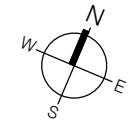


(Formerly Somerset Street)

PIN 04247 - 0250

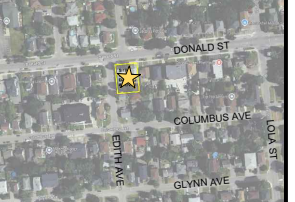
# DONALD STREET



## ARCHITECTURE + PLANNING

414 Churchill Avenue North  
Ottawa, Ontario, K1Z 3C5  
613-853-3022 rosaline@rjhil.ca rjhil.ca

No.	Y / M / D	REVISION
5.	2025-01-24	ISSUED FOR SITE PLAN CONTROL REVISED DATE & FILE NUMBER
4.	2024-12-20	REVISED FOR SITE PLAN CONTROL
3.	2024-08-14	ISSUED FOR SITE PLAN CONTROL
2.	2024-07-25	ISSUED FOR COORDINATION
1.	2024-05-28	ISSUED FOR COORDINATION



### CONSULTANTS

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Annis O'Sullivan Vollebakk Ltd.  
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Cleland Jardine Engineering Ltd.  
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It is the responsibility of the appropriate contractor to check & verify all dimensions on site and report all errors &/or omissions to the architect. All contractors must comply with all pertinent codes & by-laws, & use proprietary products as directed by the manufacturer. Do not scale drawings. Copyright reserved.



DONALD / EDITH APARTMENTS  
304-308 Donald St, Ottawa, Ontario

### SITE PLAN

Drawn By:	AW/RV/MR	Date:	DEC 2024	A0.1
Project No:	2408	Scale:	1:100	

*Allison Hamlin*

**ALLISON HAMLIN**  
MANAGER, DEVELOPMENT REVIEW ALL WARDS  
PLANNING, DEVELOPMENT & BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Allison Hamlin at 3:11 pm, Jan 31, 2025

**SITE NOTES**

LEGAL BOUNDARY INFORMATION WAS DERIVED FROM SURVEY COMPLETED BY ANNIS O'SULLIVAN VOLLEBAKK LTD. SURVEYOR ANDREW SHEPH, DATED APRIL 1, 2024

PIN - 04251-0012 & 04251-0013  
READ DOCUMENTS IN CONJUNCTION WITH:

-SITE SERVICING & GRADING PLANS BY: T.L. Mak Engineering Consultants Ltd.

-TREE INFORMATION REPORT BY: James B. Lennox & Associates Inc.

-LEGAL SURVEY BY: Annis O'Sullivan Vollebakk Ltd.

**LEGEND**

- AC - AIR CONDITIONING UNIT
- BW - BAY WINDOW
- CB - CATCH BASIN
- CC - CONCRETE CURB
- CP - CONCRETE PAD
- DP - DEPRESSED CURB
- FH - FIRE HYDRANT
- K - KIOSK (BELL, ROGERS, TRAFFIC)
- LS - LIGHT STANDARD
- MB - MAILBOX (CANADA POST)
- MH - MAINTENANCE HOLE
- OHW - OVERHEAD WIRE
- RW - RETAINING WALL
- SBFY - SETBACK FRONT YARD
- SBRY - SETBACK REAR YARD
- SBSY - SETBACK SIDE YARD
- SE - SUNKEN ENTRY
- T - TRANSFORMER
- UP - UTILITY POLE
- WS - WATER ENTRY & SERVICING
- WW - WINDOW WELL

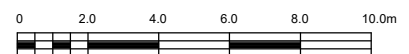
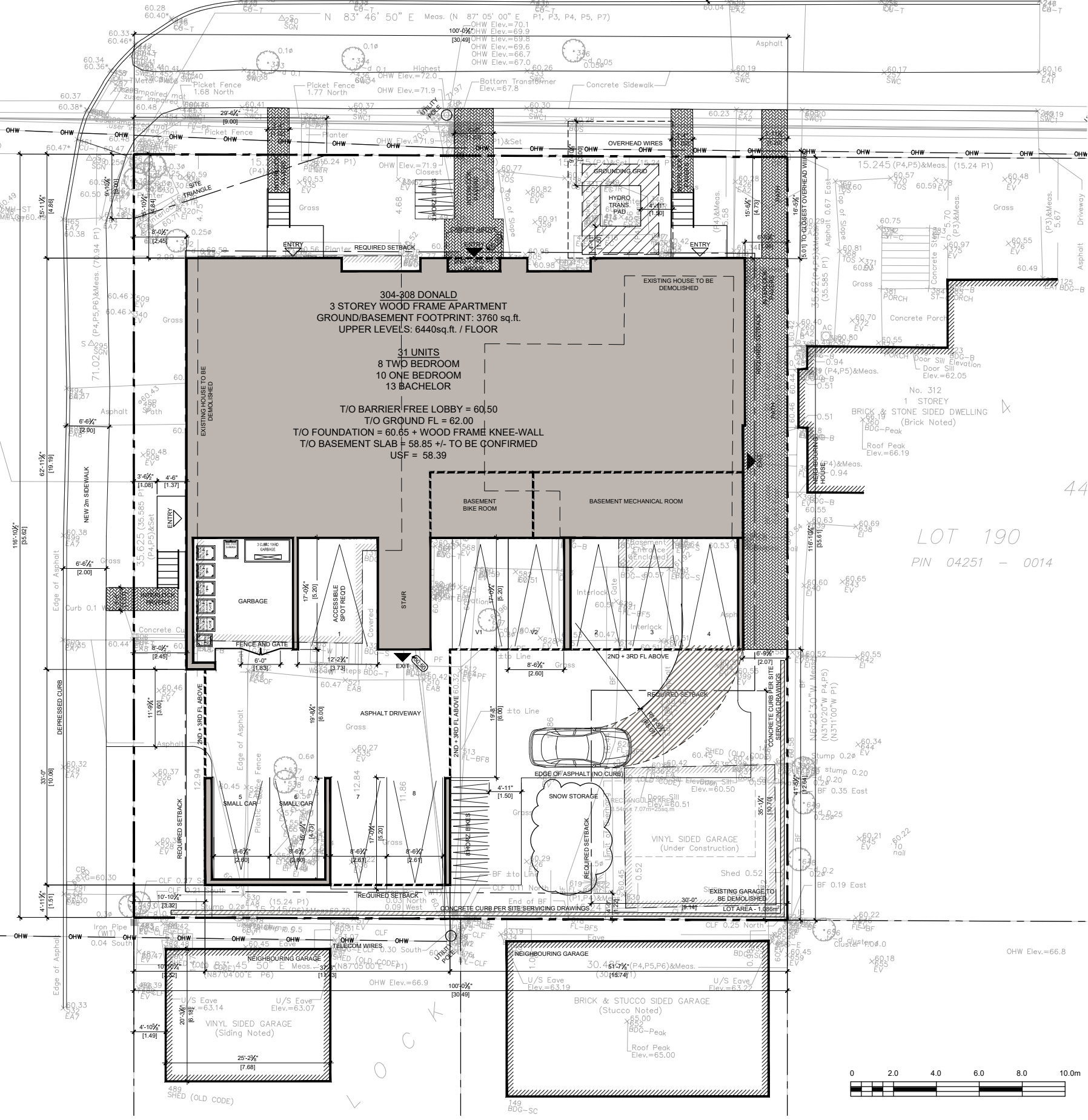
**NOTES:**

- \*RAUC ZONING DESIGNATION
- \*AREA X AS PER SCHEDULE 1A

PERFORMANCE STANDARD	REQUIRED	PROVIDED
MIN. LOT WIDTH (162B(11))	15m	30.5m
MIN. LOT AREA	460m <sup>2</sup>	1026m <sup>2</sup>
MAX. LOT AREA (1.162B(12))	1370m <sup>2</sup>	1026m <sup>2</sup> - VARIANCE REQ'D
MAX. HEIGHT	11m	11m
MIN. SIDE YARD SETBACK	1.5m	1.9m
MIN. FRONT YARD SETBACK	2.5m	4.8m
MIN. CORNER SETBACK (S.123(4B))	2.75m (MATCH NEIGHBOUR)	2.45m - VARIANCE REQ'D
MIN. REAR YARD SETBACK (1.144A)	30% OF LOT DEPTH (10.7m)	12.8m
MIN. REAR CORNER (S.144(5B))	1.2m	1.2m
MIN. INTERIOR YARD (S.144(6))	30% OF LOT DEPTH (9.4m)	15.7m
MIN. PRINCIPAL ENTRANCES PROVIDING STREET ACCESS (S.161(5))	3 FACING DONALD STREET, 1 FACING EDITH AVENUE	3 FACING DONALD STREET, 1 FACING EDITH AVENUE
MIN. PRINCIPAL ENTRANCE FOR EVERY 12m (S.161(15)(i))	1 (TOTAL 3)	3
MIN. GLAZING ON FRONT FACADE (S.161(15))	25%	34%
MIN. FRONT FACADE RECESSED AN ADDITIONAL 0.6m FROM THE FRONT SETBACK LINE (S.161(15)(ii))	20%	34%
MIN. 2 BDRM UNITS (S.161(16B))	25%	8 (25.8%)
MIN. PARKING SPACES (S.101(3a))	0.5 PER DWELLING UNIT (10)	8 - VARIANCE REQ'D
MIN. VISITOR PARKING SPACES	0.1 PER DWELLING UNIT (2)	1
MIN. BICYCLE PARKING SPACES	0.5 PER DWELLING UNIT (10)	31
AMOUNT OF BIKE PKG WHICH MAY BE LOCATED IN A LANDSCAPED AREA AT GRADE	50% OF REQ'D (8), OR 15 SPACES, WHICHEVER IS GREATER	11
MIN. SOFT LANDSCAPING IN THE FRONT YARD (1.161)	40%	66%
MIN. SOFT LANDSCAPING IN THE REAR YARD (S.161(15b.ii))	50%	50.1%
MIN. AGGREGATED RECTANGULAR AREA WHOSE LONGER DIMENSION IS NOT MORE THAN TWICE ITS SHORTER DIMENSION (S.161(15b.iii))	25m <sup>2</sup>	PROVIDED
FRONT YARD AND CORNER SIDE YARD MUST HAVE PARKING PROHIBITORS (S.161(15e.ii))	PROVIDED	PROVIDED

EDITH AVENUE  
(Formerly Victor Street)

PIN EDITH AVENUE



D07-12-24-0088