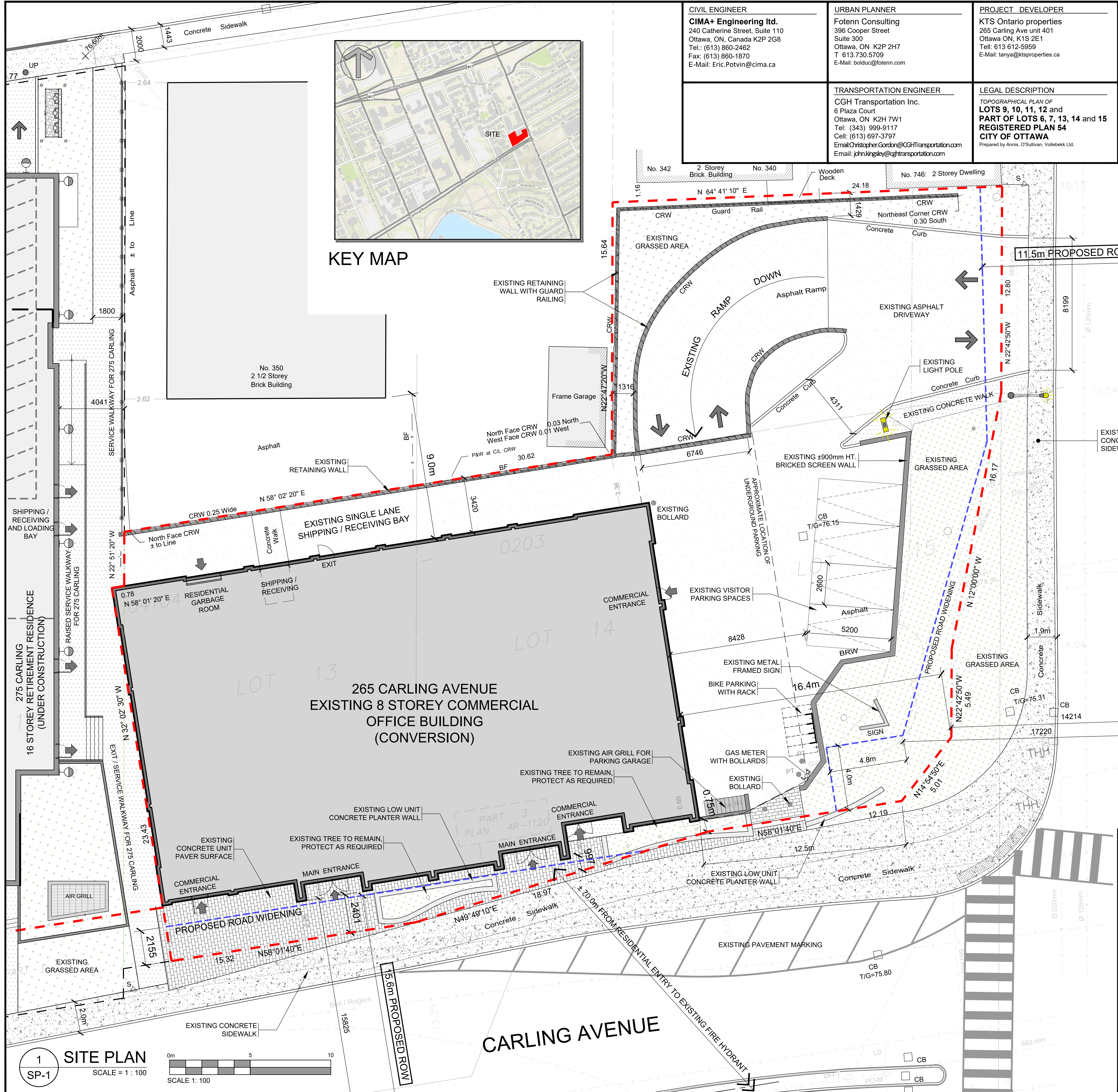




CIVIL ENGINEER

CIMA+ Engineering Ltd.

240 Catherine Street, Suite 110

Ottawa, ON, Canada K2P 2G8

Tel: (613) 860-2462

Fax: (613) 860-1870

E-Mail: Eric.Potvin@cima.ca

URBAN PLANNER

Fotenn Consulting

396 Cooper Street

Ottawa, ON K2P 2H7

Tel: (613) 612-5569

E-Mail: bolduc@fotenn.com

PROJECT DEVELOPER

KTS Ontario properties

265 Carling Ave unit 401

Ottawa, ON, K1S 2E1

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E-Mail: tanya@ktsproperties.ca

TRANSPORTATION ENGINEER

CGH Transportation Inc.

6 Plaza Court

Ottawa, ON K2H 7W1

Tel: (343) 999-9117

Cell: (613) 697-3797

Email: Christopher.Gordon@CGHtransportation.com

Email: john.kingsley@cgtransportation.com

LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF

LOTS 9, 10, 11, 12 and

PART OF LOTS 6, 7, 13, 14 and 15

REGISTERED PLAN 54

CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebek Ltd.

PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation	EAST - AM(2022) (H28)	SITE AREA	0.166 ha.	1,659.3 sq. m.	17,860 sq. ft.
ZONING	REQUIRED	PROVIDED			
BUILDING HEIGHT - BUILDING 'A' (EAST)	28.0m	28.0m			
BUILDING 'A' RESIDENTIAL UNIT COUNT	-	70			
BUILDING 'A' COMMERCIAL AREA	-	352.5m²			
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	29	29			
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT	6	6			
PARKING - COMMERCIAL ON GROUND FLOOR - NOT REQUIRED	0	0			
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	35	35			
BICYCLE PARKING - COMMERCIAL - 1 PER 250m² GFA	3	3			
AMENITY AREA - TOTAL PER UNIT - 6.0m²	6.0m / 6.7m	6.0m / 6.7m			
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²	420.0m²	420.0m²			
	210.0m²	210.0m²			

BUILDING STATISTICS

GROSS BUILDING AREA

(CITY OF OTTAWA'S DEFINITION)

PARKING LEVEL	0.0 sq. m.	0.0 sq. ft.
GROUND FLOOR - RETAIL / OFFICE (ALTERED)	187.4 sq. m.	2,017 sq. ft.
2nd & 3rd FLOOR	2 x 499.5 sq. m.	999.0 sq. ft.
	2 x 5,376 sq. ft.	10,752 sq. ft.
4th to 8th FLOOR	5 x 499.5 sq. m.	2,497.5 sq. m.
	5 x 5,376 sq. ft.	26,883 sq. ft.
TOTAL AREA	3,683.5 sq. m.	39,649 sq. ft.

UNIT STATISTICS

STUDIO UNIT	60%	42
1 BEDROOM UNIT	20%	14
2 BEDROOM UNIT	20%	14
TOTAL		70

RESIDENTIAL UNIT AREA

3,498.5 sq. m.	37,636 sq. ft.
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COMMERCIAL RETAIL / PSB

97.2 sq. ft.	1,046 sq. ft.
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COMMERCIAL OFFICE

90.2 sq. m.	971 sq. ft.
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COMMERCIAL MEDICAL FACILITY (REMOVED IN PHASE 2)

165.1 sq. m.	1,777 sq. ft.
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CAR PARKING

ZONING AREA "Y"

REQUIRED		
RESIDENCE	- 0.5 PER UNIT AFTER 12	29
VISITOR	- 0.1 PER UNIT AFTER 12	6
1st FL. COMMERCIAL	- NOT REQUIRED	0
TOTAL		35
PROVIDED		
265 CARLING - OFFICE	- 1.0 PER 100m² OF G.F.A.	0
265 CARLING - RETAIL	- 1.0 PER 100m² OF G.F.A.	0
265 CARLING - MEDICAL	- 2.0 PER 100m² OF G.F.A.	0
265 CARLING - RESIDENCE	- 0.5 PER UNIT AFTER 12	29
265 CARLING - VISITOR	- 0.1 PER UNIT AFTER 12	6
TOTAL		35

LOCATION OF PARKING

265 CARLING - AT GRADE	4
265 CARLING - P1 LEVEL	17
275 CARLING - P1 LEVEL	13
TOTAL	35

BICYCLE PARKING

REQUIRED

DWELLING UNIT	- 0.5 PER UNIT (70 UNITS)	35
COMMERCIAL - OFFICE	- 1.0 PER 250m² OF G.F.A.	1
COMMERCIAL - RETAIL	- 1.0 PER 250m² OF G.F.A.	1
COMMERCIAL - MEDICAL	- 1.0 PER 250m² OF G.F.A.	1
TOTAL		38
UNDERGROUND	33	
EXTERIOR AT GRADE	5	
TOTAL	38	

AMENITY SPACE

ROOF COMMUNAL TERRACE (PHASE 1) =	180.0 sq. m.
ROOF COMMUNAL TERRACE (PHASE 2) =	80.0 sq. m.
1st FLOOR AMENITY ROOM (PHASE 2) =	160.0 sq. m.
TOTAL =	420.0 sq. m.
TOTAL COMMUNAL =	200.0 sq. m.
REQUIRED - 6.0m² PER UNIT (70) =	420.0 sq. m.
REQUIRED COMMUNAL @ 50% =	210.0 sq. m.
PHASE 1 REQUIRED - 6.0m² PER UNIT (30) =	180.0 sq. m.

WASTE REQUIREMENT

(70 UNITS)

GARBAGE	- 0.11 PER UNIT	8 YARDS
RECYCLING GMP	- 0.018 PER UNIT	2 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	3 YARDS
COMPOST	- 240L PER 50 UNITS	2

SITE AREA

EXISTING BUILDING =	671.0 sq. m.	40.5%
EXISTING SURFACE =	655.2 sq. m.	39.5%
EX. LANDSCAPE OPENED SPACE =	333.1 sq. m.	20.0%
TOTAL =	1,659.3 sq. m.	100.00%

NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR PRE CONSULTATION	Oct. 16, 23
2	ISSUED FOR CONSULTANT / OWNER REVIEW	Feb. 16, 24
3	REVISSED FOR FULL CONVERSION	Mar. 14, 24
4	ADDED ROW PROTECTION	Apr. 10, 24
5	ISSUED FOR PHASE 3 PRE-CONSULTATION	May 22, 24
6	REVISED AS PER CITY COMMENTS	Nov. 26, 24

ARCHITECT SEAL:

ARCHITECT:

CLIENT:

ARCHITECT:

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA

ONTARIO

SHEET TITLE:

SITE PLAN

DRAWN:

R.V.

CHECKED:

R.V.

SCALE:

1:150

SHEET No.

SP-1

PROJECT No.

2316

PAPER SIZE: ISO Full Bleed B1 (707.00 X 1000.00 mm) | LOT DATE: Wednesday, November 27, 2024 | PLOT SCALE: 1:1 | PEN STYLE: 0-RLA-MASTER-100%.ctb | F:\2023\2316 - 265 Carling Ave (Change Of Use)\01 Design Development\01 Site Plan\2316 265 Carling SP-1-Site Plan 2024 10 30.dwg | DWG # 19132