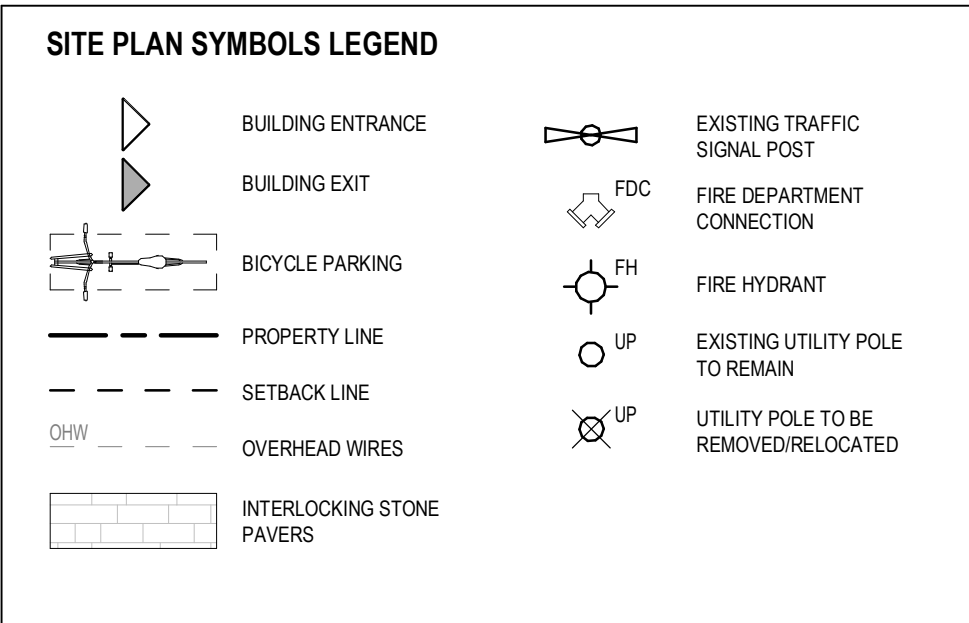


SURVEYOR'S REAL PROPERTY REPORT
WITH TOPOGRAPHIC DETAILS
PART 1 - PLAN SHOWING
PART OF LOT 31
REGISTERED PLAN 294
CITY OF OTTAWA
J.D. BARNES LTD. 2022

SURVEY INFO
SCALE: 1 : 100



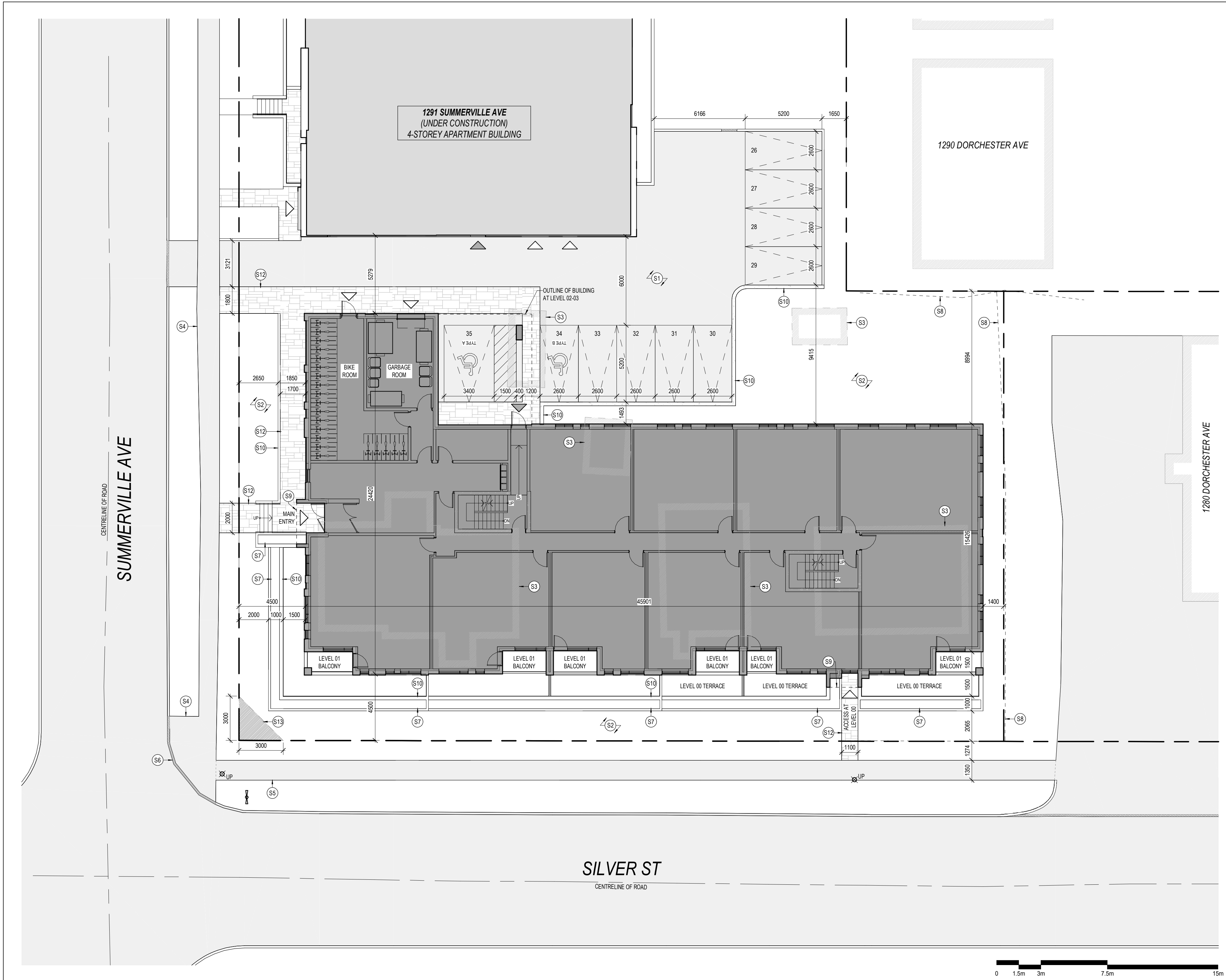
2 LOCATION PLAN
SP-01 SCALE: NTS

KEYNOTE LEGEND

- S1 ASPHALT
- S2 SOFT LANDSCAPING
- S3 EXISTING STRUCTURE TO BE DEMOLISHED
- S4 EXISTING ASPHALT SIDEWALK
- S5 PROPOSED ASPHALT SIDEWALK
- S6 DEPRESSED CURB
- S7 RAISED PLANTER
- S8 EXISTING CHAIN LINK FENCE
- S9 CANOPY ABOVE
- S10 RETAINING WALL
- S11 PLANTING BED
- S12 PAVING STONES
- S13 3m x 3m CORNER SIGHT TRIANGLE

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1 SITE PLAN
SP-01 SCALE: 1 : 150

Site Statistics

Current Zoning Designation:	R4UC2B12
Lot Width:	51.8m
Total Lot Area:	5349.4m ²
Average Existing Grade:	83.39m
Gross Floor Area:	3256.59m ²
Building Area:	216.22m ²
Floor Space Index:	N/A

Proposed Development - Planned Unit Development (96 Total Units)

Existing 3 Storey Low-Rise Apartment Building - 1305 Summerville Avenue (16 Units)	
Existing 3 Storey Low-Rise Apartment Building - 1295 Summerville Avenue (8 Units)	
Under Construction 4 Storey Low-Rise Apartment Building - 1291 Summerville Avenue (16 Units)	
Proposed 4 Storey Low-Rise Apartment Building - 1066 Silver Street (46 Units)	

Zoning Mechanism	Required	Provided
Minimum Lot Width T62A	15m	51.8m
Minimum Lot Area T62A	450m ²	5349.4m ²
Min. Front Yard Setback T44 (1d)	4.5m	4.5m
Corner Side Yard Setback T44 (1d)	4.5m	4.5m
Min. Interior Side Yard Setback T62 (1d)	1.5m + 7.5m after 18m	1.4m
Min. Rear Yard Setback T62 (1a), 144 (5b)	No Minimum	8.7m
Maximum Building Height T62A	11m	10.7m
Max. Projections into Height Limit Section 64	0.3m	0m

Parking Space Rates (Residents)

101 (Sch. 1A - Area X)	24 Spaces (see breakdown below)	35 Spaces
1305 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(a)	
0.5 spaces/unit for 4 units - Table 101(R15)	= 2 Spaces	
1295 Summerville - 18 Units	0 spaces for first 12 units - Section 101(3)(a)	
0.5 spaces/unit for 6 units - Table 101(R15)	= 3 Spaces	
1291 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(a)	
0.5 spaces/unit for 4 units - Table 101(R15)	= 2 Spaces	
1066 Silver - 46 Units	0 spaces for first 12 units - Section 101(3)(a)	
0.5 spaces/unit for 34 units - Table 101(R15)	= 17 Spaces	

Minimum Visitor Parking Rates

101 (Sch. 1A - Area X)	8 Spaces	8 Spaces
0 spaces for first 12 units - Section 102(3)		
0.1 spaces/unit for 84 units - Table 102		

Bicycle Parking Rates (Residents)

111A (Sch. 1 - Area X)	23 Spaces	37 Spaces
0.5 spaces/unit for 46 units (111A)(i)		

Landscaped Area

161 (g)	1604.8m ² (Lots ≥ 450m ² , minimum 30% of lot area)	1690.98m ²
Front Yard Soft Landscaping Table 161	93.25m ² (40% of front yard)	113.89m ²
Rear Yard Soft Landscaping Table 161 (150)(ii)	178.52m ² (50% of rear yard)	113.04m ² (32%)

Width of Private Drive

131 (f)	6m	3.1m
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Minimum 2-Bedroom Unit Rates

161 (14)(v)	12 Units (Minimum 25% of units)	16 Units
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Front Facade Minimum Glazing

161 (g)	129.16m ² (25% of front facade)	239.21m ²
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Corner Side Facade Minimum Glazing

161 (g)(i)	38.34m ² (15% of front facade)	92.49m ²
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Facade Articulation / Balconies

161 (150)(i)(g)	N/A	Porches and balconies provided as required
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SITE & PROJECT STATISTICS
SCALE: 1 : 1

UNIT COUNT

NAME	LVL 00	LVL 01	LVL 02	LVL 03	TOTAL COUNT	PERCENTAGE
1-BEDROOM	5	6	7	7	25	94%
1-BEDROOM + DEN	1	1	1	1	4	9%
2-BEDROOM	3	3	5	5	16	36%
STUDIO	1	0	0	0	1	2%
TOTAL	10	10	13	13	46	100%

AMENITY SCH. (PRIVATE)

LEVEL	NAME	AREA	AREA (SF)
LEVEL 00	TERRACE	102.89 m ²	1107 SF
LEVEL 01	BALCONY	23.73 m ²	255 SF
LEVEL 02	BALCONY	31.83 m ²	343 SF
LEVEL 03	BALCONY	33.77 m ²	363 SF
TOTAL		192.22 m ²	2069 SF

OWNER
CONCORDE PROPERTIES
408 TWEEDSMUIR AVENUE
OTTAWA, ON, K1Z 5N5

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

SURVEYOR
J.D. BARNES LIMITED
62 STACIE DRIVE, SUITE 103
OTTAWA, ON, K2K 2A9

PLANNER
NOVATECH
240 MICHAEL COWPLAND DR
SUITE 200
OTTAWA, ON, K2M 1P6

CIVIL ENGINEER
D.B. GRAY ENGINEERING INC.
700 LONG POINT CIRCLE
OTTAWA, ON, K1T 4E9

LANDSCAPE ARCHITECT
RUHLAND & ASSOCIATES LTD.
1750 COURTWOOD CRESCENT
SUITE 200
OTTAWA, ON, K2C 2B5

PARKING SCH. (VEHICLE)

LEVEL	COUNT
LEVEL 01	43
TOTAL	43

PARKING SCH. (BICYCLE)

LEVEL	COUNT
LEVEL 01	37
TOTAL	37

RENTABLE AREA (RESIDENTIAL)

LEVEL	AREA	AREA (SF)
LEVEL 00	590.41 m ²	6355 SF
LEVEL 01	594.80 m ²	6400 SF
LEVEL 02	786.76 m ²	8490 SF
LEVEL 03	782.41 m ²	8422 SF
TOTAL	2756.17 m ²	29667 SF

GROSS FLOOR AREA

LEVEL	AREA	AREA (SF)
LEVEL 00	751.46 m ²	8089 SF
LEVEL 01	816.22 m ²	8786 SF
LEVEL 02	867.19 m ²	9227 SF
LEVEL 03	865.84 m ²	9198 SF
TOTAL	3275.71 m ²	35299 SF

ISSUE RECORD

NO.	ISSUED FOR SITE PLAN CONTROL	DATE
10	REISSUED FOR SITE PLAN CONTROL	2024-11-26
9	REISSUED FOR SITE PLAN CONTROL	2024-07-25
8	ISSUED FOR COORDINATION	2024-05-27
7	ISSUED FOR COORDINATION	2024-05-17
6	REISSUED FOR SITE PLAN CONTROL	2024-04-15
5	ISSUED FOR SITE PLAN CONTROL	2024-03-05
4	ISSUED FOR COORDINATION	2024-02-14
3	ISSUED FOR COORDINATION	2024-01-24
2	ISSUED FOR COORDINATION	2023-11-29
1	ISSUED FOR COORDINATION	2023-10-16



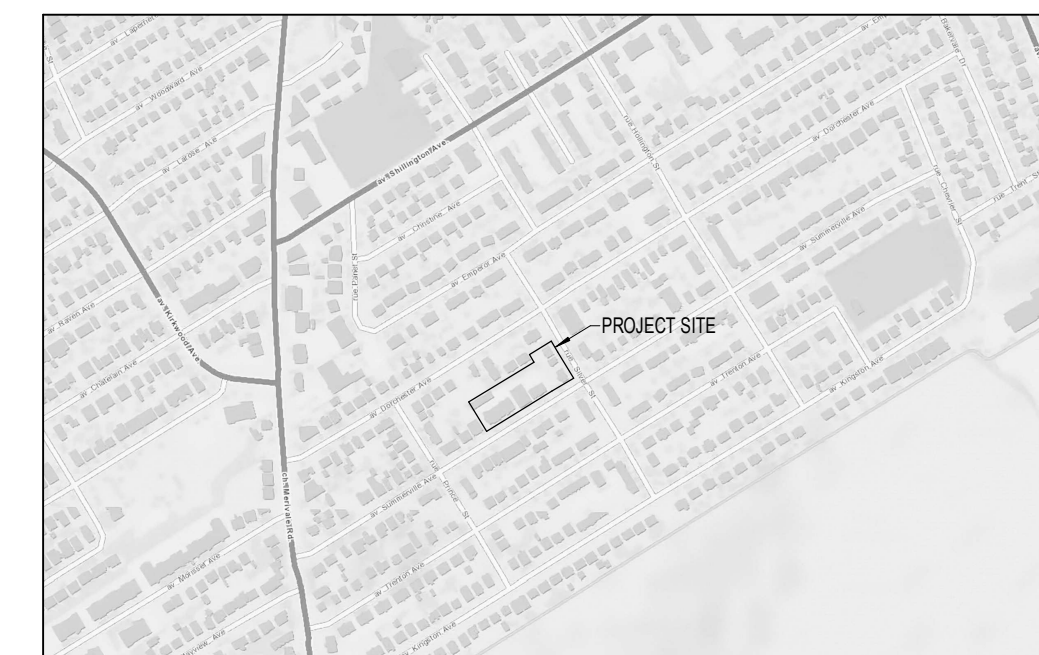
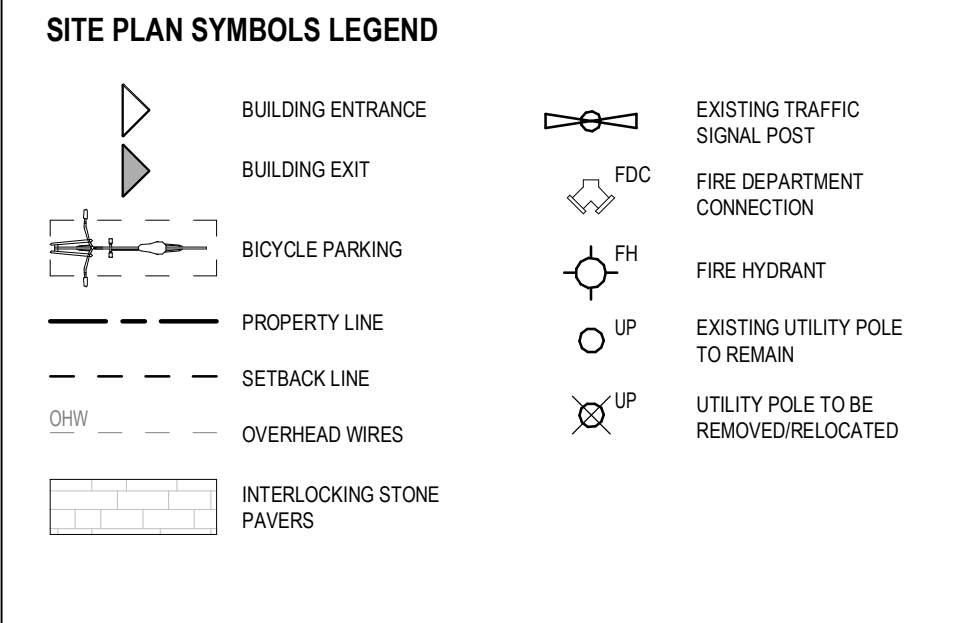
1066 SILVER
1066 Silver Street
Ottawa, ON K1Z 6H9

PROJ SCALE DRAWN REVIEWED

2314	NOTED	BH	RMK
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SITE PLAN

SP-01



2 LOCATION PLAN
SCALE: NTS

KEYNOTE LEGEND

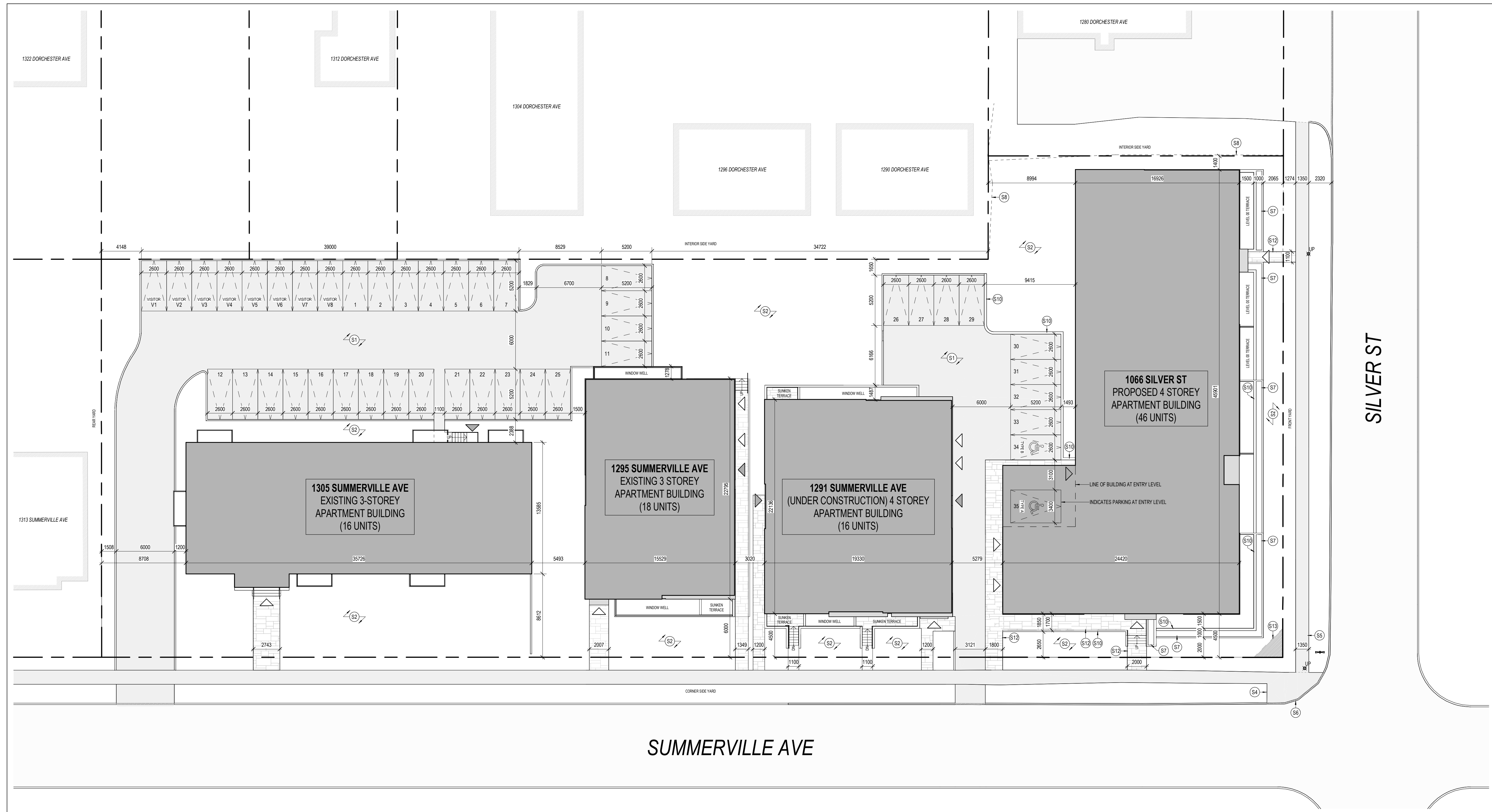
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- S13 3m x 3m CORNER SIGHT TRIANGLE

PUD PARKING STATISTICS

Total Number of Units:	96 Units
Total Required Parking:	32 Spaces (24 Resident + 8 Visitor)
Total Provided Parking:	43 Spaces (35 Resident + 8 Visitor)

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4	ISSUED FOR COORDINATION	2024-02-14
3	ISSUED FOR COORDINATION	2024-01-24



1066 SILVER
1066 Silver Street
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2314	NOTED	BH	RMK

CONSOLIDATED SITE PLAN

1 CONSOLIDATED SITE PLAN
SCALE: 1 : 200

SP-02