOR SAFETY LEGEND :

SYMBOL	DESCRIPTION
	DENOTES AREA NOT IN CONTRACT
	DISTANCE BETWEEN EGRESS XX MIN.
	FIRE HOSE COVERAGE MAX. (75 FT) + (10 FT) STREAM = 85 OR MAX. 10FT + 10FT STREAM = 110FT
	TRAVEL DISTANCE TO EXIT MAX. 25 m (82'7")
	EGRESS DOOR W/ CLOSURE & POSITIVE LATCH (MIN. 45 MIN. LABEL, STEEL FRAME W/ CLOSURE OR EXISTING) BY OTHERS
	DENOTES LOCATION OF EXIT
	FIRST AID STATION
	DENOTES FIRE HOSE CABINET
	1,800 mm X 1,800 mm (7'11" X 7'11") UNOBSTRUCTED SPACE LOCATED AT EVERY 30 m (98' 4") IF THE CORRIDOR IS LESS THAN 1,600 mm (52') IN WIDTH
	DENOTES 45 MINUTE FIRE RATING PERIMETER
	DENOTES 1 HOUR FIRE RATING PERIMETER

NOTES

PUBLIC / MAJOR CORRIDORS
ALL PUBLIC AND MAJOR CORRIDORS WIDTH TO BE A MINIMUM OF 3'-7" (1,100 mm). 3'-0" TO 3'-6" RECOMMENDED

CORRIDOR LENGTHS
THE MAXIMUM CORRIDOR LENGTH WITH A WIDTH OF 3'-7" (1,100 mm) SHALL BE 29'-6" (9 M)

FLAME SPREAD RATING CLASSIFICATION FOR INTERIOR FINISHES:

ITEM	FLAME SPREAD RATING
-CEILING	25 FSR MAXIMUM
-PUBLIC CORRIDOR WALLS	75 FSR MAXIMUM
- WORKSTATIONS / MOVABLE PARTITIONS - WALLCOVERING - PAINT - WOOD VENEER - PLASTIC LAMINATE - CARPET	150 FSR MAXIMUM
- VINYL FLOORING - WOOD FLOORING	300 FSR MAXIMUM

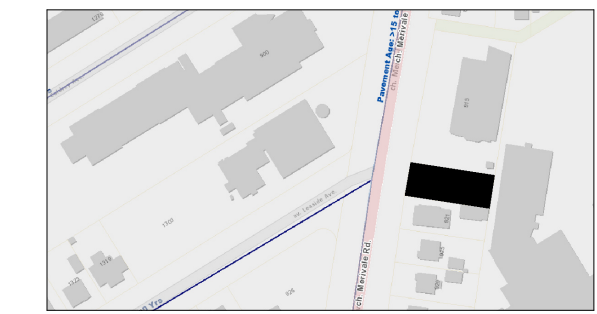
PATH OF TRAVEL SCHEDULE

MARK	LENGTH
7.5M	7879
8.3M	8541
8.7M	8680
9.9M	9812
9.9M	9892
7.5M	8066
7.9M	7884
8.9M	8680
2.1M	2070
3.6M	3575
3.6M	3710
3.6M	3632
3.6M	3600
3.7M	3634
3.7M	3630

2012 ONTARIO BUILDING CODE - DATA MATRIX

NO.	ITEM	DESCRIPTION	CODE REFERENCE
1	PROJECT DESCRIPTION	<input checked="" type="checkbox"/> NEW CONST. <input type="checkbox"/> ALTERATION <input type="checkbox"/> TENANT FITUP <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> OTHER	PART 3 // PART 9
2	MAJOR OCCUPANCY(S) PROPOSED	GROUP C, UP TO 6 STOREYS, SPRINKLERED, COMBUSTIBLE CONSTRUCTION	3.2.2.43A 9.10.1.3.
3	BUILDING AREA	TOTAL COMPLEX BUILDING AREA: 243 m ² PROPOSED RENOVATION AREA: - m ²	3.2.2.43.(1)(d)(v) 1.4.1.2.
4	GROSS AREA (Above Grade)	TOTAL COMPLEX GROSS FLOOR AREA: 1410 m ² PROPOSED RENOVATION AREA: - m ²	1.4.1.2.
5	NUMBER OF STOREYS (Existing Building)	ABOVE GRADE: 6 BELOW GRADE: 1	1.4.1.2. & 3.2.1.1.
6	NUMBER OF STREETS / ACCESS ROUTES	1 STREET - MERIVALE RD	3.2.2.10., & 3.2.5.
7	BUILDING CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED, COMBUSTIBLE CONSTRUCTION	3.2.2.43A., 9.10.2.
8	SPRINKLER SYSTEM PROPOSED	YES	3.2.2.18., 3.2.2.43A., 3.2.4.7.(2), 3.2.4.9.(2), 3.2.5.13., & NFPA 13
9	STANDPIPE REQUIRED	YES	3.2.9.1.(1), 3.2.9.2., 3.2.9.3.(1), 3.2.9.4., & NFPA 14-2007
10	FIRE ALARM REQUIRED	YES	3.2.4.1.
11	WATER SERVICE / SUPPLY IS ADEQUATE	TBC BY ENGINEER	3.2.5.7.
12	HIGH BUILDING	NO, TOP FLOOR IS LESS THAN 18M ABOVE GRADE	3.2.6.1.(1)(d)
13	CONSTRUCTION RESTRICTIONS	PERMITTED CONSTRUCTION: COMBUSTIBLE W/ NON-COMBUSTIBLE CLADDING ACTUAL CONSTRUCTION: COMBUSTIBLE W/ NON-COMBUSTIBLE CLADDING	3.2.2.43A
14	MEZZANINE(S) AREA (sqm)		N/A
15	OCCUPANT LOAD BASED ON BUILDING CODE AREA PER SQUARE METRE	AS PER 3.1.17.1 1 (b), (i) BACHELOR UNITS = 1 PERSON PER UNIT (X10) 1 BEDROOM UNITS = 2 PERSONS PER UNIT (X10) 2 BEDROOM LOFT = 4 PERSONS PER UNIT (X1) TOTAL NUMBER OF OCCUPANTS: 34	3.1.17. & TABLE 3.1.17.1.
16	BARRIER-FREE DESIGN	YES	3.8.
17	HAZARDOUS SUBSTANCES	NO	3.3.1.2.
18	REQUIRED FIRE RESISTANCE RATING (FRR)	FLOORS: 1 HR ROOF: 1 HR LOADBEARING WALLS: 1 HR DEMISING UNIT WALLS: 1 HR VERTICAL SERVICE SHAFTS: 45min	3.3.1.1., 3.3.4.2., 9.10.8., 9.10.9.
19	SPATIAL SEPARATION		3.2.3.
20	PLUMBING FIXTURE REQUIREMENTS	WATER CLOSETS PROVIDED PER DWELLING UNIT TOTAL 20 WATER CLOSETS OCCUPANT LOAD 34 RESIDENTS WATER CLOSETS REQUIRED MALE FEMALE WATER CLOSETS PROVIDED MALE FEMALE	3.7.4.3. 3.7.4.2(3); URINALS SUBSTITUTED FOR WATER CLOSET IN MEN'S
21	TRAVEL DISTANCE	TO EXIT 37m / 50m MAX.	3.4.2.4
22	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		

WALL	AREA OF EBF (m ²)	L.D. (m)	PERM. MAX % OPENINGS	PROP. % OPENINGS	FRR (hrs)	LIST DESIGN	COMB. CONST.	COMB. CONST. NONC. CLAD.	NON-COMB. CONST.
NORTH	555	1.2	14	6.3	1 hr	-	-	YES	-
SOUTH	459	1.2	14	3.5	1 hr	-	-	YES	-
EAST	215	8.29	82	61.2	45 min	-	-	YES	-
WEST	215	14.8	100	49.7	45 min	-	-	YES	-



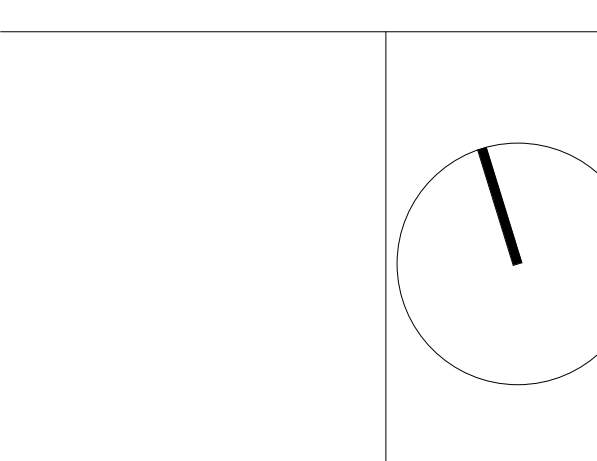
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MERIVALE APARTMENT
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OTTAWA ON
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MARC AMYOT

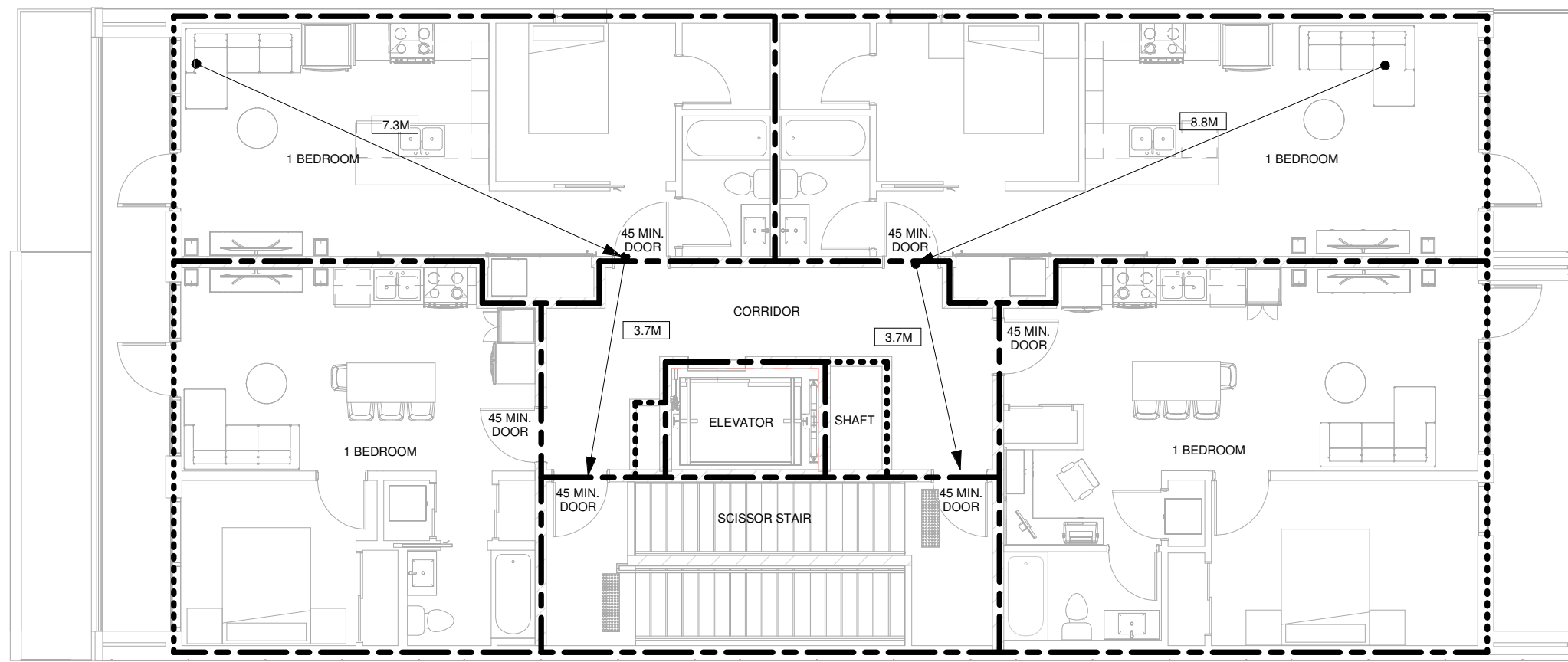
2301 As indicated
PROJECT SCALE
DS / SH
DRAWN
SH
REVIEWED

LIFE & SAFETY PLAN

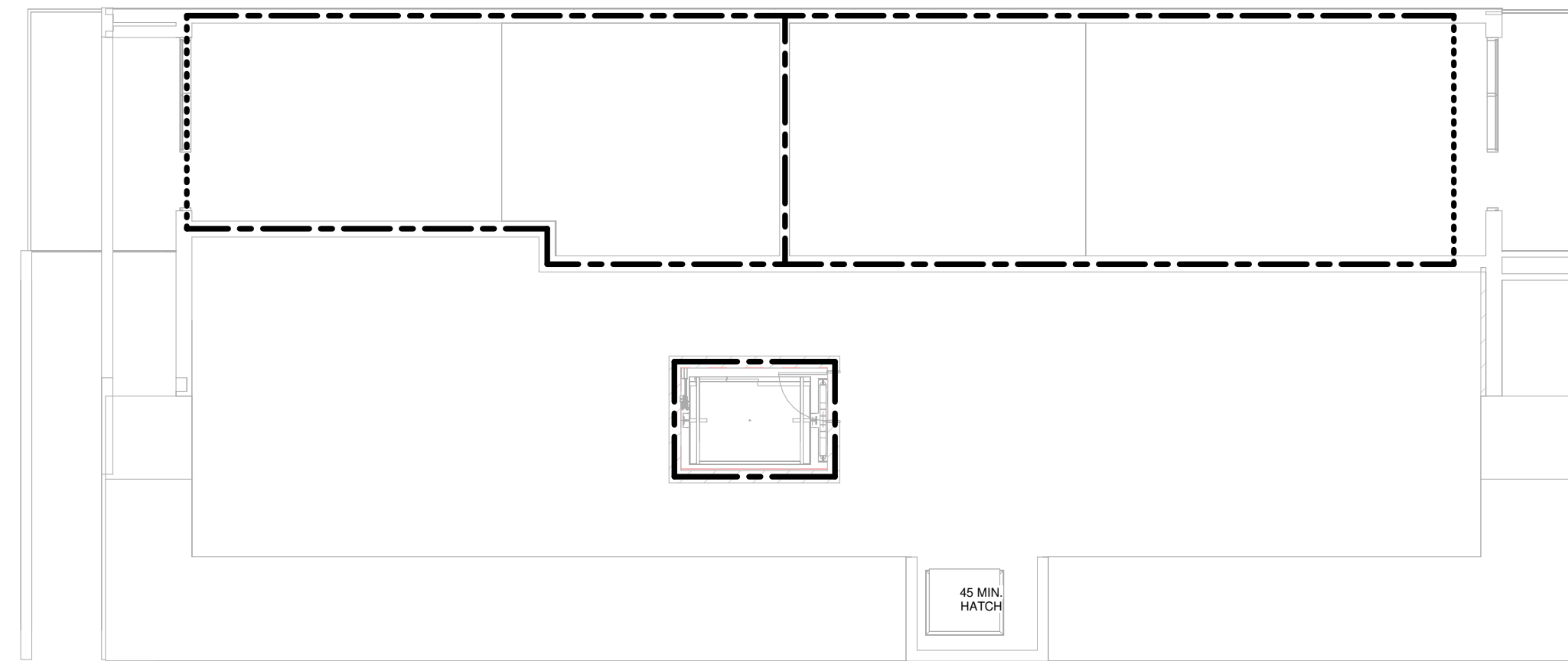
A006

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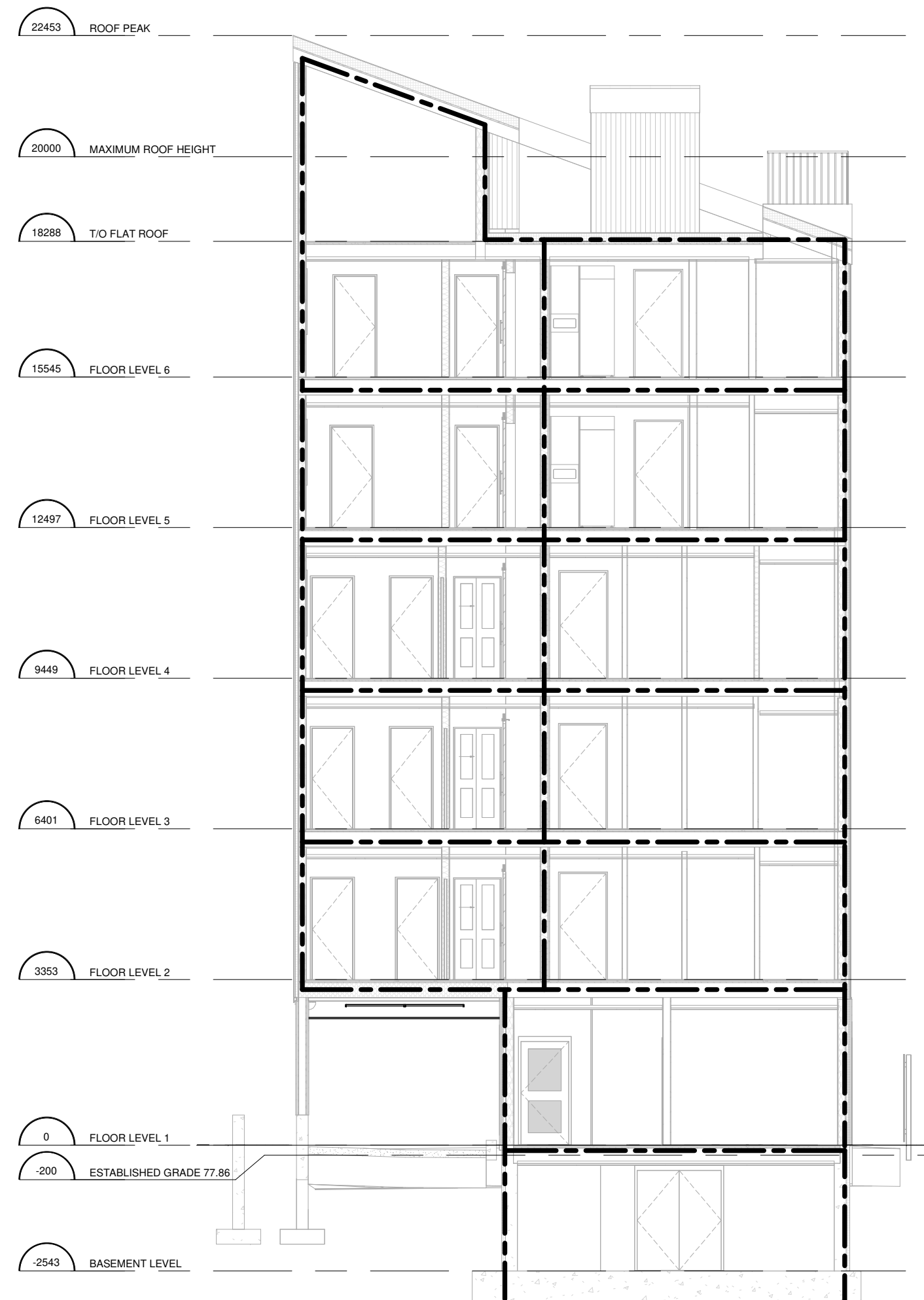
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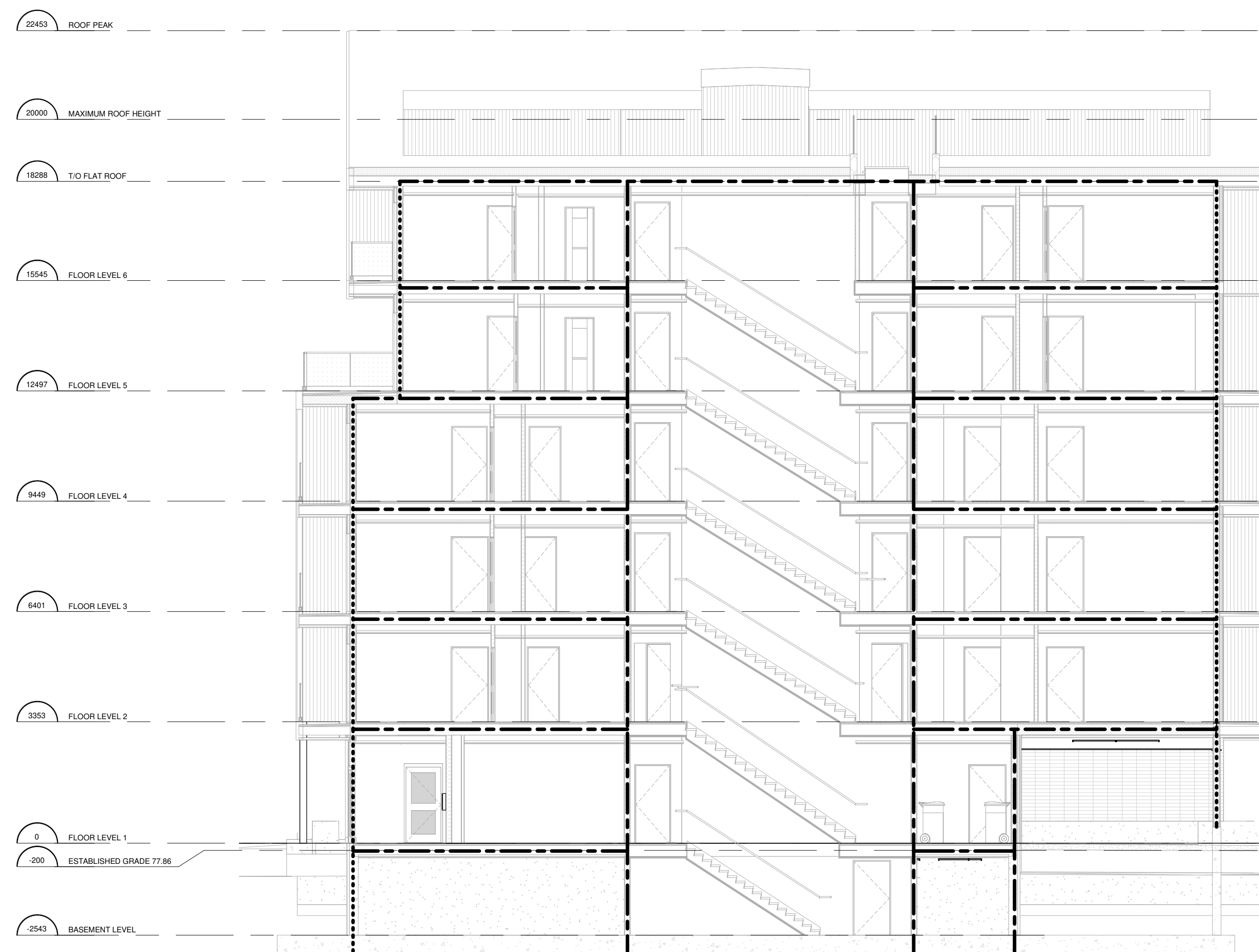
2 SIXTH LEVEL FLS PLAN
A007 1 : 100



1 FLAT ROOF FLS PLAN
A007 1 : 100



3 NORTH/SOUTH FLS SECTION
A007 1 : 100



4 EAST/WEST FLS SECTION
A007 1 : 100

FLOOR SAFETY LEGEND :	
SYMBOL	DESCRIPTION
	DENOTES AREA NOT IN CONTRACT
	DISTANCE BETWEEN EGRESS XX MIN.
	FIRE HOSE COVERAGE MAX. (75 FT + (10 FT) STREAM + 85' OR MAX. 100FT + 10FT STREAM + 110FT
	TRAVEL DISTANCE TO EXIT MAX. 45m
	EGRESS DOOR W/ CLOSURE & POSITIVE LATCH (MIN. 45 MIN. LABEL STEEL FRAME W/ CLOSURE OR EXISTING) BY OTHERS
	DENOTES LOCATION OF EXIT
	FIRST AID STATION
	DENOTES FIRE HOSE CABINET
	1,800 mm X 1,800 mm (7'1" X 7'1") UNOBSTRUCTED SPACE LOCATED AT EVERY 30 m (98'-6") IF THE CORRIDOR IS LESS THAN 1,800 mm (5'7") W WIDTH
	DENOTES 45 MINUTE FIRE RATING PERIMETER
	DENOTES 1 HOUR FIRE RATING PERIMETER
	DENOTES 1.5 HOUR FIRE RATING PERIMETER
	DENOTES 2 HOUR FIRE RATING PERIMETER

NOTES
 PUBLIC MAJOR CORRIDORS
 ALL PUBLIC AND MAJOR CORRIDORS WIDTH TO BE A MINIMUM OF 3'-7" (1,100 mm), 5'-0" TO 5'-6" RECOMMENDED
 CORRIDOR LENGTHS
 THE MAXIMUM CORRIDOR LENGTH WITH A WIDTH OF 3'-7" (1,100 mm) SHALL BE 29'-6" (9 M)

FLAME SPREAD RATING CLASSIFICATION FOR INTERIOR FINISHES:	
ITEM	FLAME SPREAD RATING
-CEILING	25 FSR MAXIMUM
-PUBLIC CORRIDOR WALLS	75 FSR MAXIMUM
-WORKSTATIONS / MOBILE PARTITIONS - WALL COVERING - PAINT - WOOD VENEER - PLASTIC LAMINATE - CARPET	150 FSR MAXIMUM
- VINYL FLOORING - WOOD FLOORING	300 FSR MAXIMUM

PATH OF TRAVEL SCHEDULE	
MARK	LENGTH
7.3M	7279
6.3M	6341
6.7M	6600
9.9M	9812
8.8M	8602
7.3M	7164
7.3M	7164
6.9M	6780
2.1M	2010
3.6M	3675
3.6M	3710
6.6M	6520
3.8M	3820
3.7M	3634
3.7M	3630



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MERIVALE APARTMENT
 917 MERIVALE RD
 OTTAWA ON
 for
 MARC AMYOT

2301 PROJECT SCALE
 1 : 100
 DS, SH DRAWN
 SH REVIEWED

LIFE & SAFETY PLAN

A007

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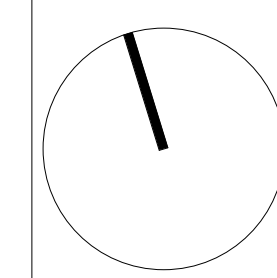
DEMOLITION LEGEND :	
SYMBOL	DESCRIPTION
	DENOTES AREA NOT IN CONTRACT
	DENOTES EXISTING WALL TO REMAIN
	DENOTES EXISTING WALL TO BE REMOVED, ALONG WITH ALL ASSOCIATED OUTLETS, WIRING & SKIMME
	DENOTES DOORS, FRAME & HARDWARE TO BE REMOVED
	DENOTES DOOR & FRAME TO REMAIN
	DENOTES EXISTING GLASS SIDELIGHT TO BE REMOVED
	DENOTES EXISTING ELECTRICAL DEVICES TO BE REMOVED AND/OR RELOCATED
	DENOTES EXISTING TO BE REMOVED AND RELOCATED
	DENOTES EXISTING TO REMAIN



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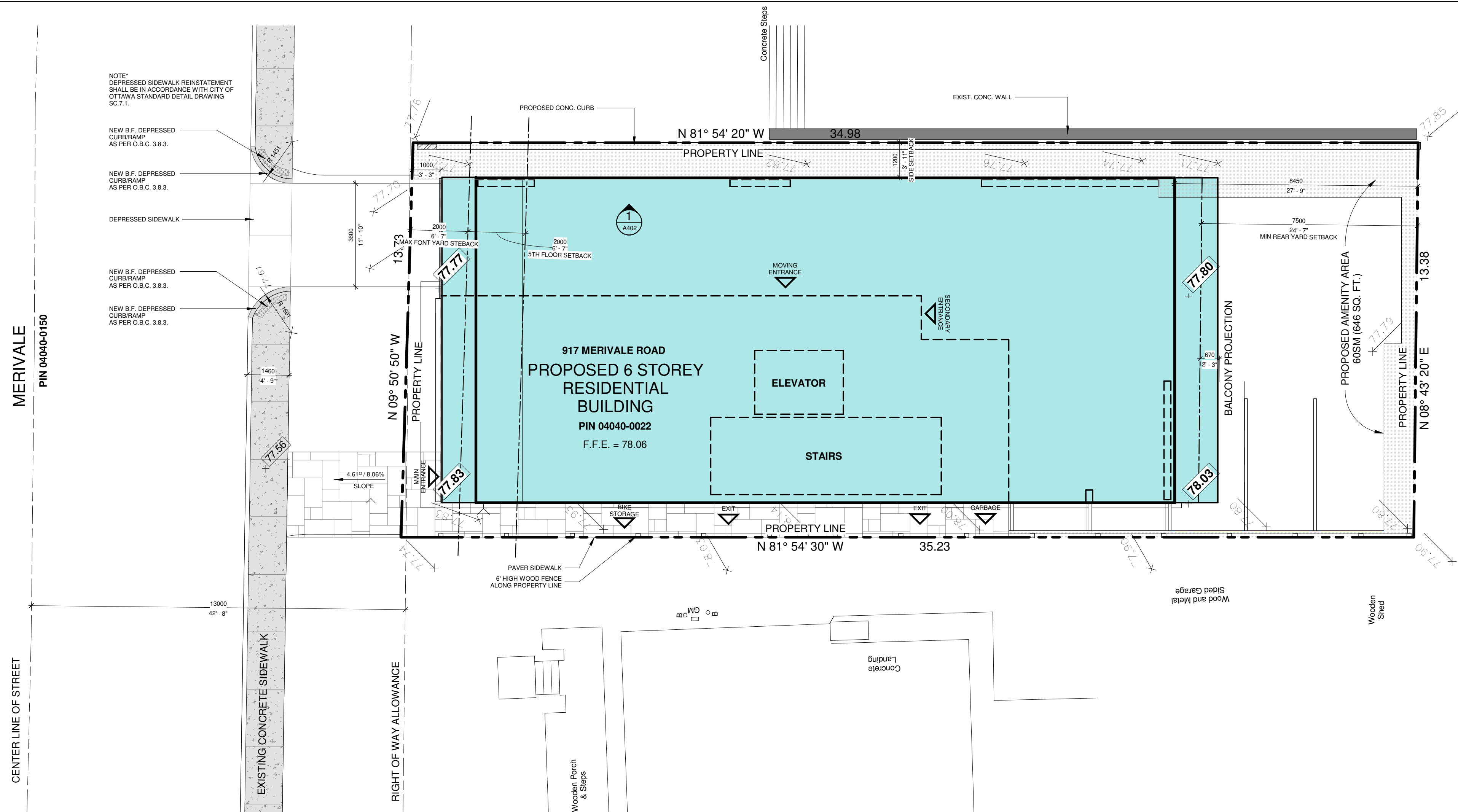
MERIVALE APARTMENT
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for
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DEMO SITE PLAN
A008

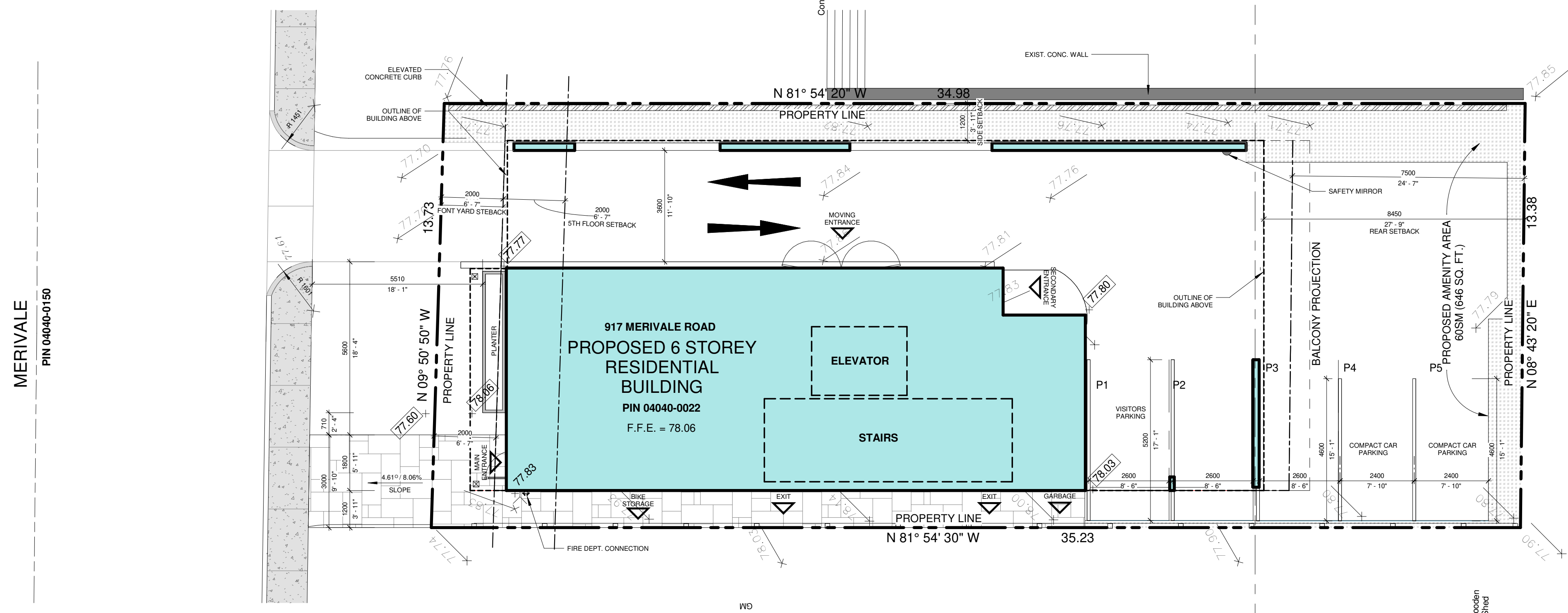
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1 DEMO SITE PLAN
A008 1 : 100



1 PROPOSED SITE PLAN
A009 1:100

NOTE*
PROPERTY / TOPOGRAPHIC INFORMATION
DERIVED FROM Survey No. 23142-23
PL268160 PROVIDED BY Annis, O'Sullivan,
Vollebakk Ltd.



3 GROUND LEVEL SITE PLAN / PARKING PLAN
A009 1:100

ZONING REQUIREMENTS - TM

EXISTING ZONING: TM[2190] Traditional Main Street Zone
PROPOSED ZONING: TM[2190] Traditional Main Street Zone

PARKING	REQUIRED	PROVIDED	COMPLIES Y/N
OFF-STREET PARKING	4	4	Y
VISITOR PARKING	1	1	Y
BARRIER FREE PARKING	0	0	Y
BICYCLE PARKING (0.5 PER UNIT)	10	22 (STACKED)	Y
SETBACKS			
FRONT YARD	MAX 2M	2M	Y
FRONT YARD ABOVE 15M	MIN 2M	2M	Y
REAR YARD	7.5M	8.4M	Y
SIDE YARD (NORTH)	1.2M	1.2M	Y
SIDE YARD (SOUTH)	1.2M	1.2M	Y
MAX HEIGHT TO ROOF MIDPOINT	20M	20M	Y
MINIMUM LOT WIDTH	0	13.73M	Y
BUILDING COVERAGE/AREA	N/A	50.5%	Y
TOTAL GFA	N/A	1,410 SM	Y
AMENITY SPACE AREA	6 SM PER UNIT = 120SM MIN 50% COMMON	BALCONY = 171 SM COMMON GF = 159 SM	Y
TOTAL NUMBER OF UNITS	N/A	20	Y
MIN LANDSCAPE BUFFER	0 - NOT ABUTTING A STREET	N/A	Y

SITE

ITEM	AREA	% TOTAL
LOT AREA	481.5 SM (5,183 SFT)	100%
BUILDING AREA	243 SM (2,622 SFT)	50.5%
GROSS FLOOR AREA	1,410 SM (15,182 SFT)	
ASPHALT/CONC. AREA	168.5 SM (1,813 SFT)	35%
LANDSCAPED AREA	REAR LOT AREA 70 SM (750 SFT)	14.5%

UNIT

LEVEL	STUDIO	1 BED	2 BED	TOTAL	FLOOR AREA
BASEMENT	0	0	0	0	129 SM (1390 SFT)
MAIN FLOOR	0	0	0	0	130 SM (1402 SFT)
2ND FLOOR	0	4	0	4	259 SM (2790 SFT)
3RD FLOOR	0	4	0	4	259 SM (2790 SFT)
4TH FLOOR	0	4	0	4	259 SM (2790 SFT)
5TH FLOOR	0	4	0	4	251 SM (2705 SFT)
6TH FLOOR	0	4	0	4	251 SM (2705 SFT)
TOTAL	0	20	0	20	1410 SM (15,182 SFT) A.G.

PARKING

USAGE	COUNT	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	COMPLIES (Y/N)
STUDIOS*					Y
1 BED*	20	0-12 UNITS = 0 13-20 UNITS = 0.5	4	4	Y
2 BED					Y
BF SPOTS					Y
VISITOR		0-12 UNITS = 0 13-20 UNITS = 0.1	1	1	Y
TOTAL	20		5	5	Y

ESTABLISHED GRADE ELEVATION DATA

BUILDING CORNER	ELEVATION	CALCULATION
NORTH WEST CORNER	77.77	77.77 + 77.80 + 78.03 + 77.83 = 311.43
NORTH EAST CORNER	77.80	
SOUTH EAST CORNER	78.03	311.43 / 4 = 77.8575
SOUTH WEST CORNER	77.83	
AVERAGE GRADE ELEVATION		AVG ELEV. = 77.86

WASTE MANAGEMENT DATA

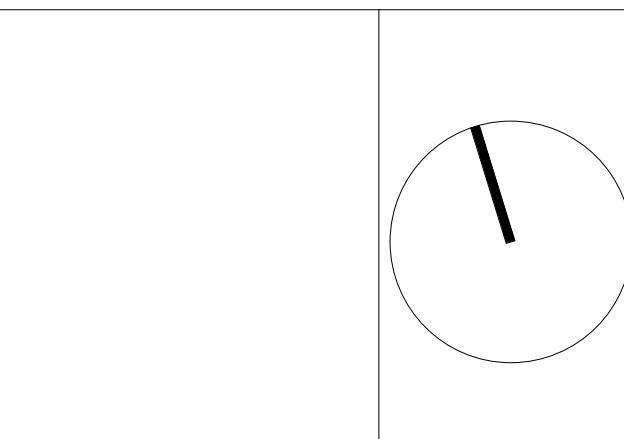
USAGE	WASTE TYPE	REQ. CY	BINS PROVIDED	COMPLIES (Y/N)
GARBAGE	LOOSE	0.11 CY/UNIT = 3	4 x 360L	Y
RECYCLING	LOOSE	0.038 CY/UNIT = 1	4 x 360L	Y
ORGANIC	LOOSE	(1) 240L BIN PER 50 UNITS	3 x 240L	Y



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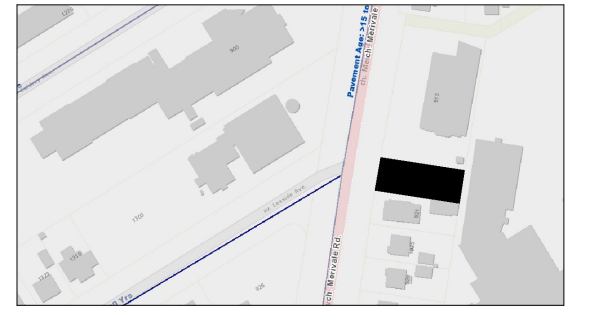
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PROPOSED SITE PLAN

A009

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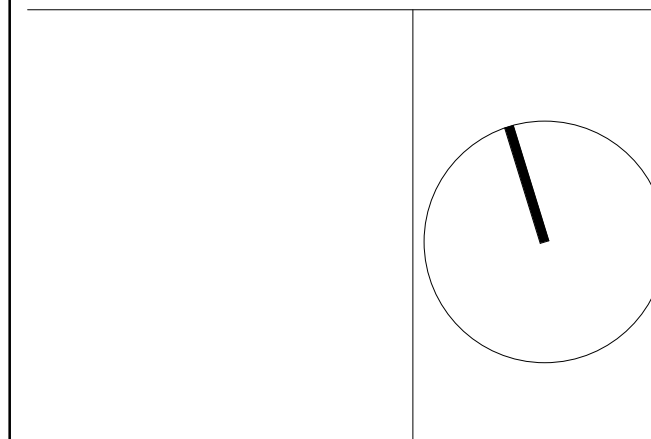
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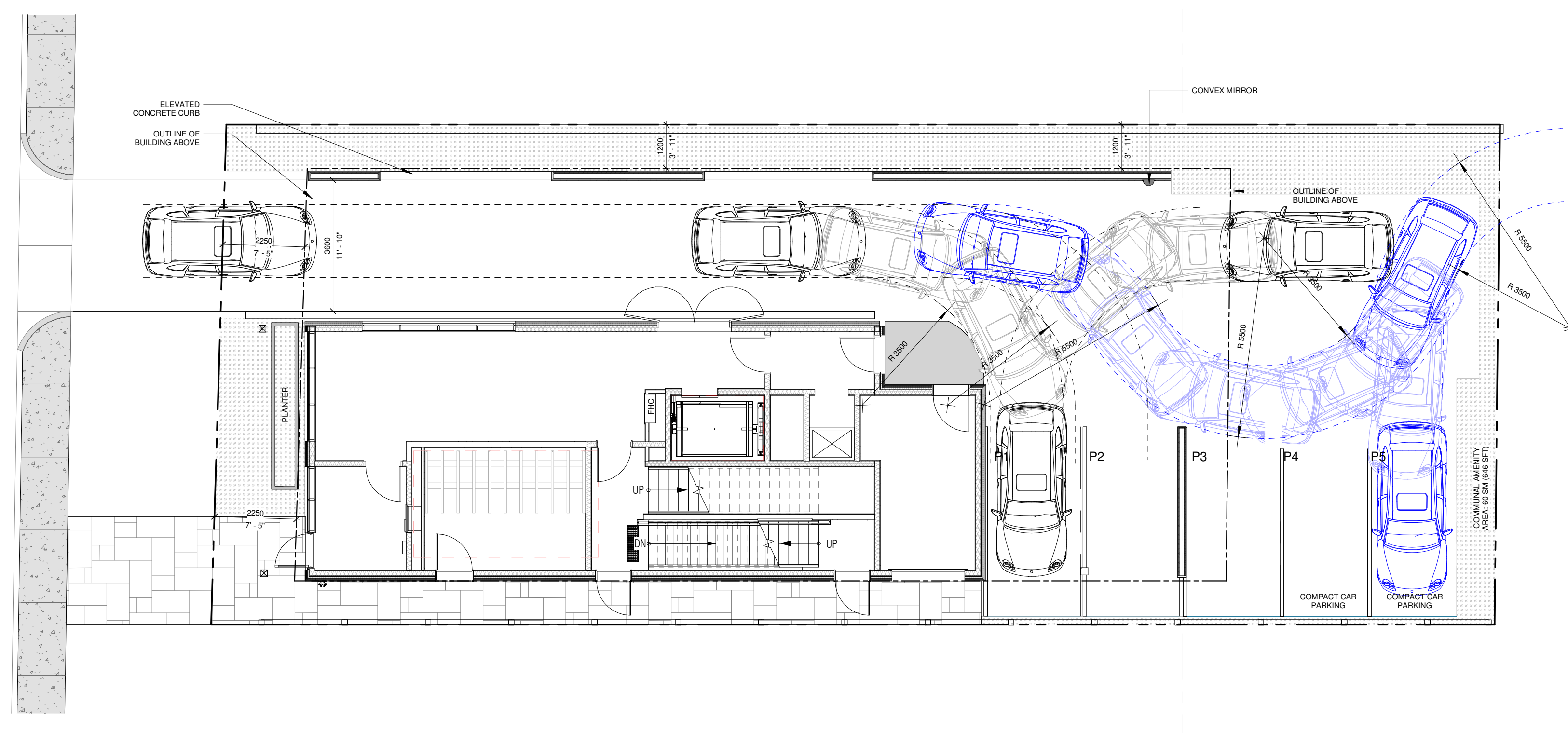
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VEHICLE TURNING PLAN

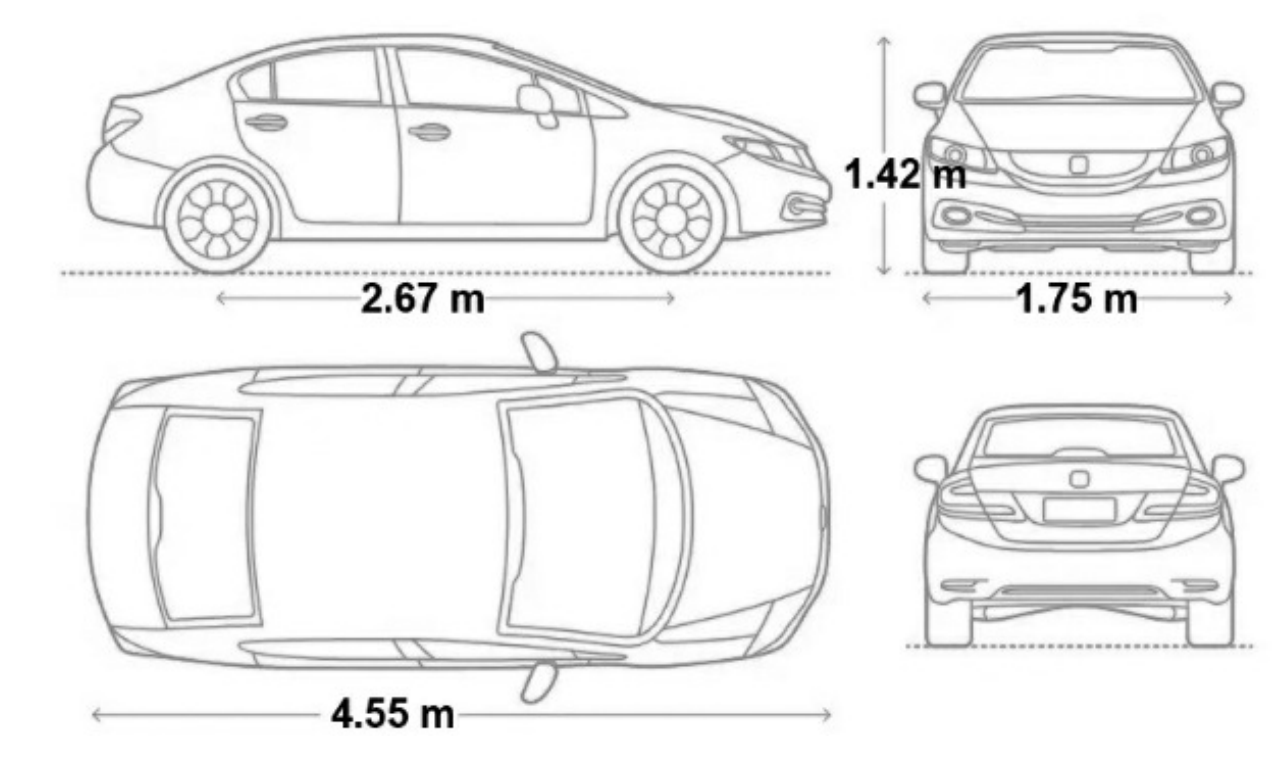
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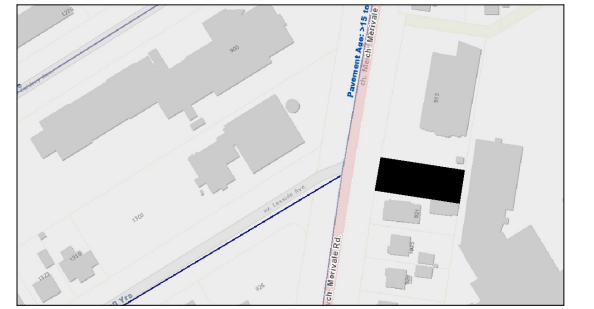
1 FIRST LEVEL VEHICLE TURNING - MID SIZED SEDAN
A010 1:100



2 TYP. VEHICLE DIMENSIONS
A010 1:25

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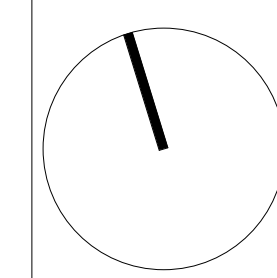
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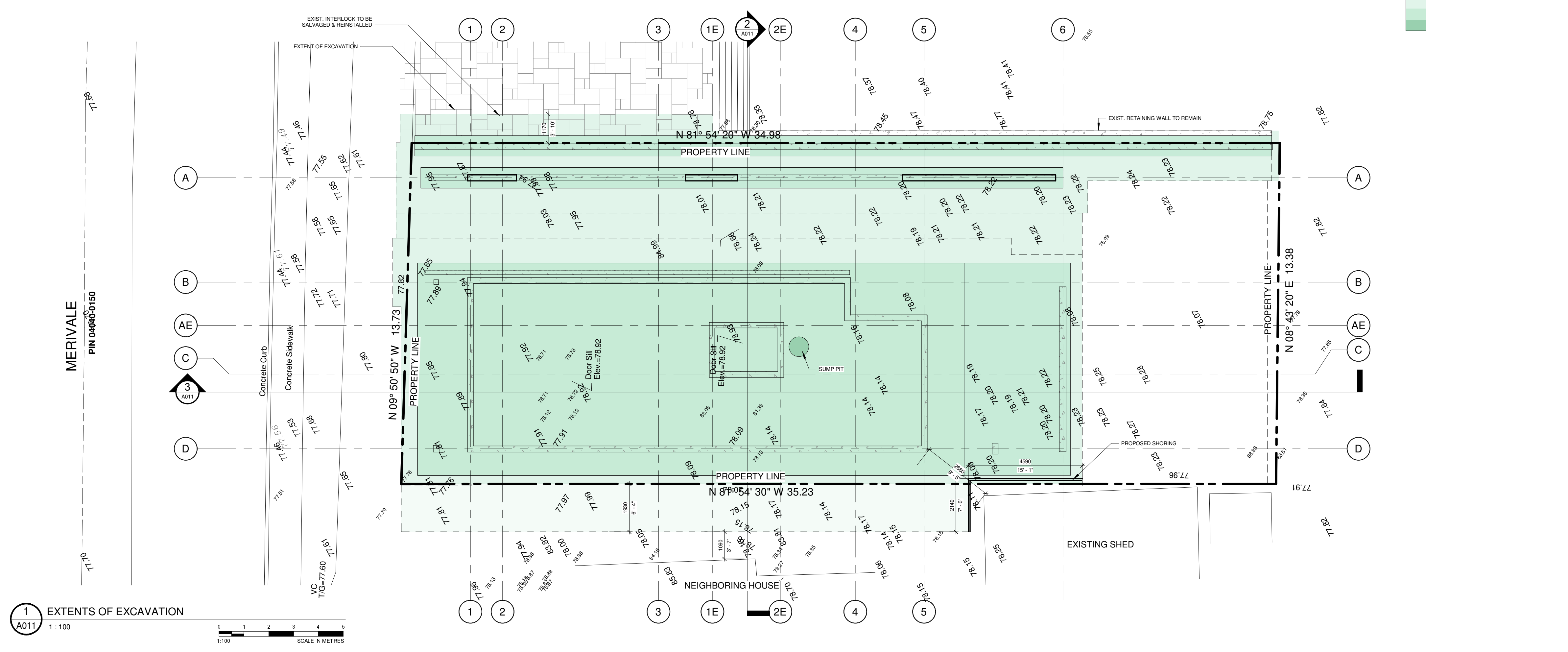
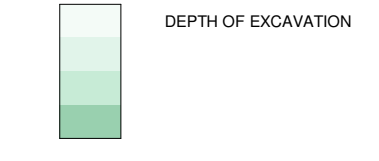
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EXCAVATION SITE PLAN

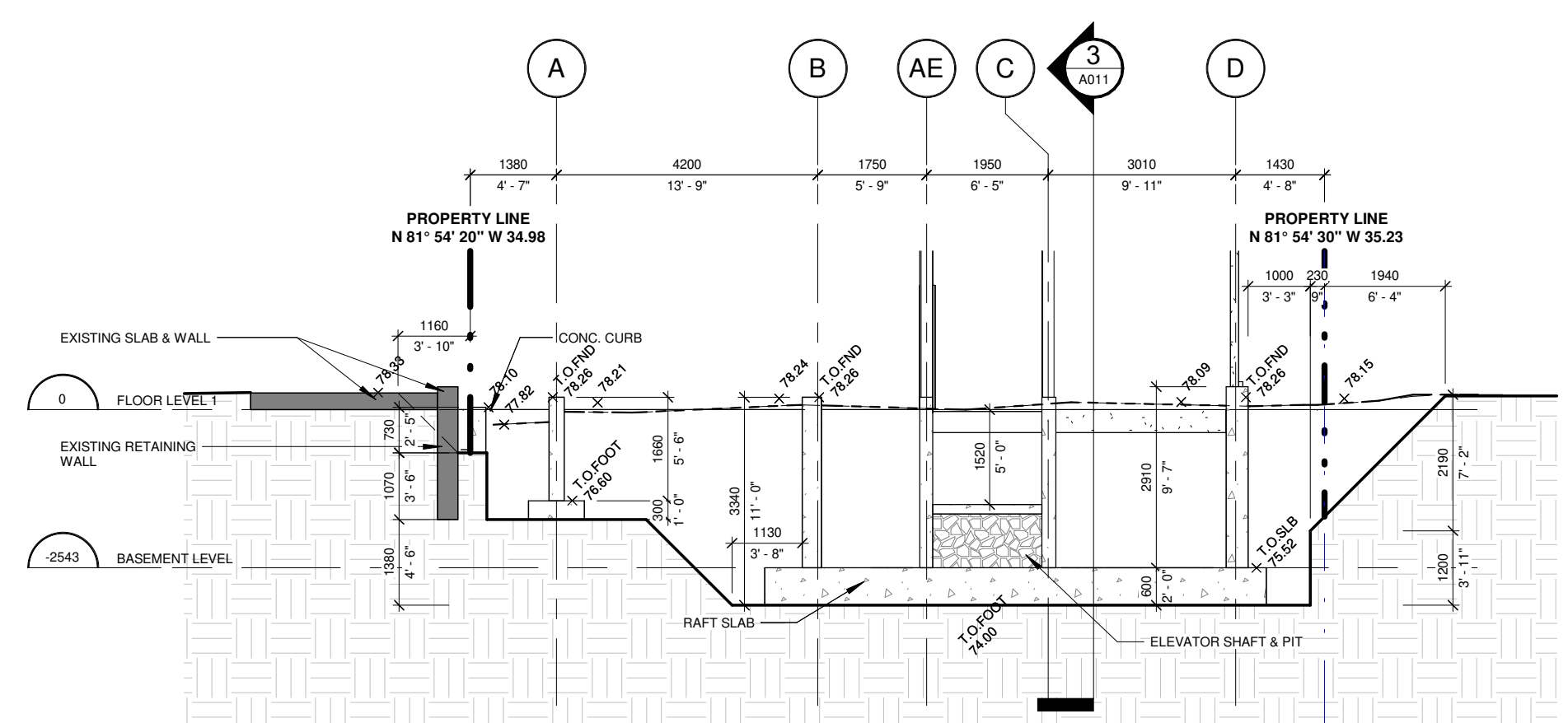
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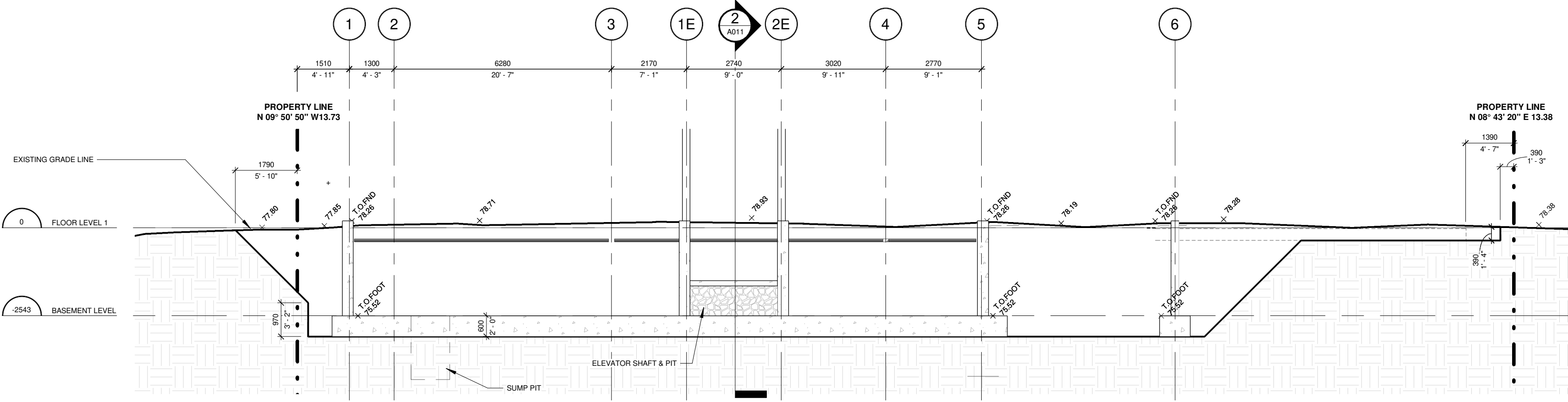
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1 EXTENTS OF EXCAVATION
 A011 1:100
 SCALE IN METRES



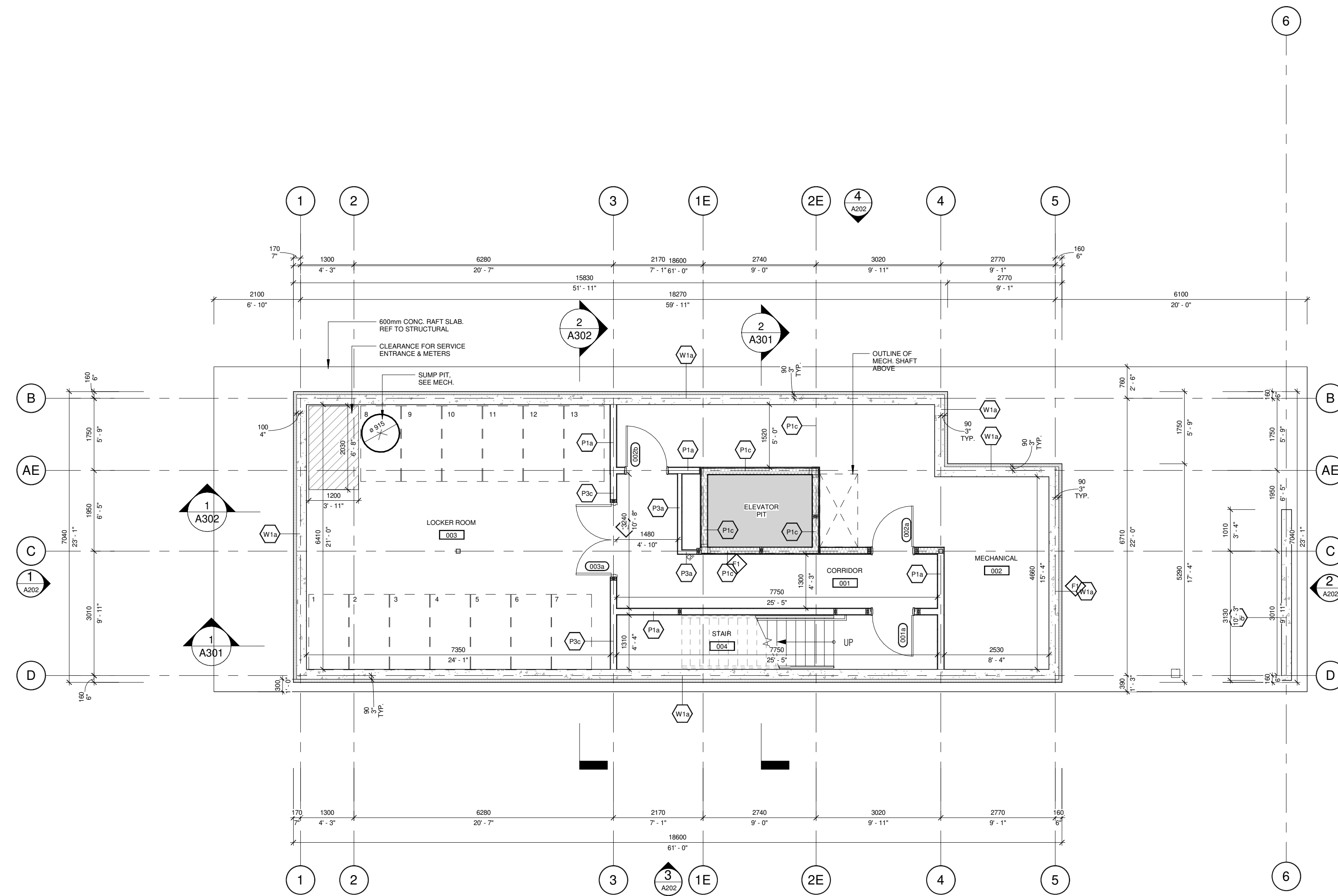
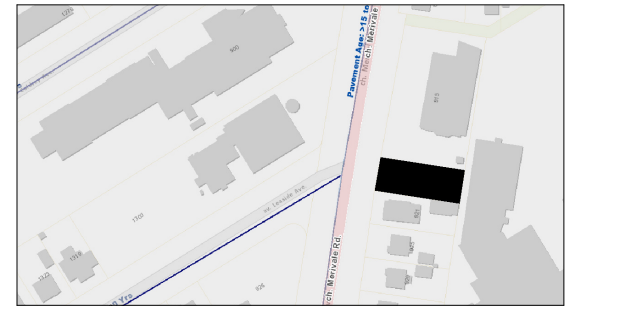
2 EXCAVATION SECTION 1
 A011 1:100



3 EXCAVATION SECTION 2
 A011 1:100

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1 BASEMENT LEVEL FLOOR PLAN
A100 1:75

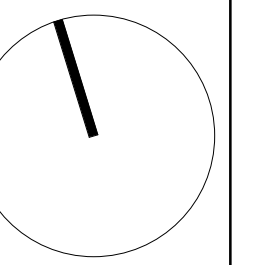
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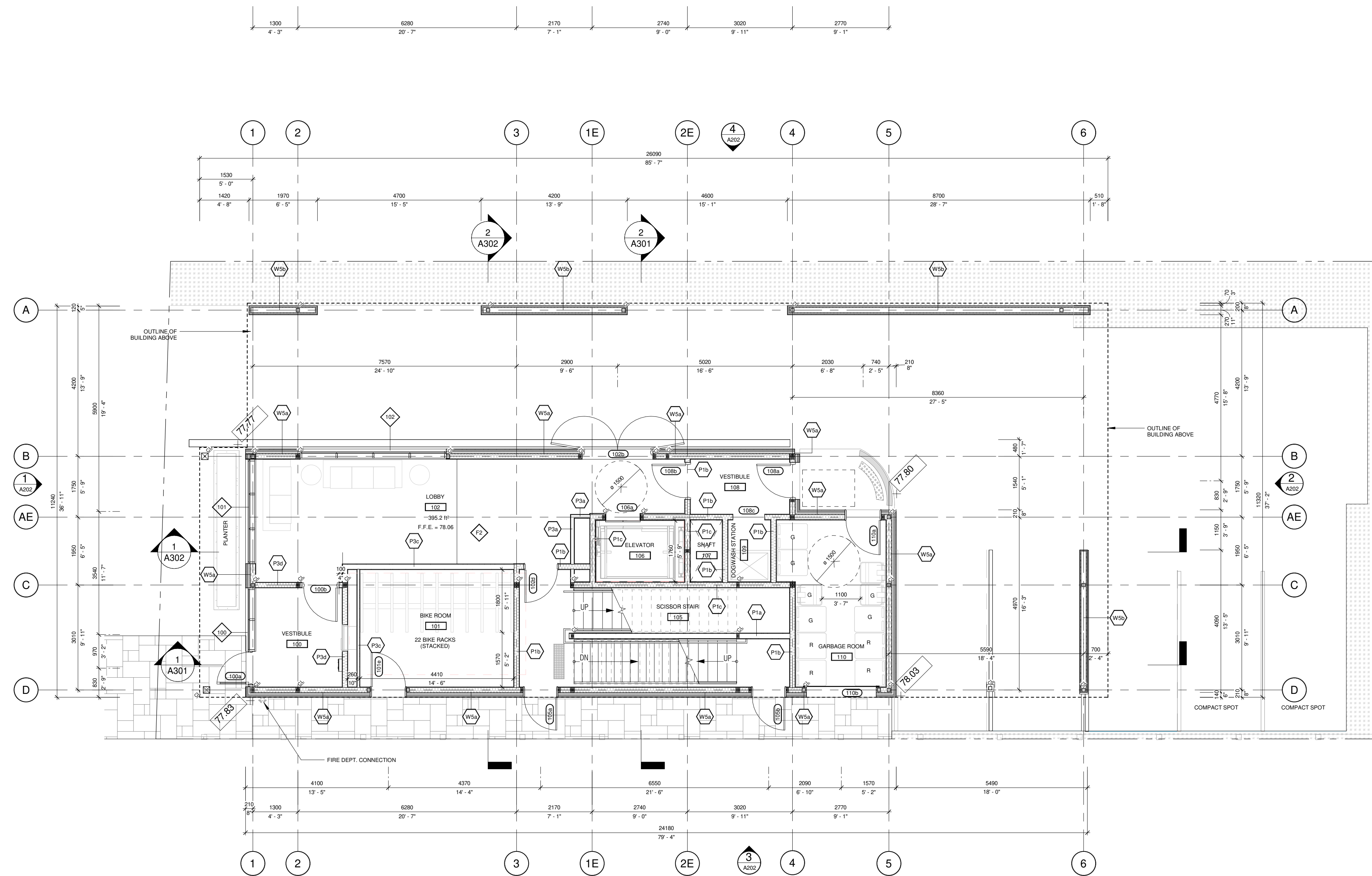
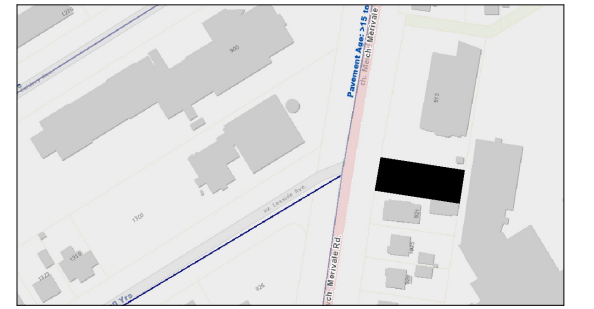
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BASEMENT PLAN

A100

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1
A101 FIRST LEVEL FLOOR PLAN
1 : 75

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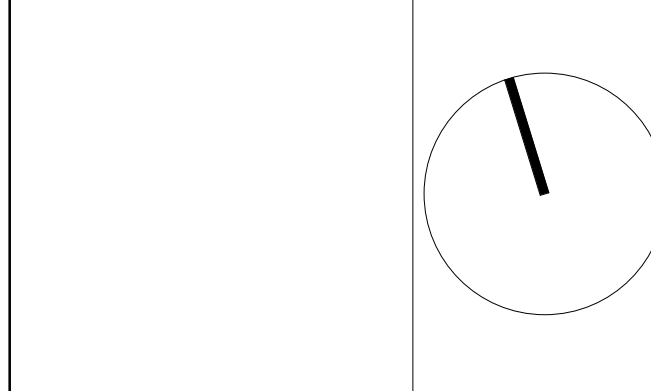
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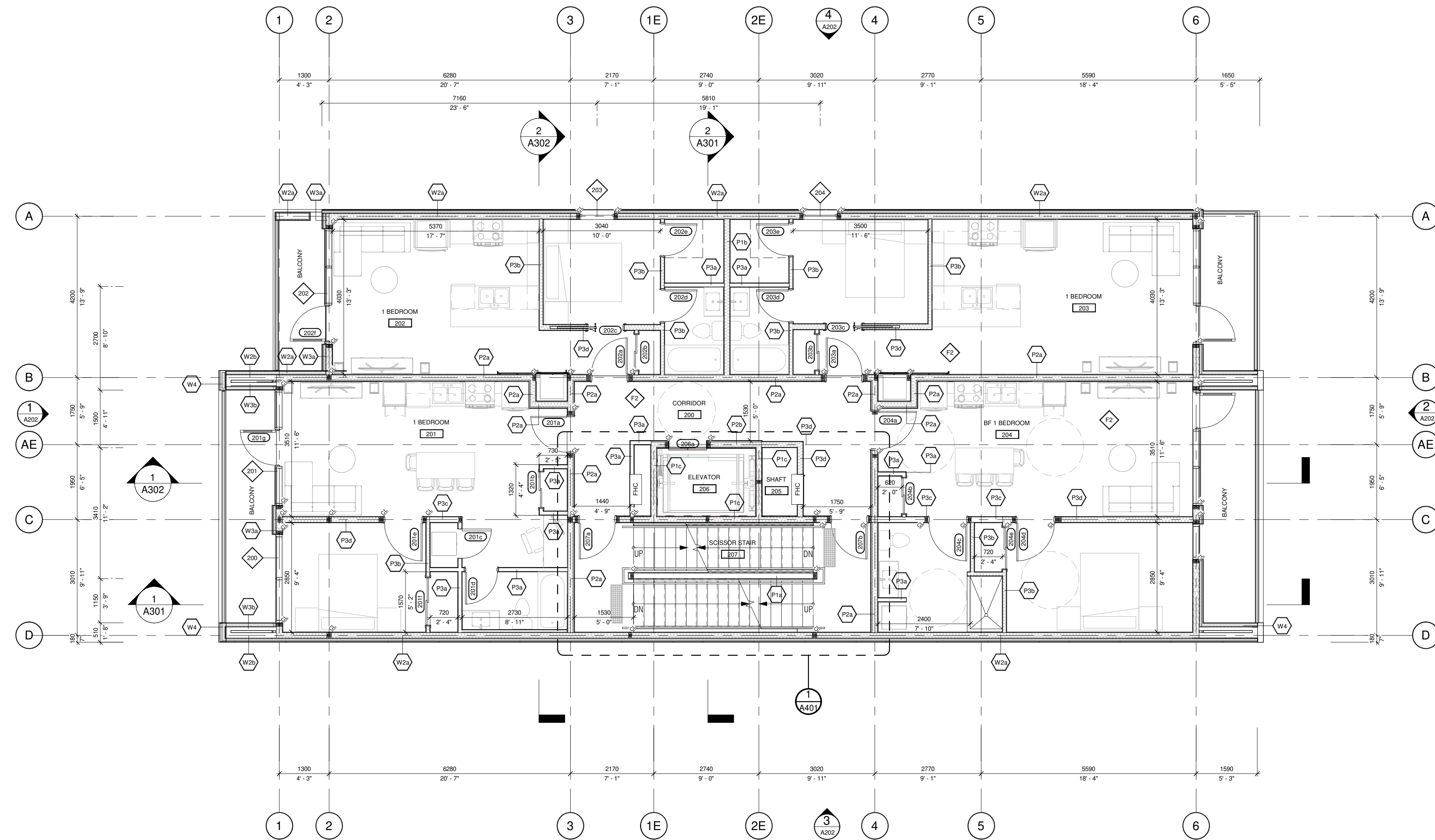
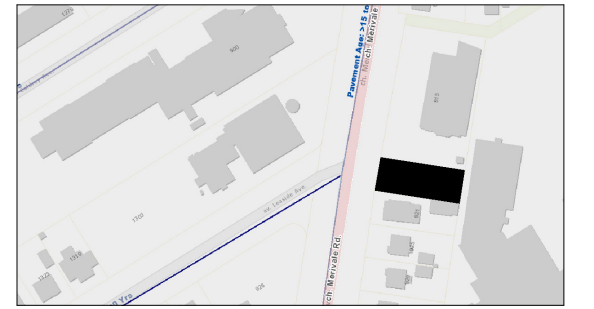
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FIRST LEVEL FLOOR PLANS
A101

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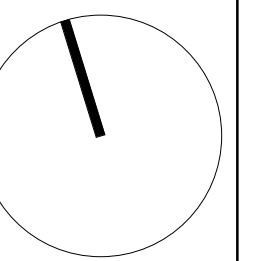
2 SECOND LEVEL FLOOR PLAN
A102 1:75

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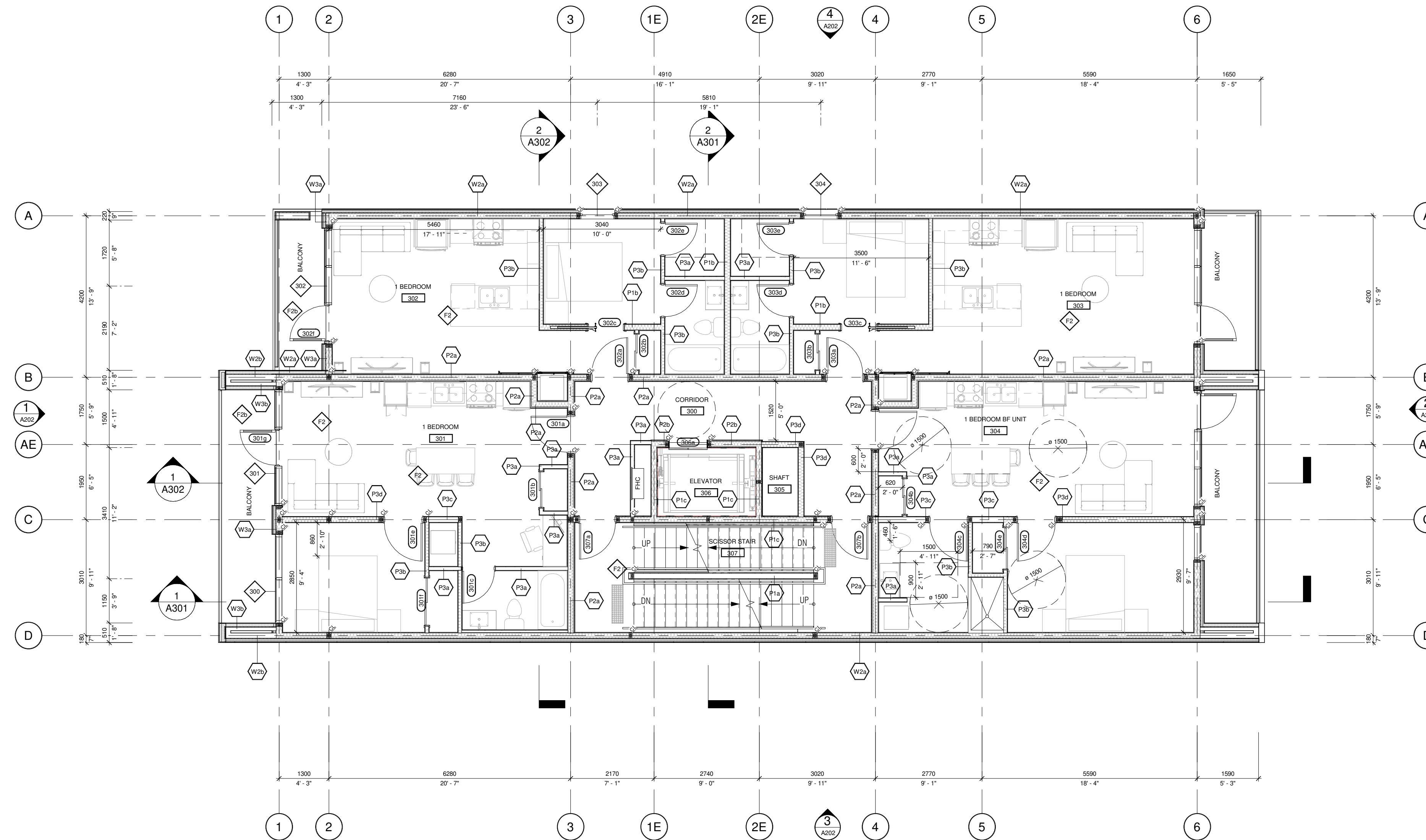
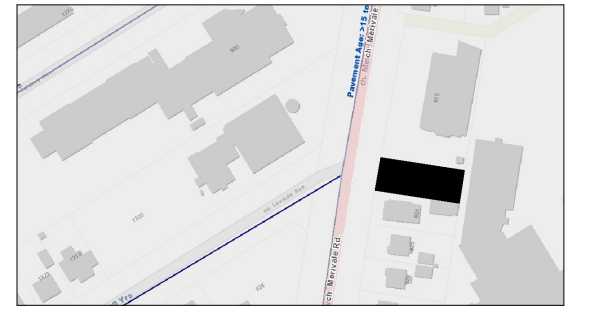
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SECOND LEVEL FLOOR PLAN

A102

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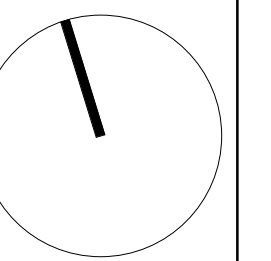
1 THIRD LEVEL FLOOR PLAN
A103 1:75

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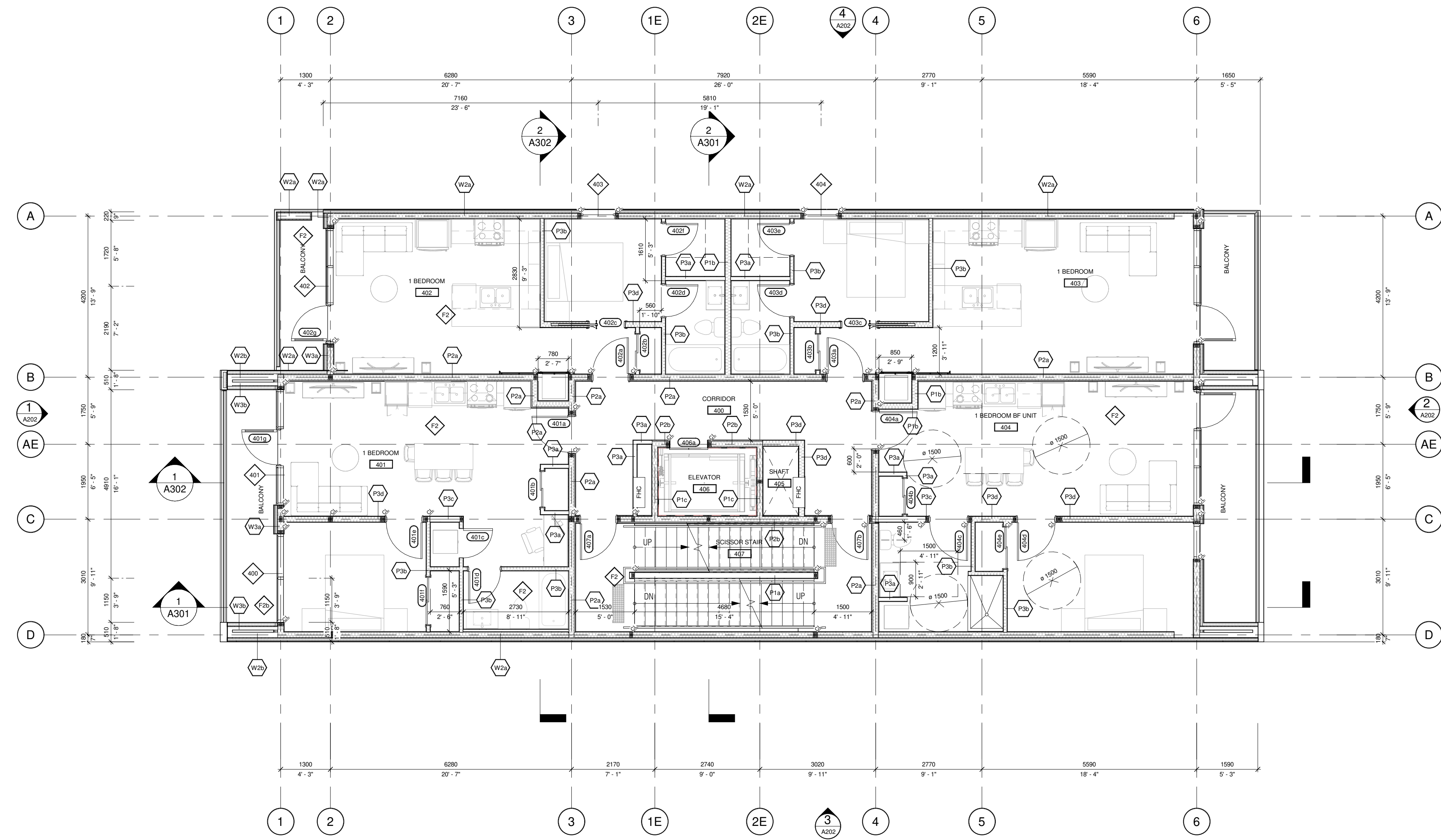
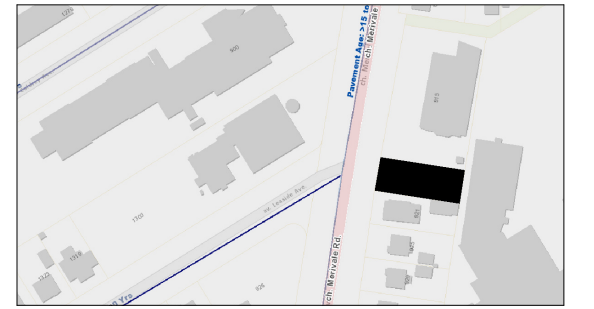
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THIRD LEVEL FLOOR PLAN

A103

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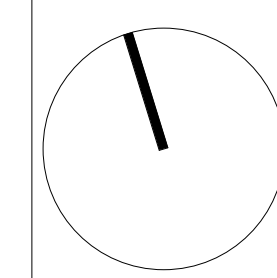
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A104 1:75

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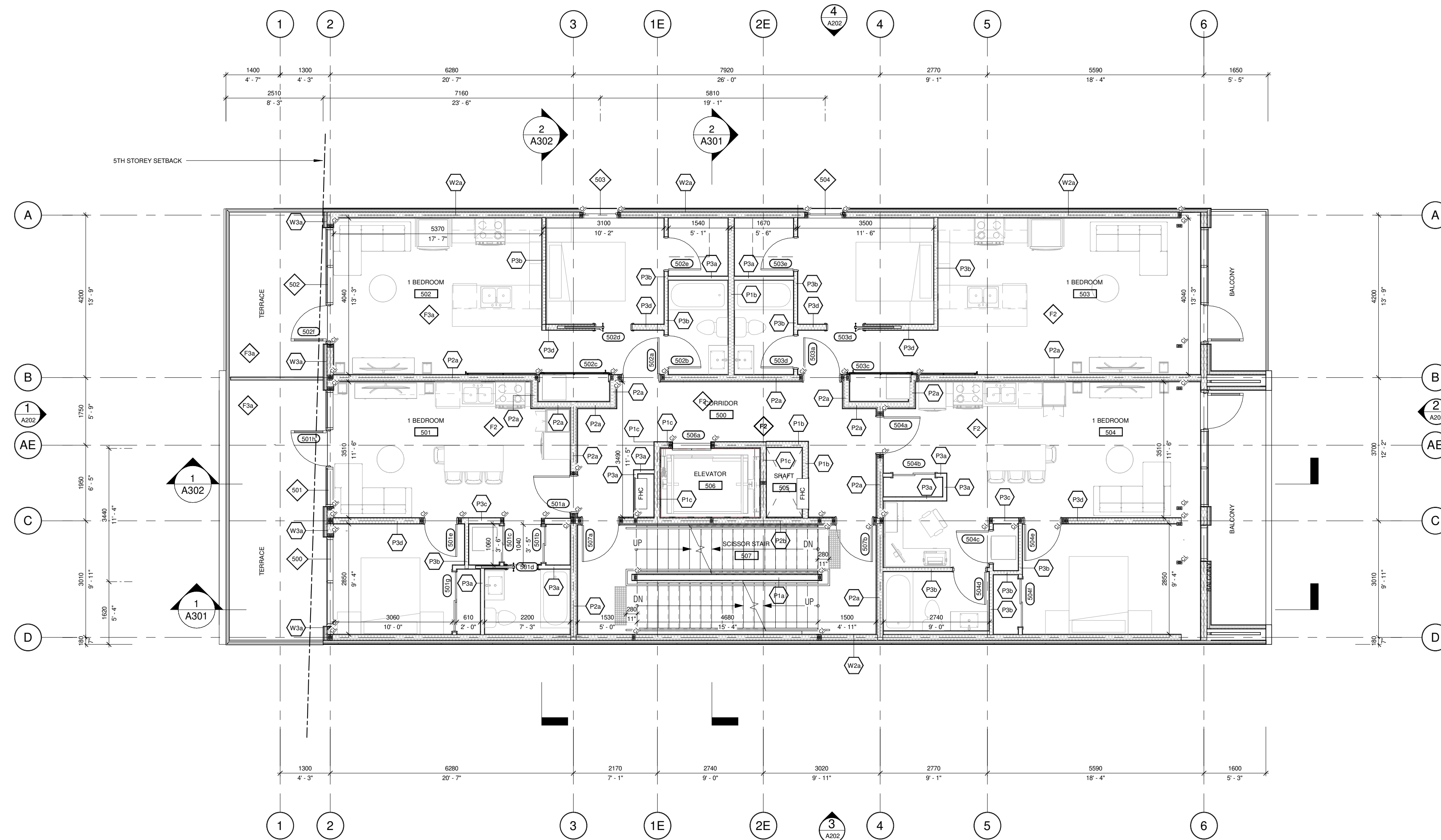
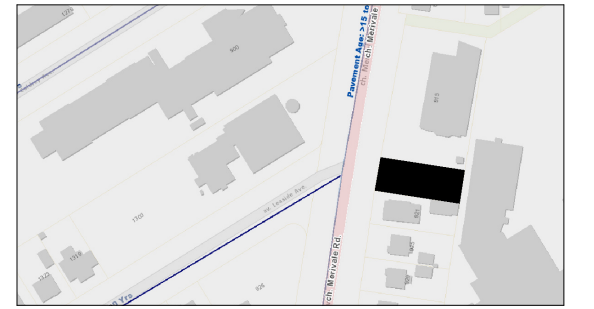
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FOURTH LEVEL FLOOR PLAN

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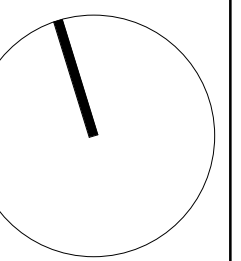


1 FIFTH LEVEL FLOOR PLAN
A105 1:75

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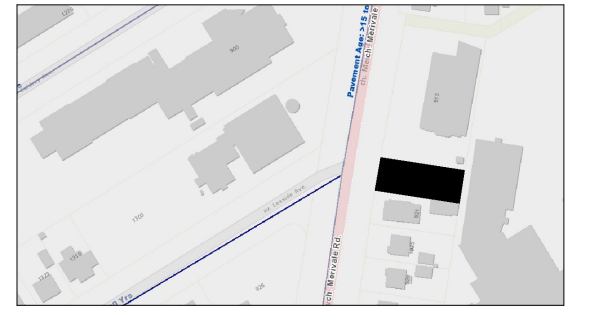
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FIFTH LEVEL FLOOR PLAN

A105

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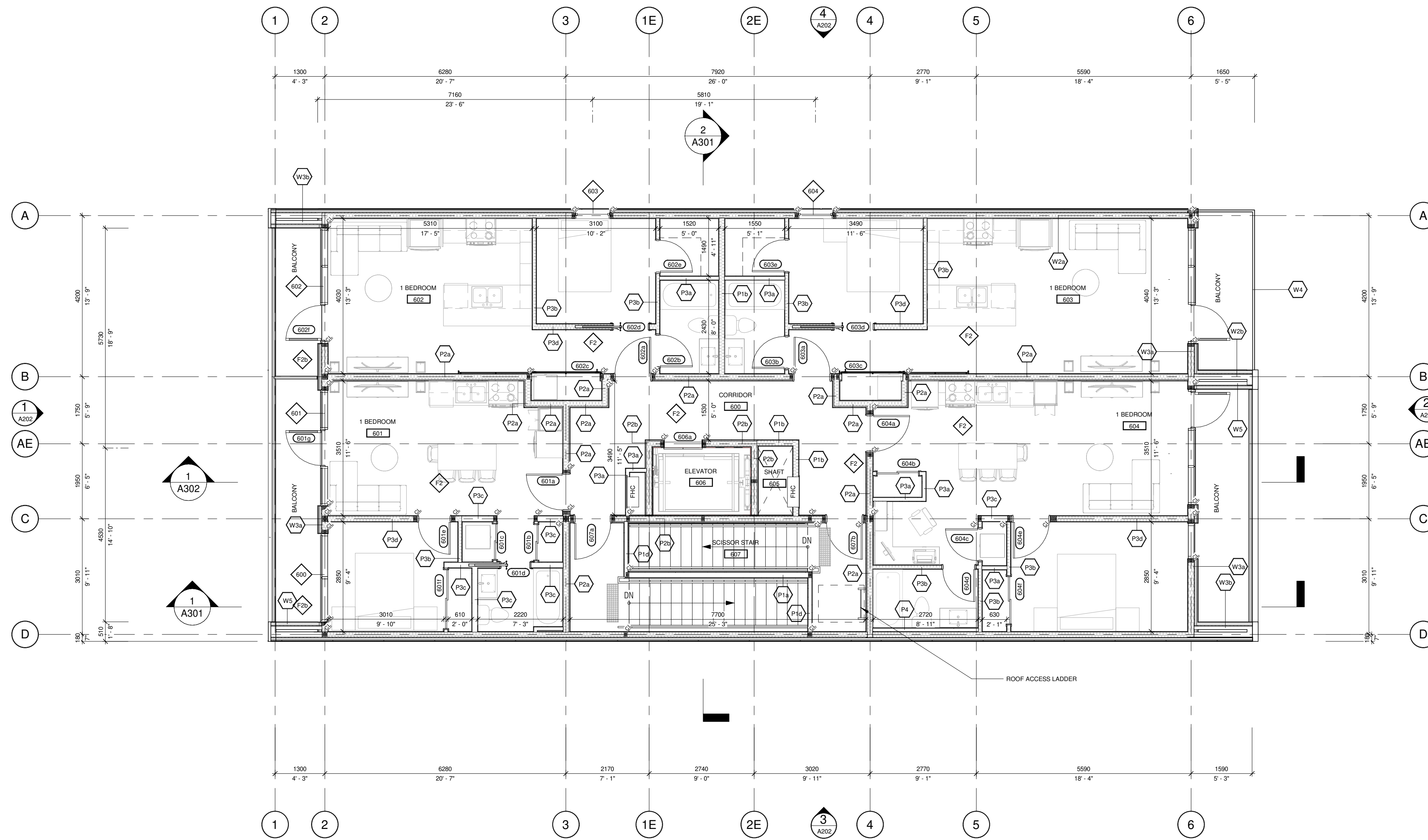
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1 SIXTH LEVEL FLOOR PLAN
A106 1:75



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917 MERIVALE RD
OTTAWA ON
for
MARC AMYOT

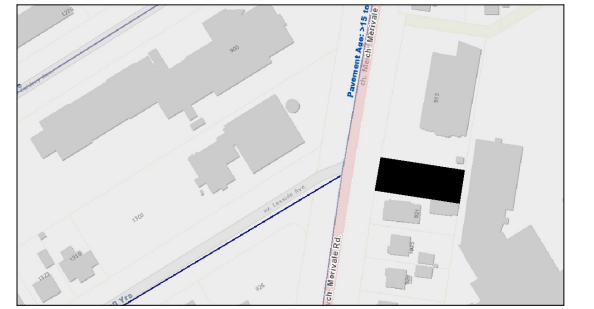
2301 PROJECT SCALE 1:75
DS, SH DRAWN
SH REVIEWED

SIXTH LEVEL FLOOR PLAN

A106

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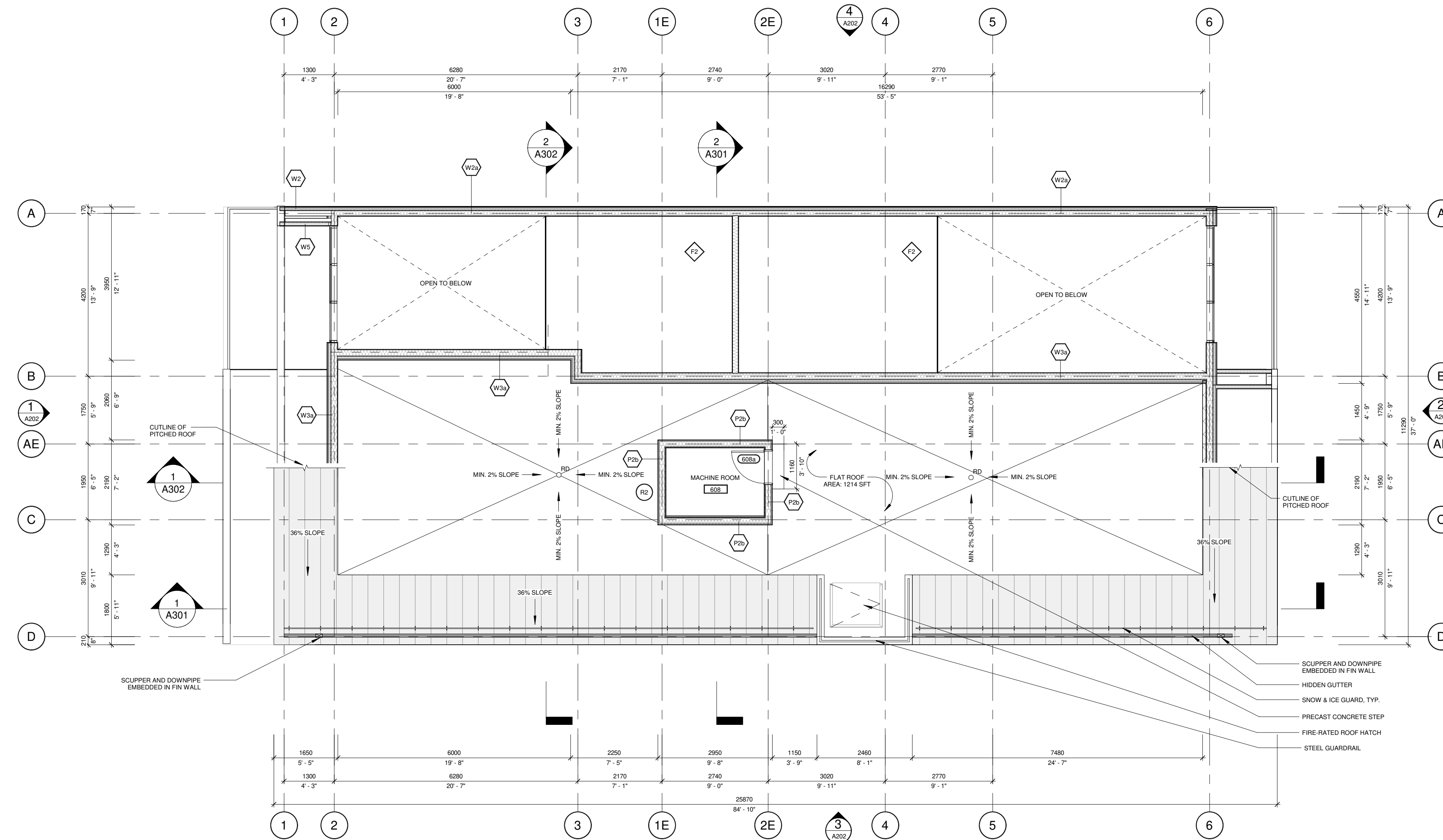
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1 FLAT ROOF PLAN
A107 1:75



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for
MARC AMYOT

2301 PROJECT 1:75 SCALE

Author DRAWN

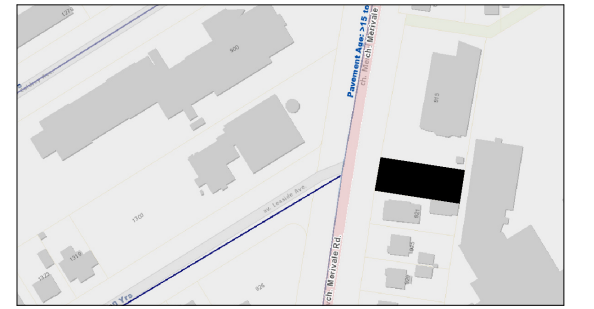
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FLAT ROOF PLAN

A107

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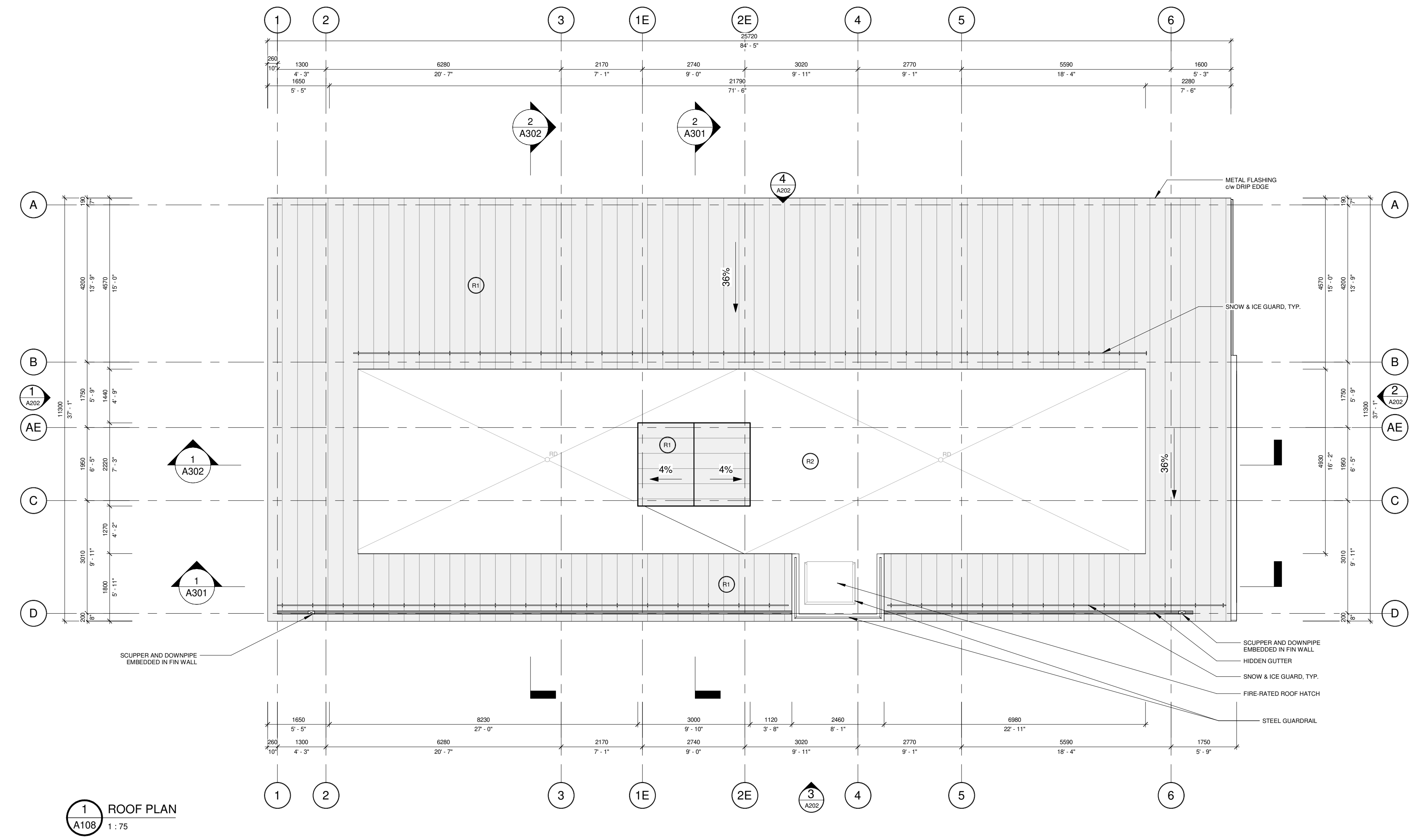
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1 ROOF PLAN
A108 1:75



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2301 PROJECT
1:75 SCALE

DS DRAWN

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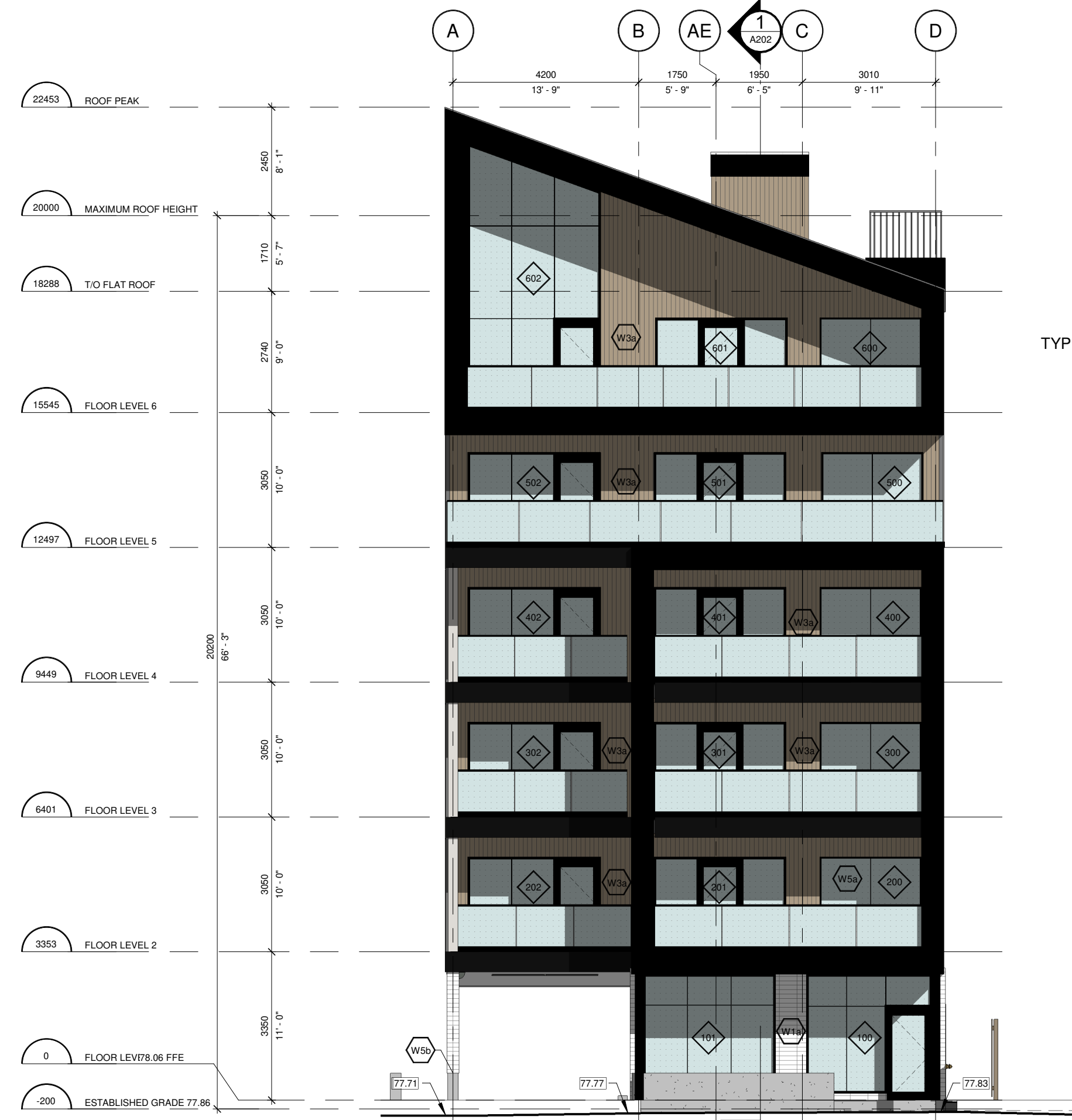
ROOF PLAN

A108

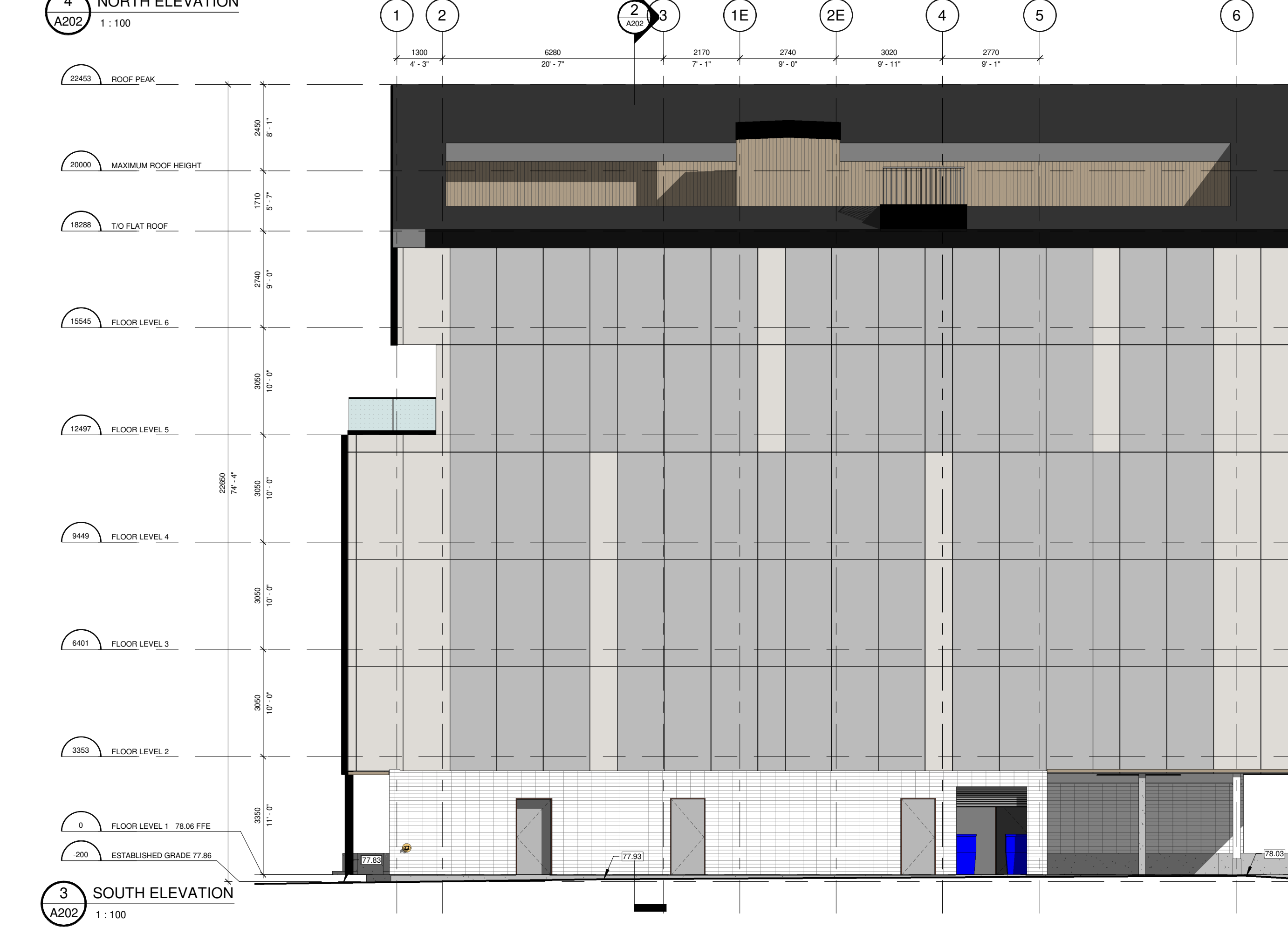
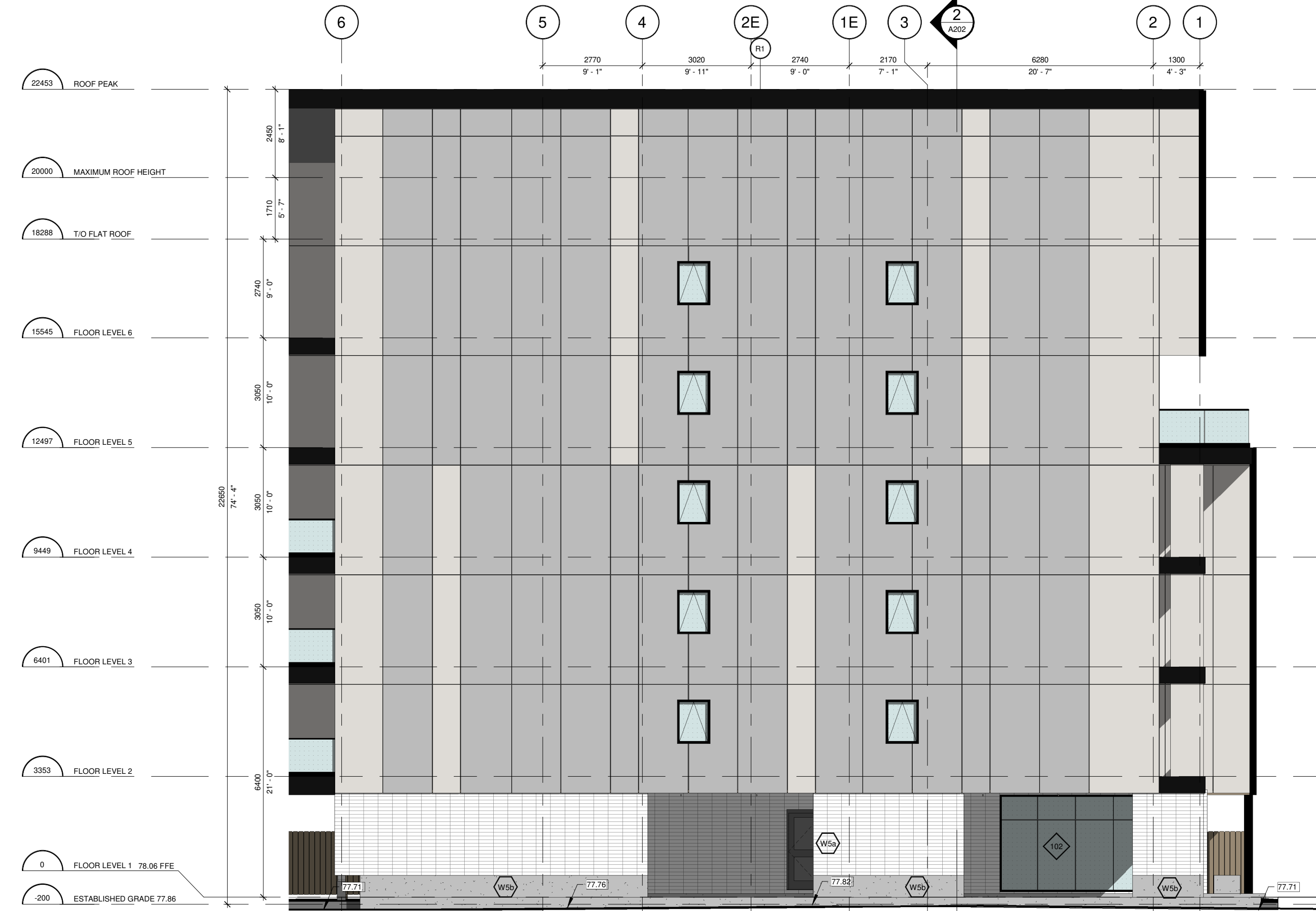
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2301 PROJECT SCALE
1 : 100
DS, SH DRAWN
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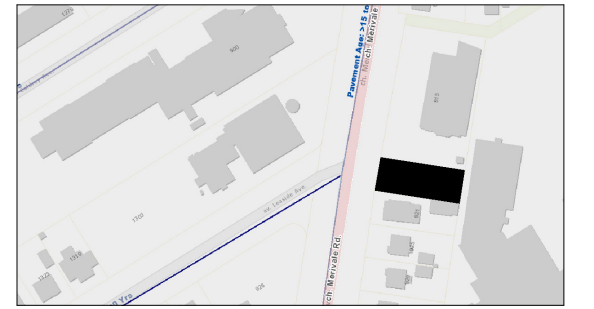
BUILDING ELEVATIONS

A202

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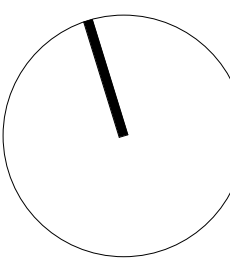
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for
MARC AMYOT

2301 1 : 100
PROJECT SCALE

SH, DS
DRAWN

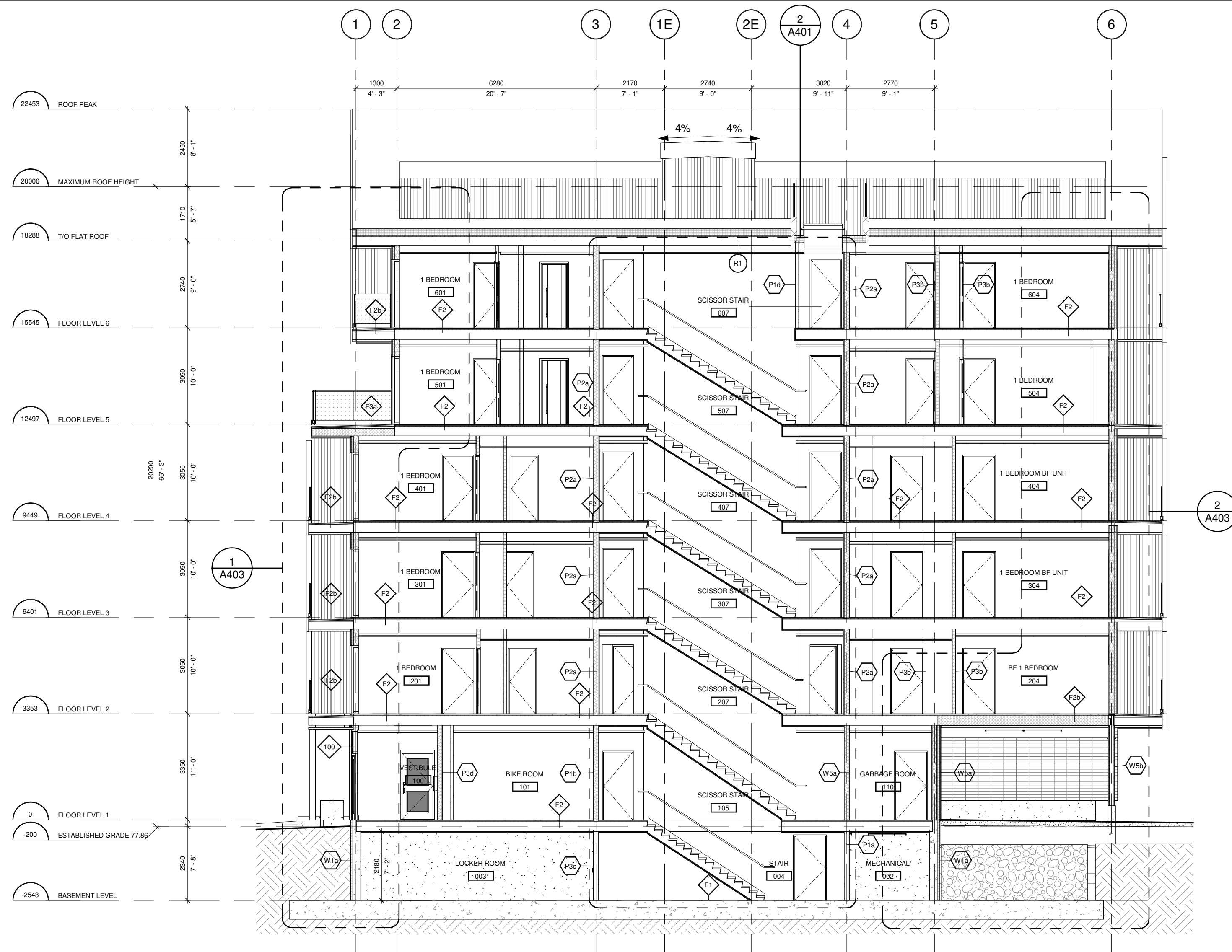
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BUILDING SECTIONS

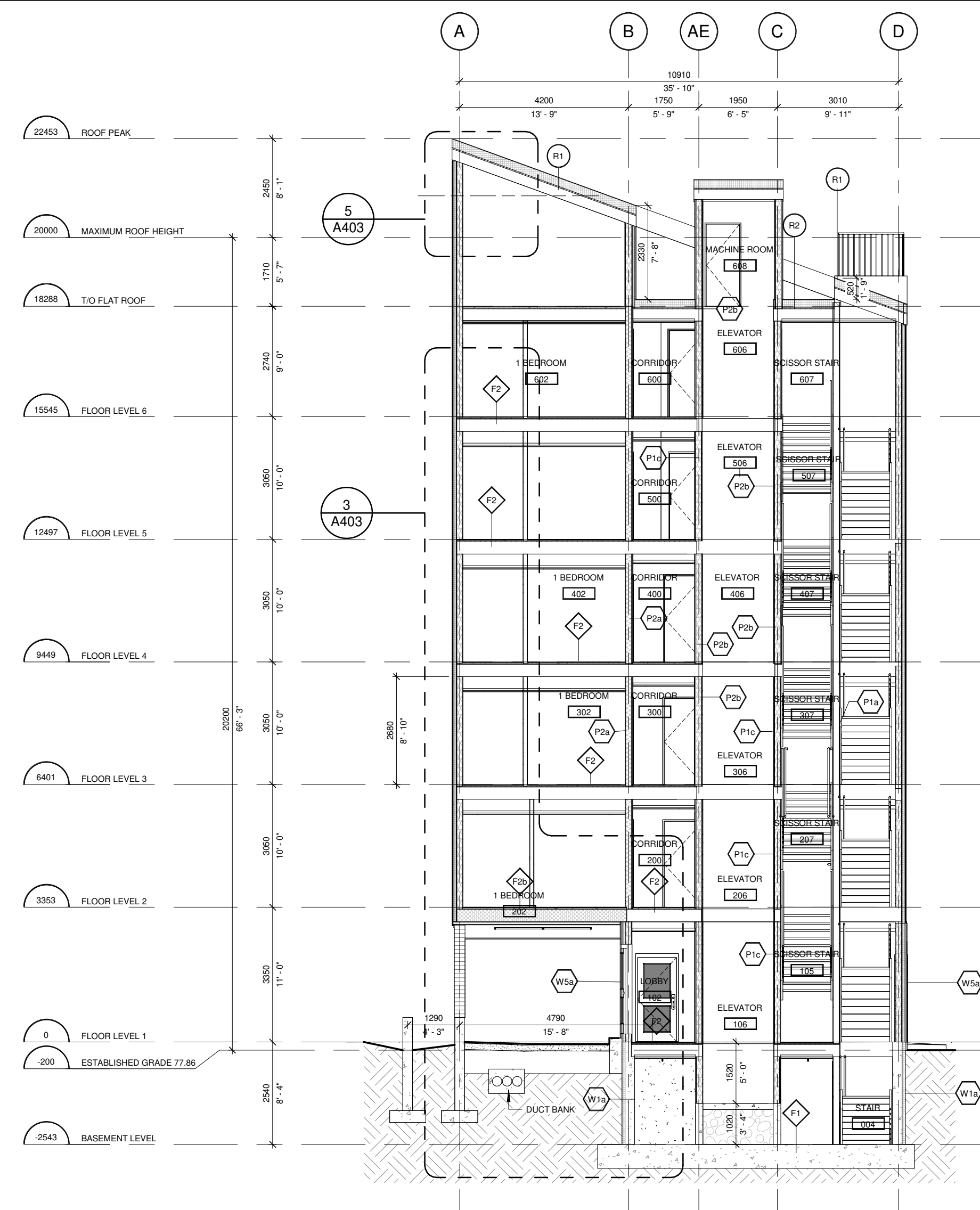
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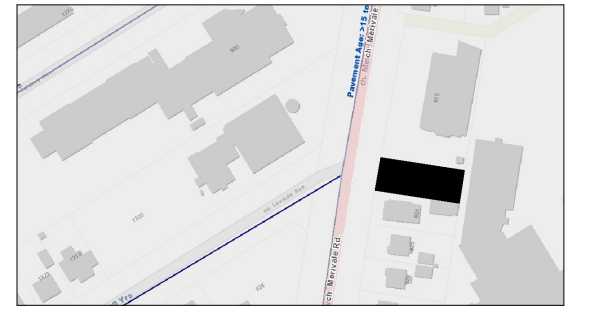
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1 EAST/WEST SECTION THRU STAIRS
A301 1:100



2 NORTH/SOUTH SECTION THRU STAIRS
A301 1:100



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2301 PROJECT
1 : 100 SCALE

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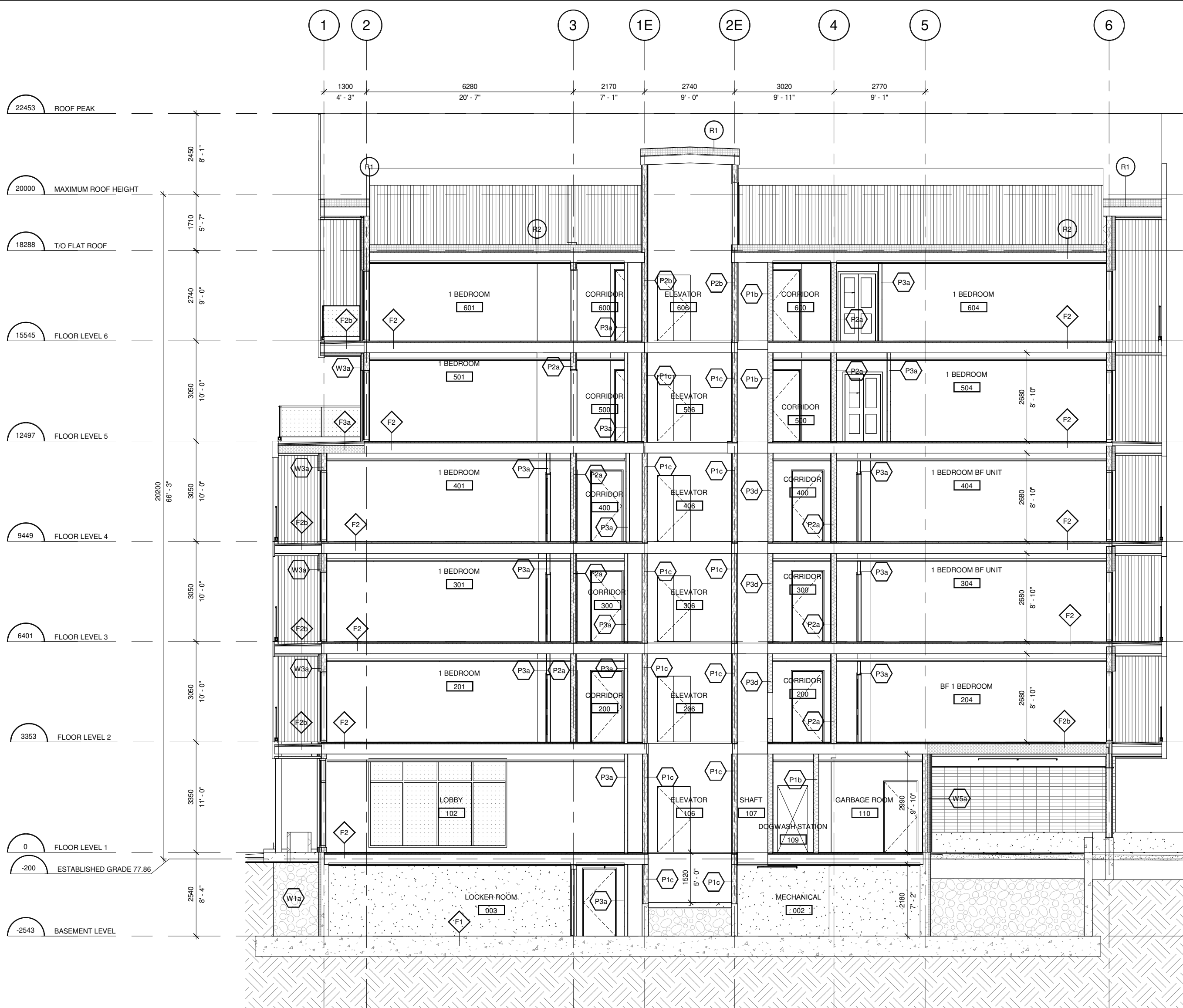
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BUILDING SECTIONS

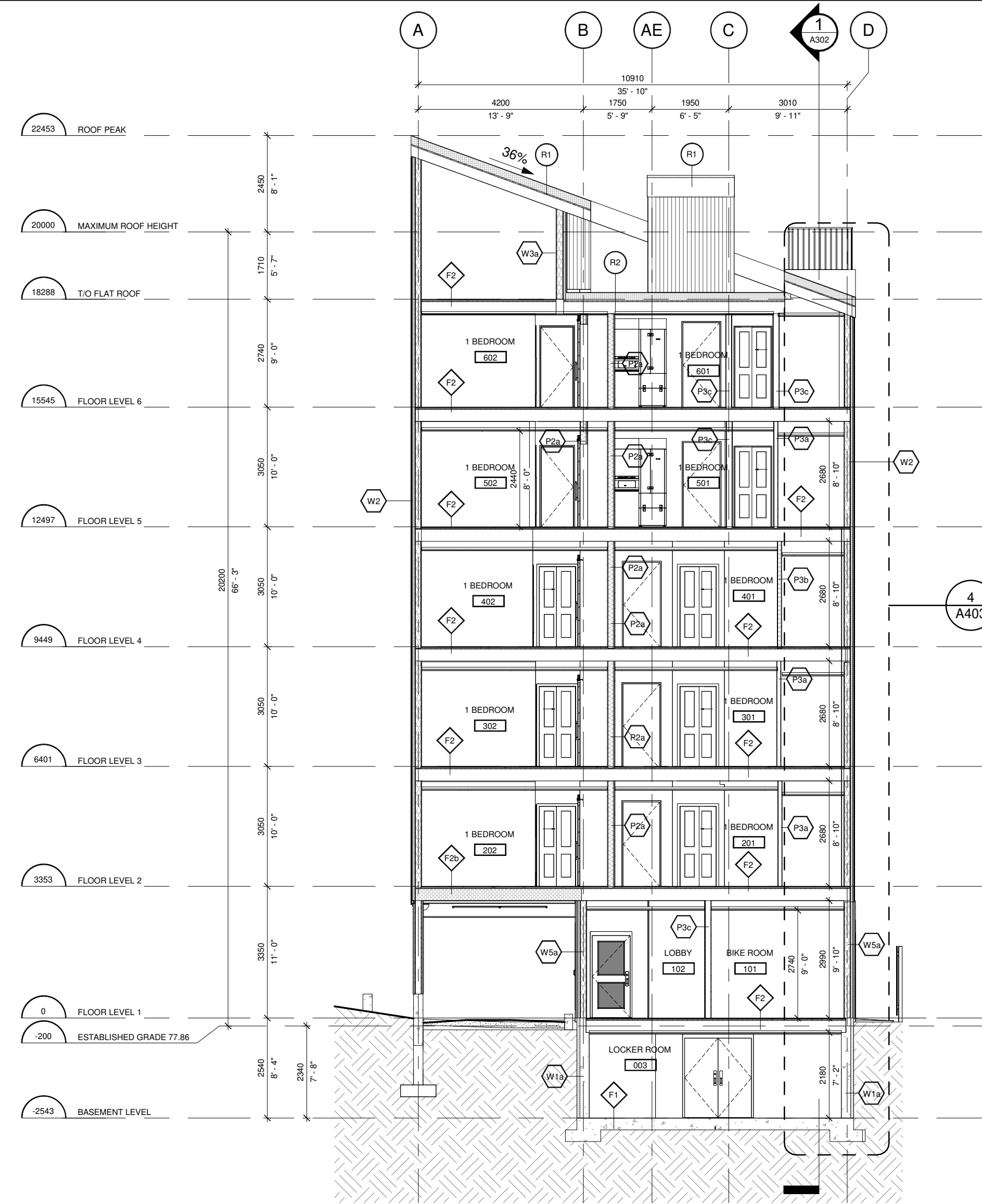
A302

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1 SECTION THRU ELEVATOR
A302
1 : 100



2 NORTH/SOUTH SECTION
A302
1 : 100



2 3D VIEW - FRONT ENTRANCE
A900



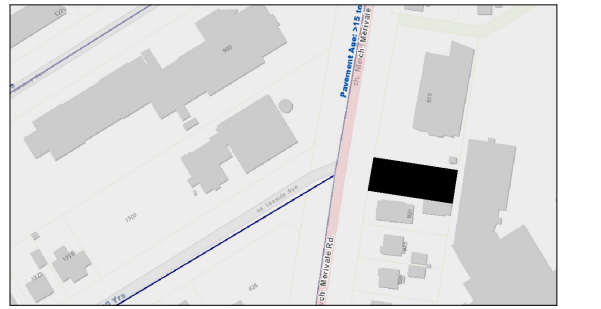
3 3D VIEW - REAR BUILDING
A900



1 3D VIEW - CAR ENTRANCE
A900



4 SOLAR PANEL ROOF AXNOMETRIC
A900



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2301
PROJECT SCALE
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3D VIEWS

A900

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