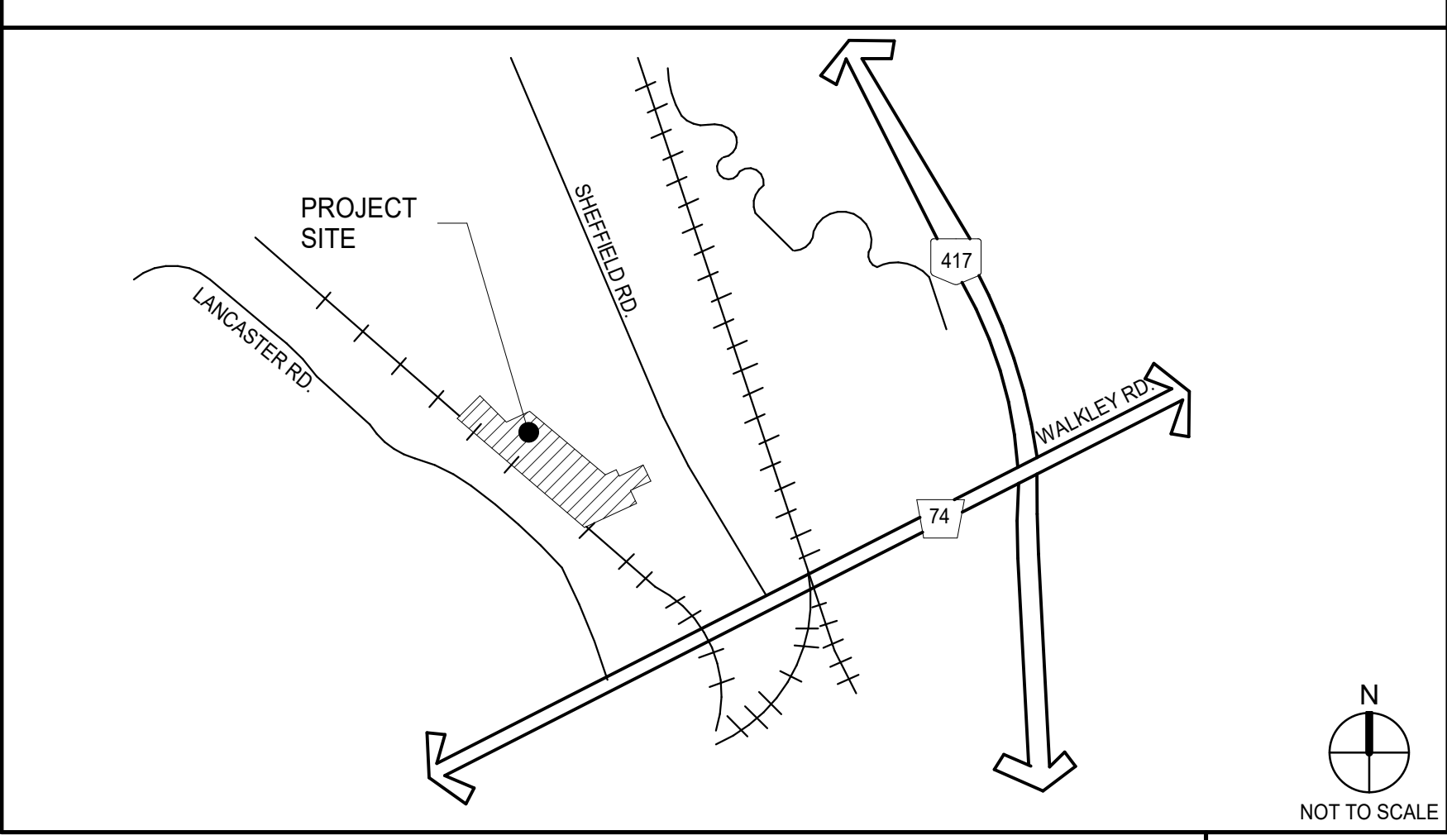


OBC MATRIX

Table with 3 columns: ITEM, DESCRIPTION, and BUILDING CODE REFERENCE. Includes project details like name, location, and various code compliance items.

VICINITY MAP



SHEFFIELD INDUSTRIAL BUILDING 4

2760-2770 SHEFFIELD RD. OTTAWA, ONTARIO K1B 3V9.



ARCHITECT: WARE MALCOMB. 1420 BLAIR TOWERS PLACE, SUITE #104, GLOUCESTER, ONTARIO, CANADA K1J 9L8. P 343.633.2977.

OWNER: SHEFFIELD INDUSTRIAL BUILDING 4. 2760-2770 SHEFFIELD RD. OTTAWA, ONTARIO K1B 3V9.

GENERAL CONTRACTOR: COMPANY NAME, ADDRESS LINE 1, ADDRESS LINE 2, CITY, STATE XXXXX, PH: (XXX) XXX-XXXX, EMAIL: XXX@XXX.XXX

ARCHITECT'S CONSULTANTS: STRUCTURAL ENGINEER, MECHANICAL ENGINEER, PLUMBING ENGINEER, ELECTRICAL ENGINEER. Includes contact info for each.

SHEET INDEX

Table listing architectural sheets: G010 (TITLE SHEET), A010 (GENERAL NOTES), A020 (ASSEMBLY TYPES), etc.

TOTAL SHEETS: 25

WARE MALCOMB logo and contact information: 1420 Blair Towers Place, Suite #104, Gloucester, Ontario, Canada K1J 9L8. P 343.633.2977.

Ontario Association of Architects logo: JOHN P. HOLLAND LICENCE 8849

RICHCRAFT logo

SHEFFIELD INDUSTRIAL BUILDING 4. 2760-2770 SHEFFIELD RD. OTTAWA, ONTARIO K1B 3V9.

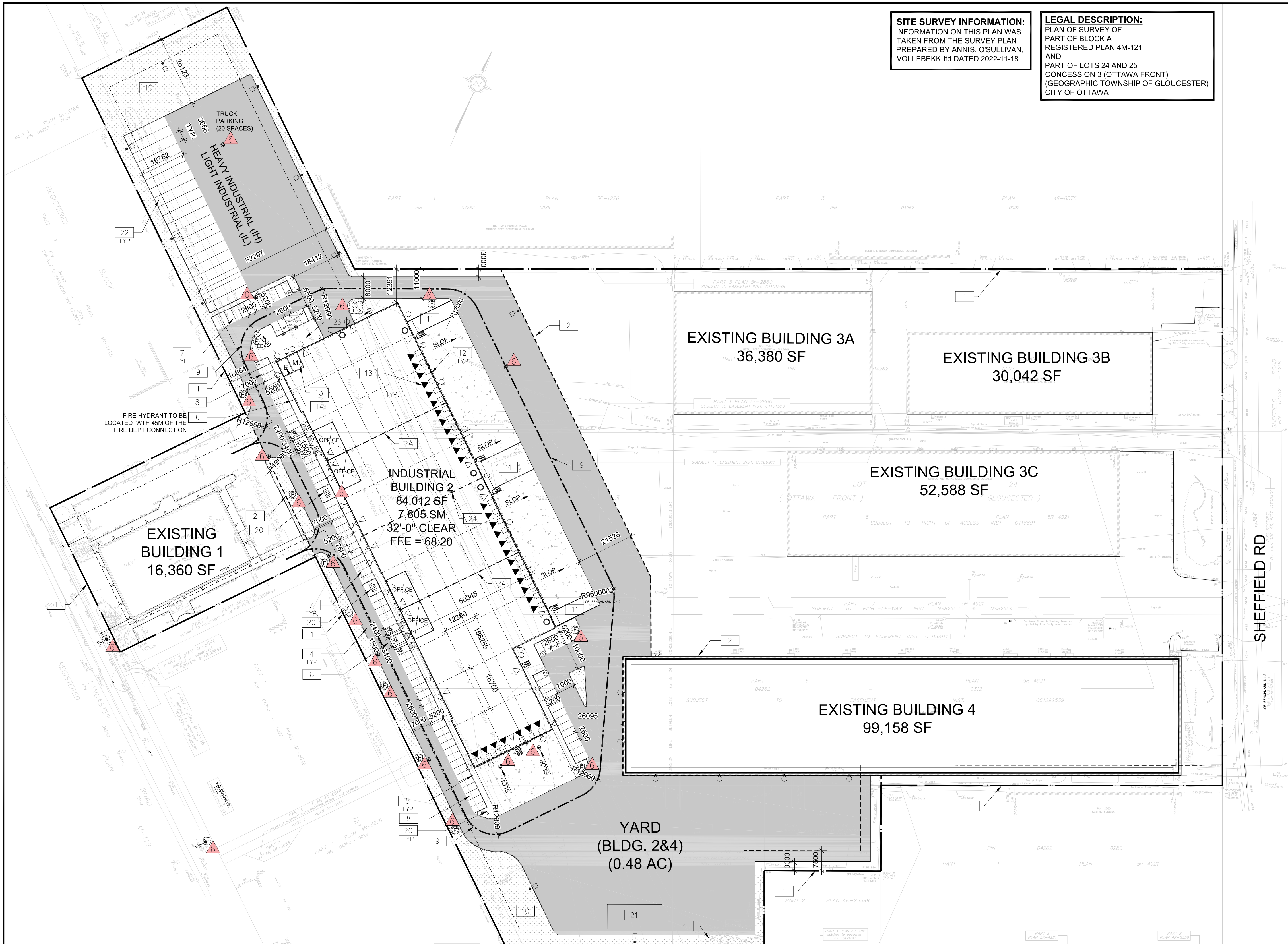
Table with 2 columns: DATE, REMARKS. Includes dates like 31/05/2024 and 04/16/2024 with corresponding remarks.

Table with 2 columns: PA/PM, DRAWN BY, JOB NO. Values: J. HOLLAND, A.M., OTW21-0002-01

SHEET G010

SITE SURVEY INFORMATION:
 INFORMATION ON THIS PLAN WAS
 TAKEN FROM THE SURVEY PLAN
 PREPARED BY ANNIS, O'SULLIVAN,
 VOLLEBEKK Ltd DATED 2022-11-18

LEGAL DESCRIPTION:
 PLAN OF SURVEY OF
 PART OF BLOCK A
 REGISTERED PLAN 4M-121
 AND
 PART OF LOTS 24 AND 25
 CONCESSION 3 (OTTAWA FRONT)
 (GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
 CITY OF OTTAWA



OTW21-0002-00
 SITE STATISTICS

ZONING	IH/IL
GROSS SITE AREA	84,452 SM
PROJECT LIMIT AREA	37,191 SM

Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)

Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)	Proposed	Required IH (IL)
Min. Front Yard Building Setback (m)	18.66 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.29 m	7.5 m
Min.Rear Yard Building Setback (m)	N/A	7.5 m
Min.Landscape Front Yard Setback (m)	4.72 m	3 m
Min.Landscape Side Yard Setback (m)	3.15 m	3 m
Min.Landscape Rear Yard Setback (m)	N/A	3 m
Max. Floor Space Index	0.12	2
Max. Building Height	12 m	22 m (18m)

BUILDING FLOOR AREA

Building 2	Warehouse Area	7,605.00m ²
	Office Area	200.00m ²
	TOTAL BUILDING GFA	7,805.00m²

PARKING REQUIREMENT

	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m ² , first 5000m ²	101	51
Warehouse GFA @ 0.4 Spaces per 100m ² , above 5000m ²		
Total No. of Parking Spaces	101	51
Barrier Free Parking Spaces	10	5

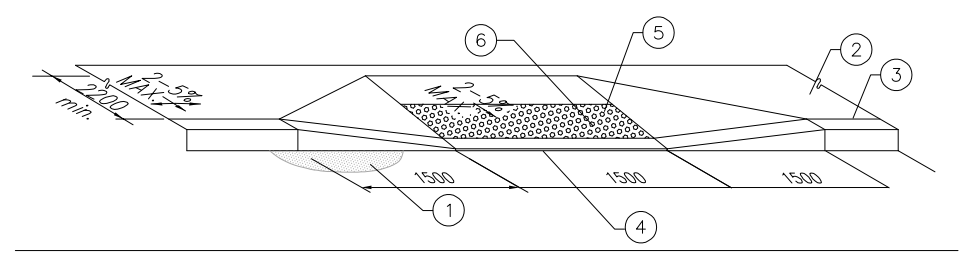
Parking Stall Dimensions	2.6 m X 5.2 m
Barrier Free Parking Stall Type A	3.4m X 5.2m
Barrier Free Parking Stall Type B	2.4m X 5.2m
Bicycle Parking Space Dimensions	1.8m X 0.6m
No. Of Bicycle Parking (Warehouse: 1 per 2000m ² , Office 1 per 250m ²)	10 9
Loading Space Dimensions	3.5m X 9.0m
Oversized Loading Space Dimensions	4.3m X 13.0m
No. Of Loading Spaces	2 2
No. Of Oversized Loading Spaces	2 2
Trailer Parking	19 N/A
DOCK STATISTICS	Proposed
DOCK-HIGH DOORS	27
OVER-HEAD DOORS	4

WARE MALCOMB
 Leading Design for Commercial Real Estate

architecture 180 base pro mills drive, unit 103
 planning vaughan, ontario, L4K 5W9
 interiors p.905.760.1221
 graphics f.905.248.3344
 civil engineering a business name of WMA Inc.

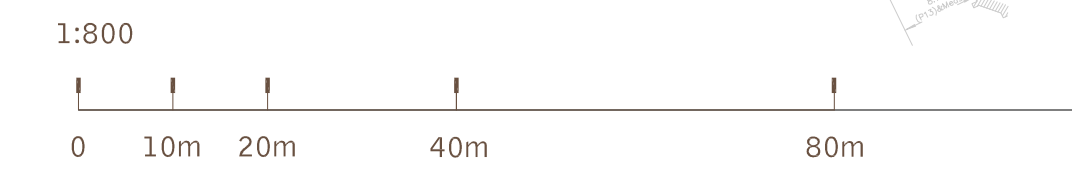


SHEFFIELD RD.
RICHCRAFT
 2760-2770 SHEFFIELD RD.
 OTTAWA, ONTARIO



- PAVEMENT
- ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
- TOP FACE OF CURB
- DEPRESSED CURB
- TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm, REGULAR SPACING PATTERN AT 55-65mm ON CENTRE
- A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJACENT TO A VEHICULAR WAY (0mm CURB FACE)

ACCESSIBLE CURB RAMP
 SCALE: N.T.S.



- SITE PLAN NOTES**
- PROPERTY LINE
 - PROJECT LIMIT LINE
 - PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
 - 150mm WIDE CURB TYPICAL
 - SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
 - FIRE DEPARTMENT/SIAMESE CONNECTION
 - 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
 - TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250. EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m x 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
 - FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)
 - LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
 - DRIVE-IN RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GRADE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS
 - 12.0mX3.5m TRUCK LOADING SPACE (TYP.)
 - PROPOSED LOCATION OF MECHANICAL RM
 - PROPOSED LOCATION OF ELECTRICAL RM
 - GALVANIZED STEEL GUARDRAIL WITH HANDRAIL
 - STEEL BOLLARD
 - SHADED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
 - TRUCK LOADING DOCK (TYP.)
 - EXTERIOR GALVANIZED STEEL STAIRS
 - GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
 - SNOW STORAGE AREA
 - TRUCK TRAILER PARKING
 - 13mx4.3m OVERSIZED TRUCK LOADING SPACE
 - FUTURE TENANT DEMISING WALL. SUBJECT TO TENANT FIT UP
 - EXISTING TRUCK COURT BEHIND BUILDING 4 TO BE REPAVED.
 - AMENITY AREA

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FIRE HYDRANT TO BE LOCATED WITH 45M OF THE FIRE DEPT CONNECTION
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- CONCRETE SIDEWALK
- ELECTRIC VEHICLE CHARGING STATION
- FUTURE ELECTRIC VEHICLE CHARGING STATION

SITE PLAN
 SCALE: 1:800
 CONSTRUCTION NORTH TRUE NORTH

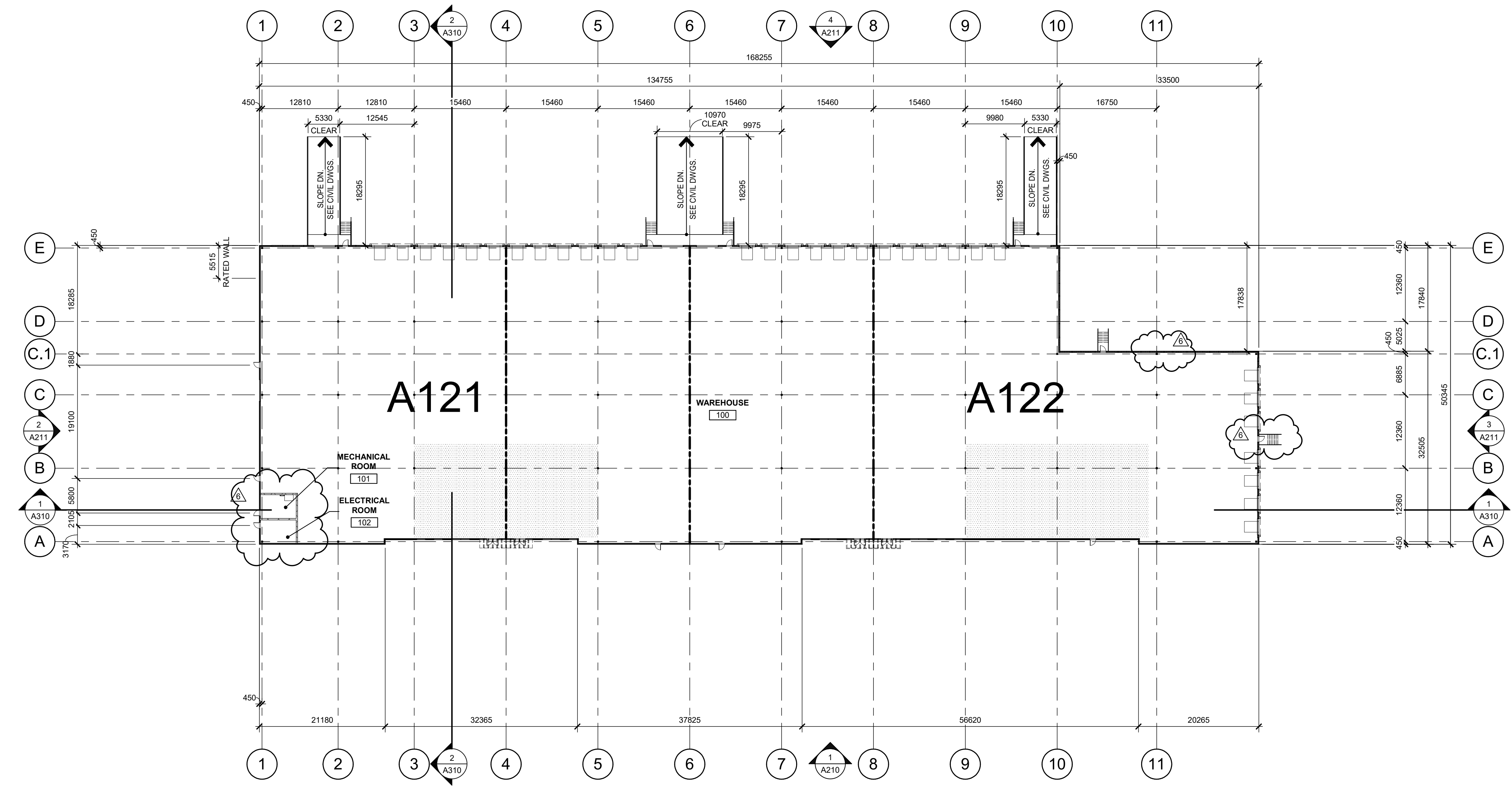
OVERALL SITE PLAN

DATE	ISSUED FOR	REMARKS
2023-05-16	ISSUED FOR SPA	
2024-07-17	GENERAL VERSION	
2024-08-12	ISSUED FOR SPA	
2024-08-27	REVISION FOR EV PARKING	
2024-09-03	ISSUE FOR FOOTPRINT UPDATING	
2024-09-20	SPA COMMENTS REVISION	

PA / PM:	HW/JH
DRAWN BY:	HW
JOB NO.:	OTW21-0002-00

SHEET
A1.0

KEY PLAN
 SCALE: N.T.S.



OVERALL FLOOR PLAN
SCALE: 1:400

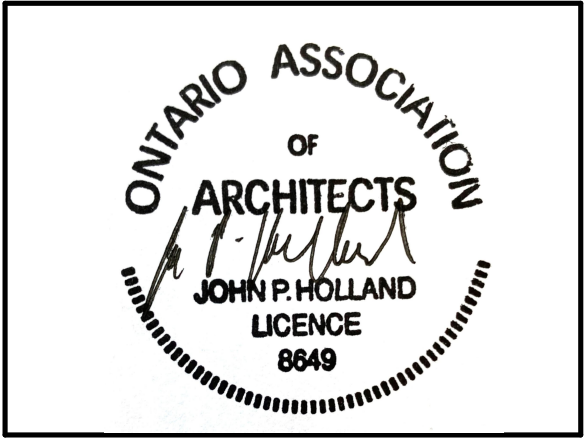
WALL LEGEND

- ARCHITECTURAL PRECAST PANEL.
- INSULATED METAL PANEL SYSTEM.
- CONCRETE MASONRY WALL.

LEGEND

- PROPOSED FUTURE OFFICE AREA

WARE MALCOMB
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 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT
 1420 Blair Towers Place, Suite #104
 Gloucester, Ontario, Canada K1J 9L3
 P 343.633.2977



SHEFFIELD INDUSTRIAL BUILDING 4
 2760-2770 SHEFFIELD RD.
 OTTAWA, ONTARIO K1B 3V9.

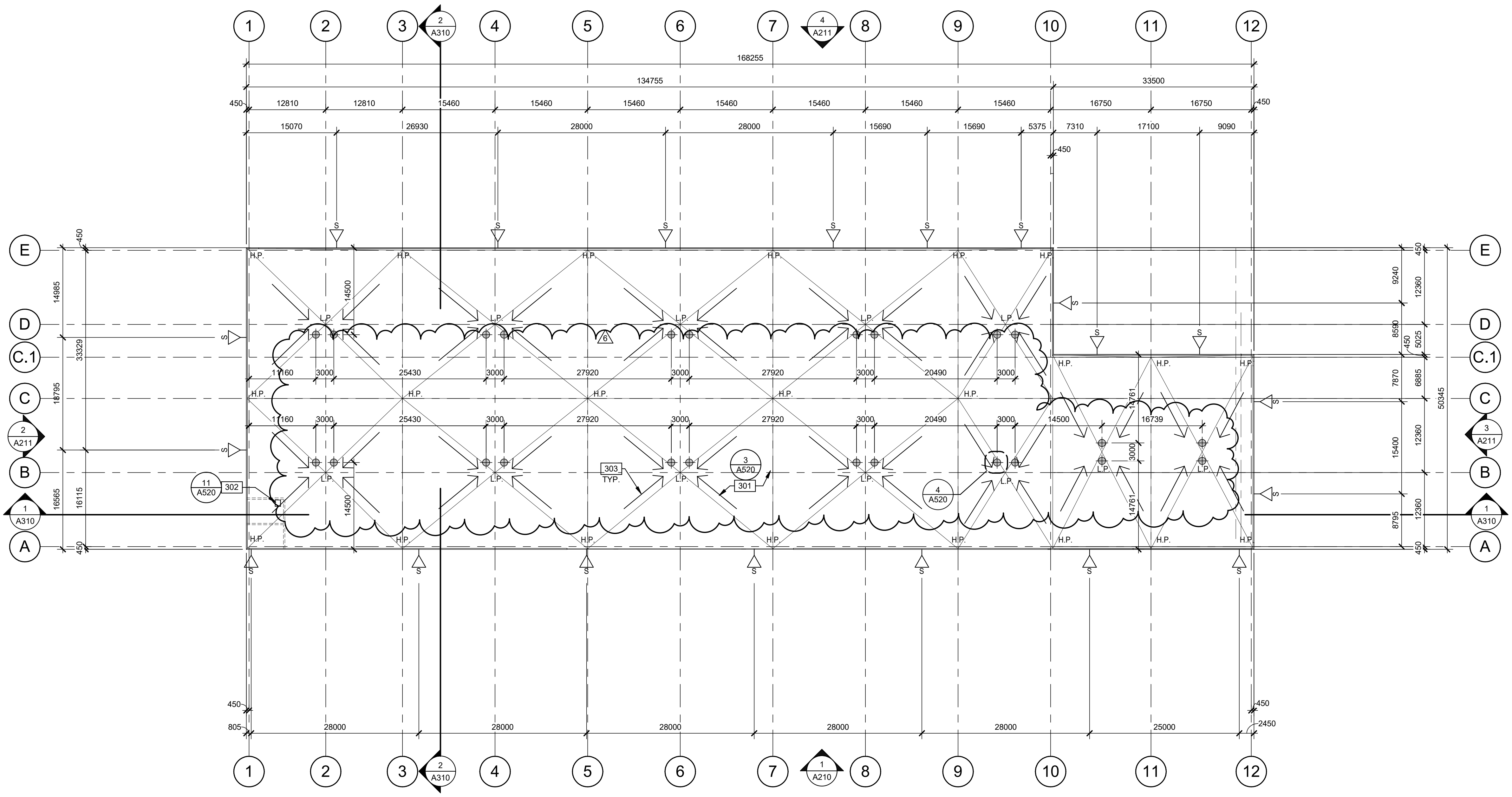
OVERALL FLOOR PLAN

DATE	REMARKS
31/05/2024	ISSUED FOR SPA
04/16/2024	85% CD PROGRESS SET
06/14/2024	50% CD SET
06/28/2024	85% CD SET
09/09/2024	REVISION, ROOF, ME ROOMS, DR LOC.
12/09/2024	ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET
A120

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ROOF PLAN
SCALE: 1:400

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- ROOF EXPANSION JOINT.
- OUTLINE OF WALL BELOW.

KEYNOTES

- SEE SHEET A010 FOR GENERAL NOTES
- 301 HOT APPLIED RUBBERIZED ASPHALT ROOFING. REFER TO ROOF ASSEMBLY.
 - 302 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
 - 303 FLOW LINE TO DRAIN.

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT

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 P 343.633.2977

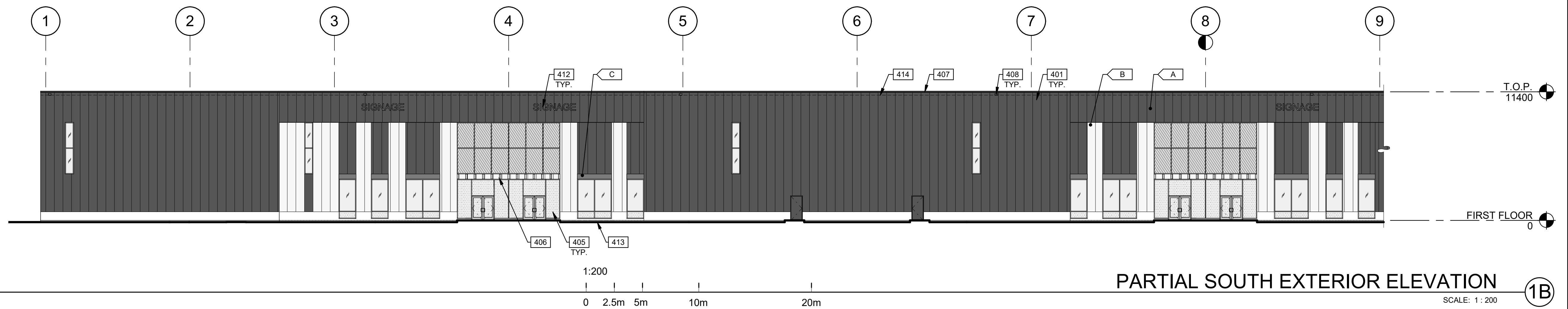
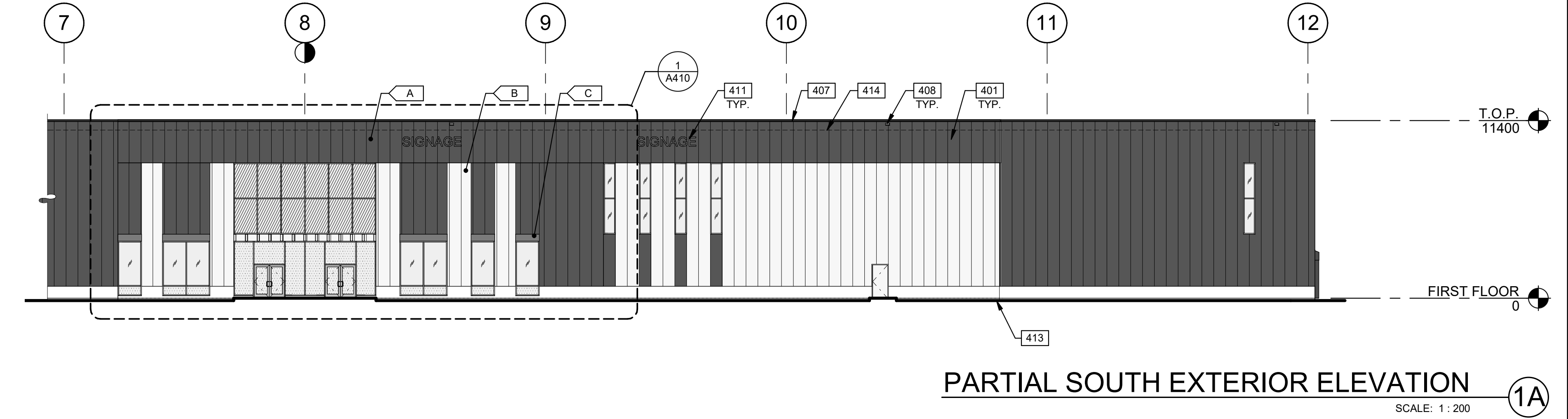
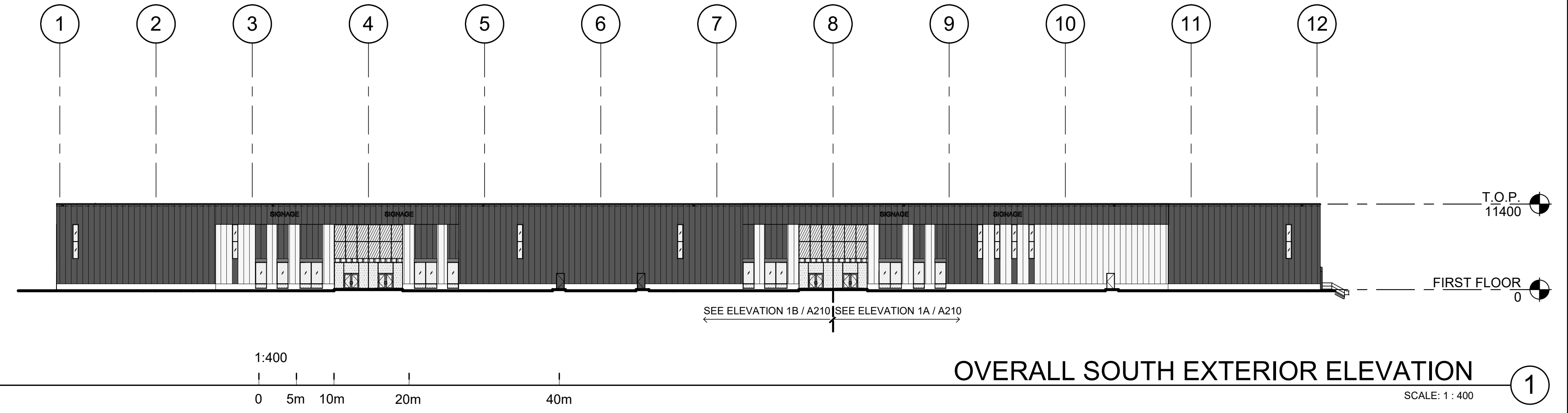


SHEFFIELD INDUSTRIAL BUILDING 4
 2760-2770 SHEFFIELD RD.
 OTTAWA, ONTARIO K1B 3V9.

DATE	REMARKS
31/05/2024	ISSUED FOR SPA
04/16/2024	85% CD PROGRESS SET
06/14/2024	50% CD SET
06/28/2024	85% CD SET
09/09/2024	REVISION, ROOF, ME ROOMS, DR LOC.
12/09/2024	ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET
A190



LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

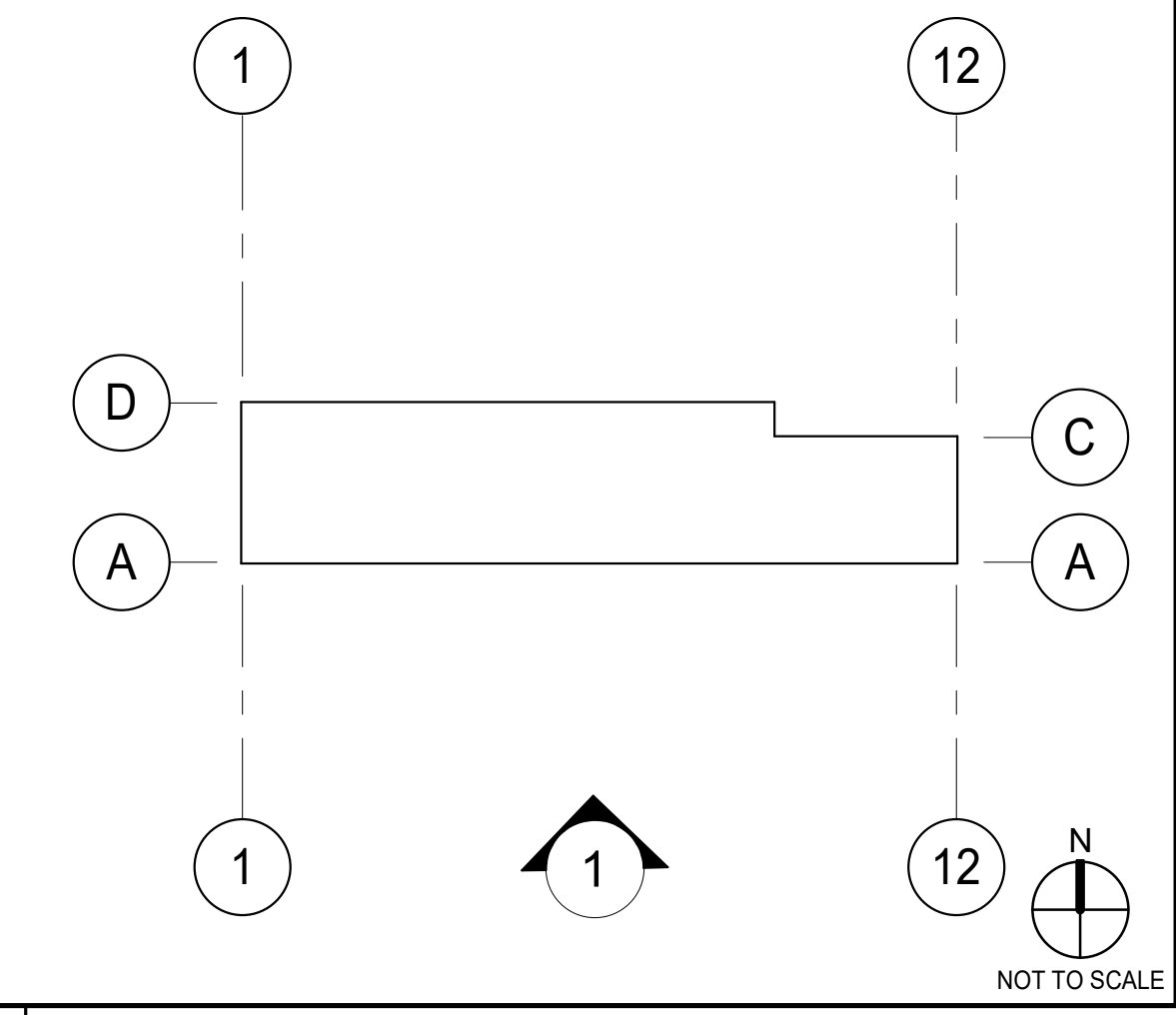
- BASE COLOUR: BLACK
- SECONDARY COLOUR: WHITE
- ACCENT COLOUR: BRONZE

KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

- 401 PRECAST INSULATED CONCRETE PANEL.
- 405 CURTAIN WALL GLAZING SYSTEM.
- 406 CANOPY WITH HSS PROFILE.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 411 DOCK SHELTER.
- 412 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 414 LINE OF ROOF BEYOND.

KEY PLAN



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CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

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Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



SHEFFIELD INDUSTRIAL BUILDING 4

2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

EXTERIOR ELEVATIONS

DATE	ISSUED FOR SPA	REMARKS
31/05/2024	85% CD PROGRESS SET	
04/16/2024	85% CD PROGRESS SET	
06/14/2024	85% CD SET	
06/28/2024	85% CD SET	REVISION, ROOF, ME ROOMS, DR LOC.
09/09/2024		ISSUED FOR SPA

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET

A210

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 P 343.633.2977

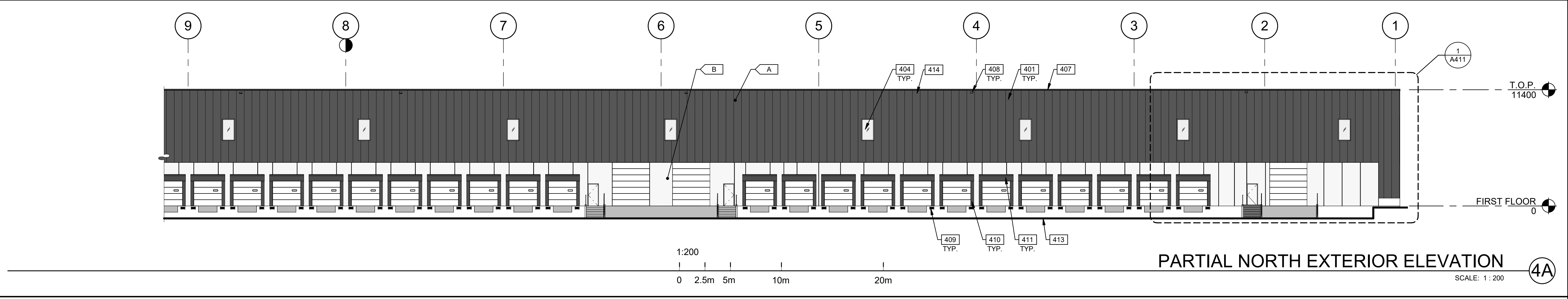
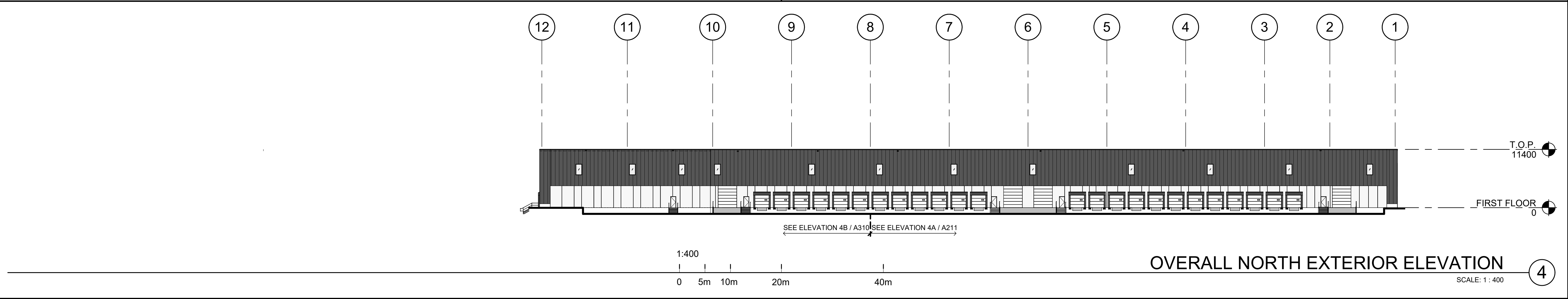
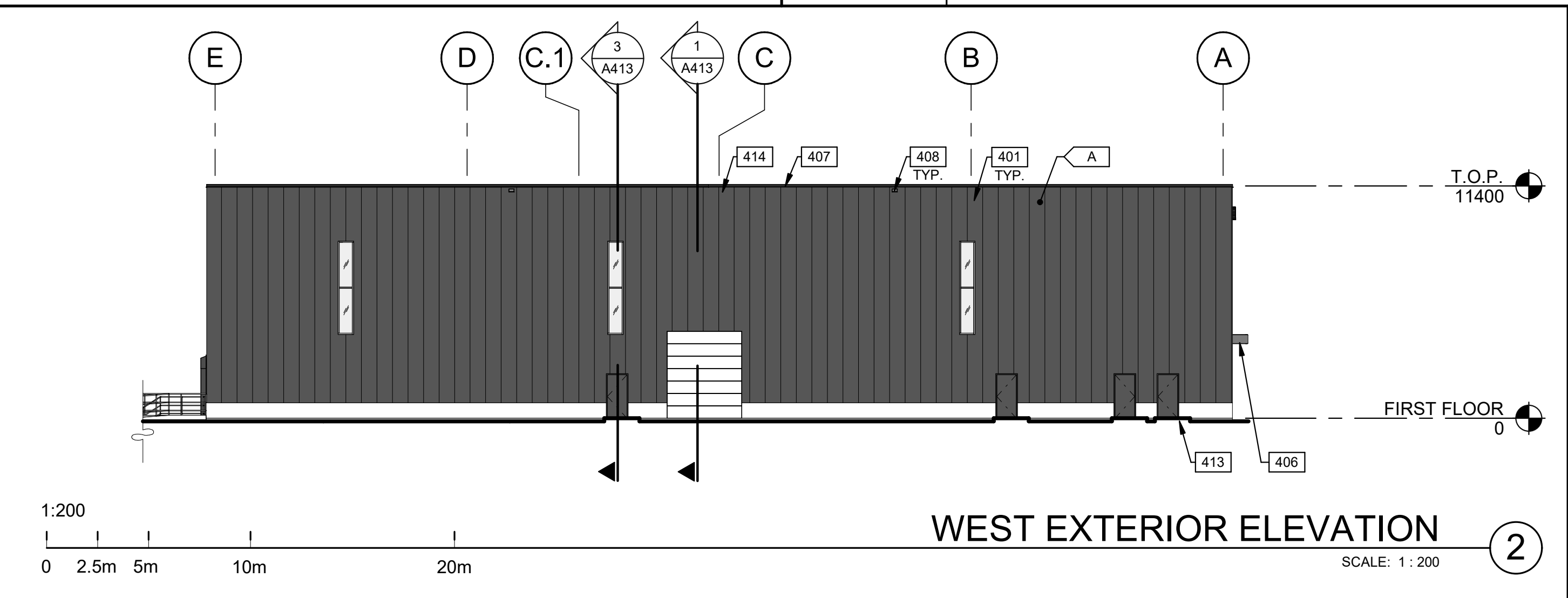


SHEFFIELD INDUSTRIAL BUILDING 4
 2760-2770 SHEFFIELD RD.
 OTTAWA, ONTARIO K1B 3V9.

DATE	ISSUED FOR	REMARKS
31/05/2024	ISSUED FOR SPA	
04/16/2024	85% CD PROGRESS SET	
06/14/2024	90% CD SET	
06/28/2024	85% CD SET	
09/09/2024	REVISION, ROOF, ME ROOMS, DR LOC.	
12/09/2024	ISSUED FOR SPA	

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET
A211



LEGEND

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLOURS:

PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

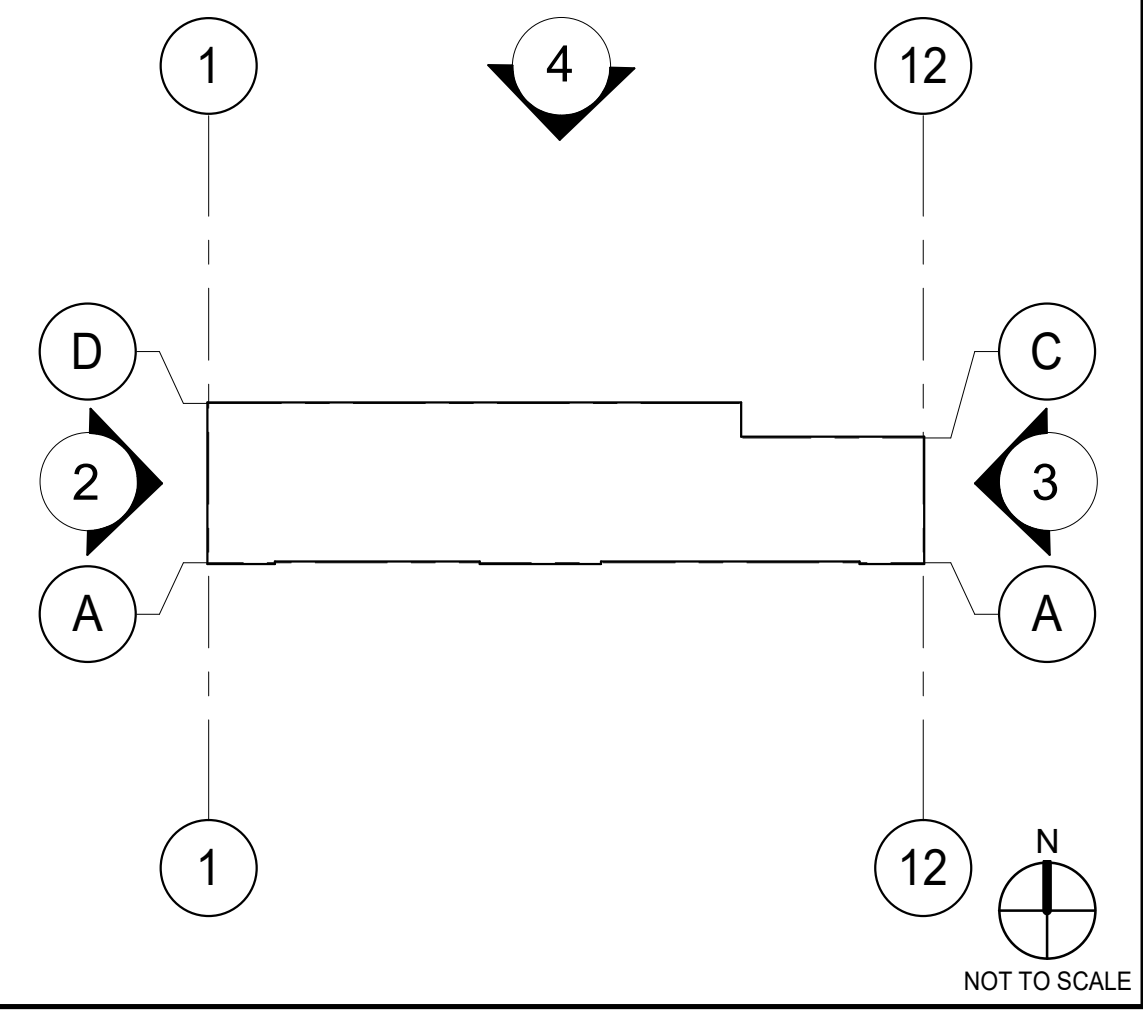
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- SECONDARY COLOUR: WHITE
- ACCENT COLOUR: BRONZE

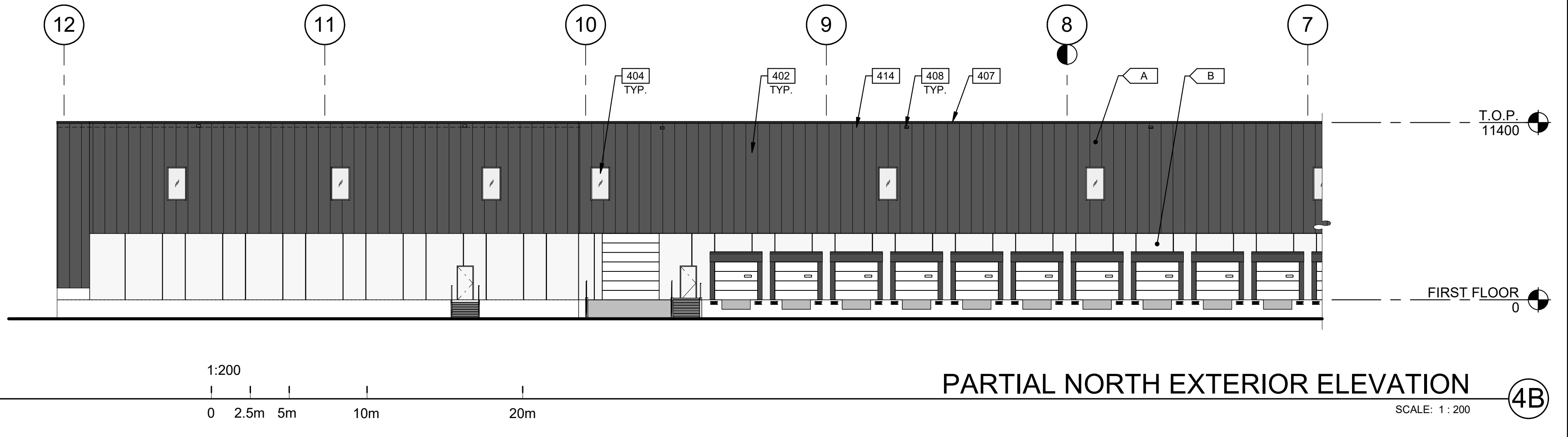
KEYNOTES

SEE SHEET A010 FOR GENERAL NOTES

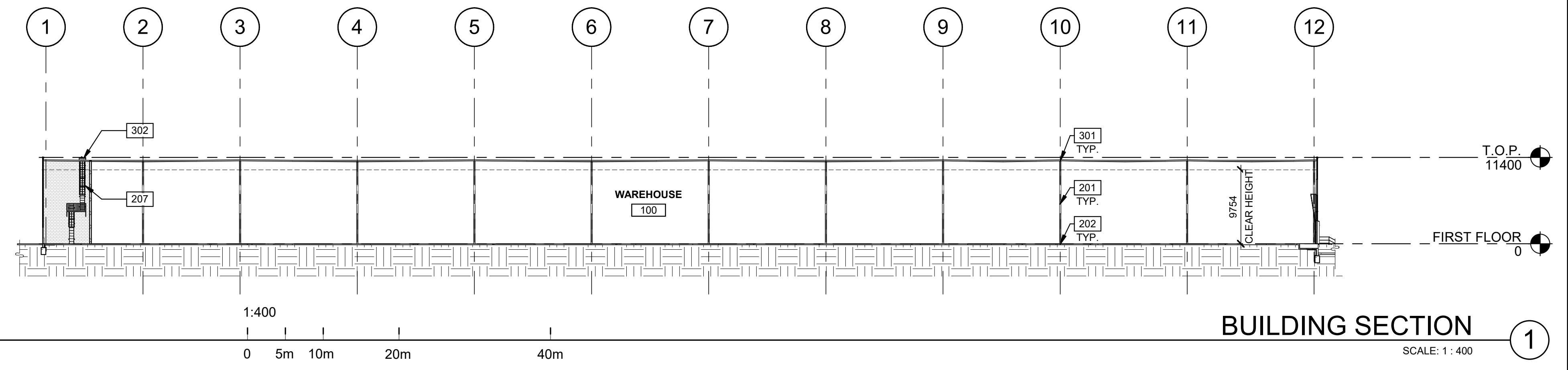
- 401 PRECAST INSULATED CONCRETE PANEL.
- 404 CLERESTORY WINDOW.
- 406 CANOPY WITH HSS PROFILE.
- 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 409 DOCK BUMPER.
- 410 DOCK SEAL.
- 411 DOCK SHELTER.
- 413 FINISH GRADE VARIES. REFER TO CIVIL DRAWINGS.
- 414 LINE OF ROOF BEYOND.

KEY PLAN

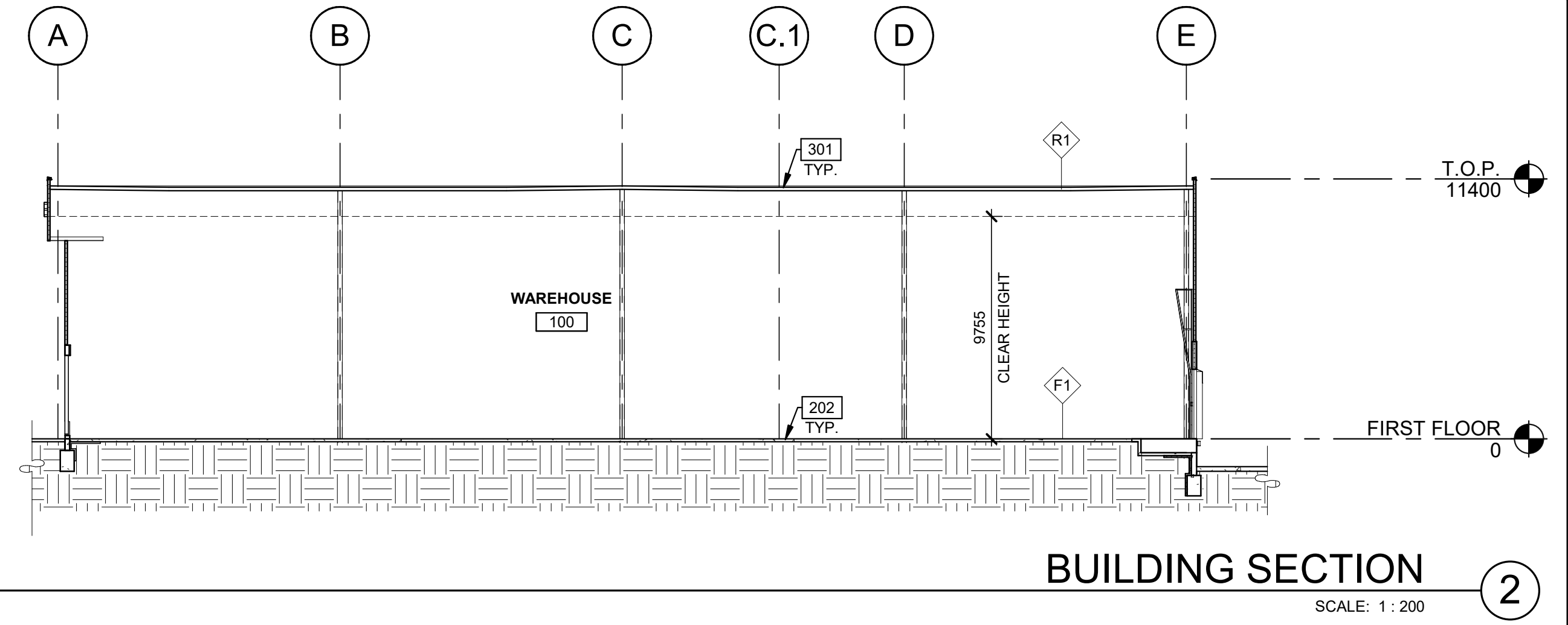




PARTIAL NORTH EXTERIOR ELEVATION (4B)



BUILDING SECTION 1



BUILDING SECTION 2

LEGEND

- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

- COLOURS:**
- PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOUR: BLACK
 - SECONDARY COLOUR: WHITE
 - ACCENT COLOUR: BRONZE

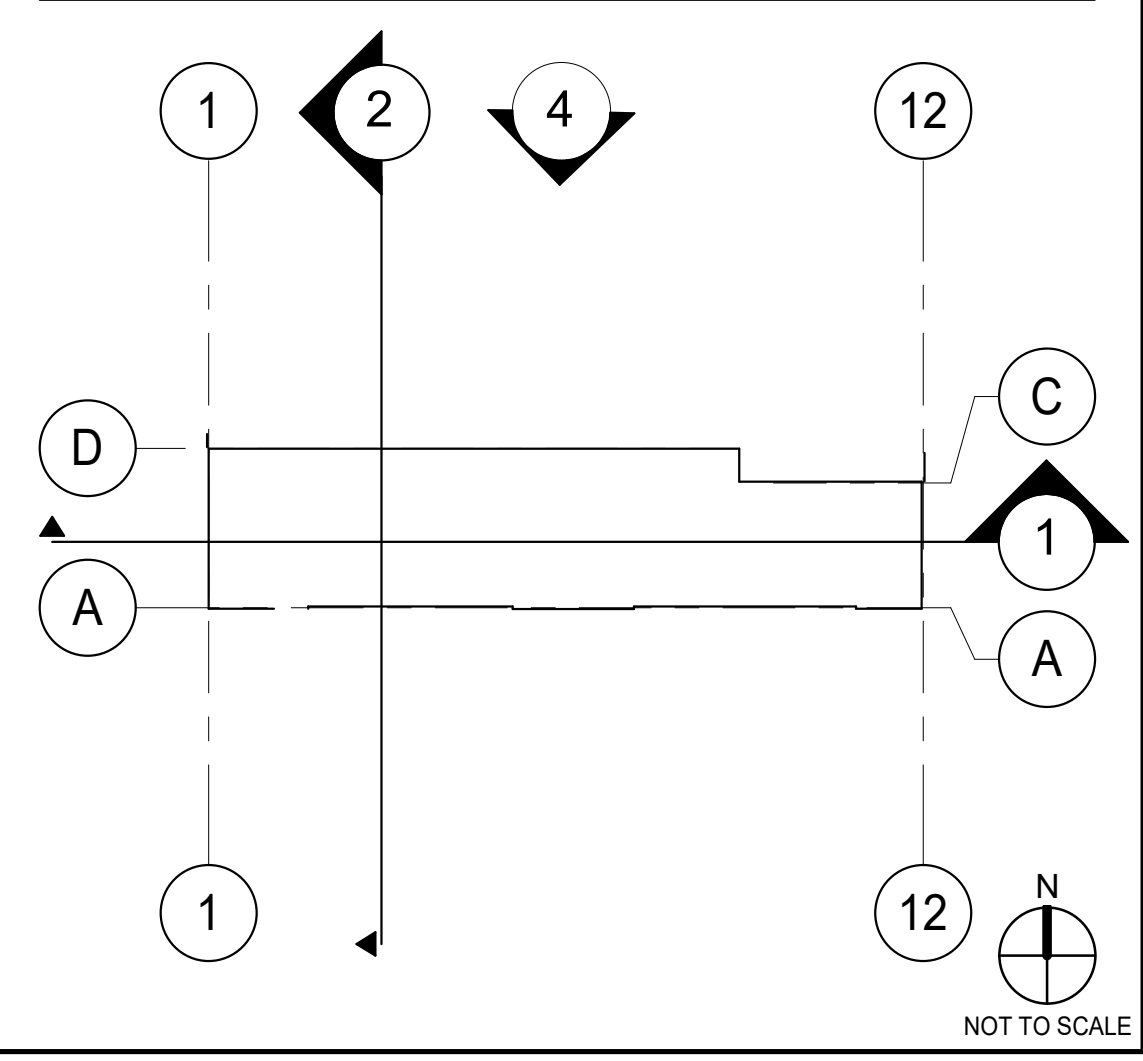
WALL LEGEND

- ARCHITECTURAL PRECAST PANEL
- INSULATED METAL PANEL SYSTEM

KEYNOTES

- SEE SHEET A010 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS.
 - 202 CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS.
 - 207 ROOF ACCESS LADDER.
 - 301 HOT APPLIED RUBBERIZED ASPHALT ROOFING, REFER TO ROOF ASSEMBLY.
 - 302 ROOF HATCH, VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
 - 402 INSULATED METAL PANEL.
 - 404 CLERESTORY WINDOW.
 - 407 CONTINUOUS METAL CAP FLASHING, PREFINISHED TO MATCH ADJACENT WALL.
 - 408 OVERFLOW SCUPPER.
 - 414 LINE OF ROOF BEYOND.

KEY PLAN



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977

ONTARIO ASSOCIATION
OF
ARCHITECTS

JOHN P. HOLLAND
LICENCE
8849

RICHCRAFT

SHEFFIELD INDUSTRIAL BUILDING 4

2760-2770 SHEFFIELD RD.
OTTAWA, ONTARIO K1B 3V9.

EXTERIOR ELEVATION AND BUILDING SECTIONS

DATE	ISSUED FOR	REMARKS
31/05/2024	ISSUED FOR SPA	
04/16/2024	85% CD PROGRESS SET	
06/14/2024	50% CD SET	
06/28/2024	85% CD SET	
09/09/2024	REVISION, ROOF, ME ROOMS, DR LOC.	
12/09/2024	ISSUED FOR SPA	

PA/PM:	J. HOLLAND
DRAWN BY:	A.M.
JOB NO.:	OTW21-0002-01

SHEET

A310