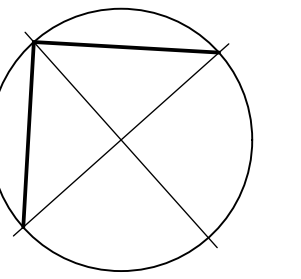


**OWNER:**  
**1274001 CANADA INC.**  
100-768 Boulevard St Joseph  
Gatineau, QC J8Y 4B8

**PLANNING, CIVIL & TRAFFIC CONSULTANT:**  
**J.L. RICHARDS & ASSOCIATES LTD.**  
1000-343 Preston Street  
Ottawa, ON K1H 1N4

**LANDSCAPE ARCHITECT:**  
**JAMES B. LENNOX & ASSOCIATES INC.**  
3332 Carling Avenue  
Ottawa, ON K2H 5A8

North



Revisions

No.	By	Description	Date
08	IW	SITE PLAN APPLICATION	08 DEC 2023
09	IW	REVISED FOR SPA	01 MAR 2024
10	IW	REVISED FOR SPA	14 AUG 2024
11	IW	SPA COMMENTS 2025-01-15	16 JAN 2025
12	IW	JLR ADJUSTMENTS	30 JAN 2025
13	IW	REVISED FOR SPA	31 JAN 2025

Project

**NEW RESTAURANT, CONVENIENCE STORE & GAS BAR**

2130 BRIAN COBURN BLVD.

Drawing

**SITE PLAN**

Scale AS SHOWN Stamp

Drawn AK / KE

Checked



Project No. 22-127 Drawing No. SP-A01

Date 12 MAY 2022

PLAN NO. 19205

**SITE INFORMATION**

SITE AREA: 7,717sm / 1.93 acres

NOTE THAT PROPERTY BOUNDARY INFORMATION HAS BEEN TAKEN FROM SURVEY PREPARED BY STANTEC, DATED 12 OCTOBER 2023.

**BUILDING DATA:**

AREA CALCULATIONS:

**Gross Area** (by Ontario Building Code definition):  
The total area of all floors above grade measured between the outside surfaces of exterior walls is:

Retail Building: 686.2sm / 7,386sf  
Carwash Building: 112.9sm / 1,215sf  
Total Gross Area: 799.1sm / 8,600sf

**Gross Floor Area** (City of Ottawa Zoning Bylaw definition for the purpose of determining maximum building area and parking requirements): The total floor area measured from the interior of outside walls excluding mechanical/electrical service rooms, stairwells, elevator shafts, parking/loading facilities, washrooms and storage areas:

GFA (Restaurant/Retail Bldg): 602sm / 6,480sf

**ZONING**

**DESIGNATION:** GM[2546] H(14.5)  
General Mixed use, Exception 2546

**PERMITTED NON RESIDENTIAL USES:**

- Section 187: Convenience Store, Drive-through Facility, Restaurant, Retail Store, Car Wash, Gas Bar
- Exception 2546: Convenience Store, Drive-through Facility, Restaurant, Retail Store, Car Wash, Gas Bar

**MINIMUM SETBACKS:**

- Table 187(c): Front & Corner Yard: 3.0m
- Table 187(d): Interior Side Yard: 5.0m (abutting res. zone)
- Table 187(e.ii): Rear Side Yard: 7.5m (abutting res. bldg)

**BUILDING HEIGHT:**

- Exception 2546: 14.5m maximum permitted, 5.5m proposed

**FSI:**

- Table 187(g): 2.0 times coverage (15,000sm) maximum permitted, 0.1 times coverage (799.1sm) proposed

**MINIMUM WIDTH OF LANDSCAPED AREA:**

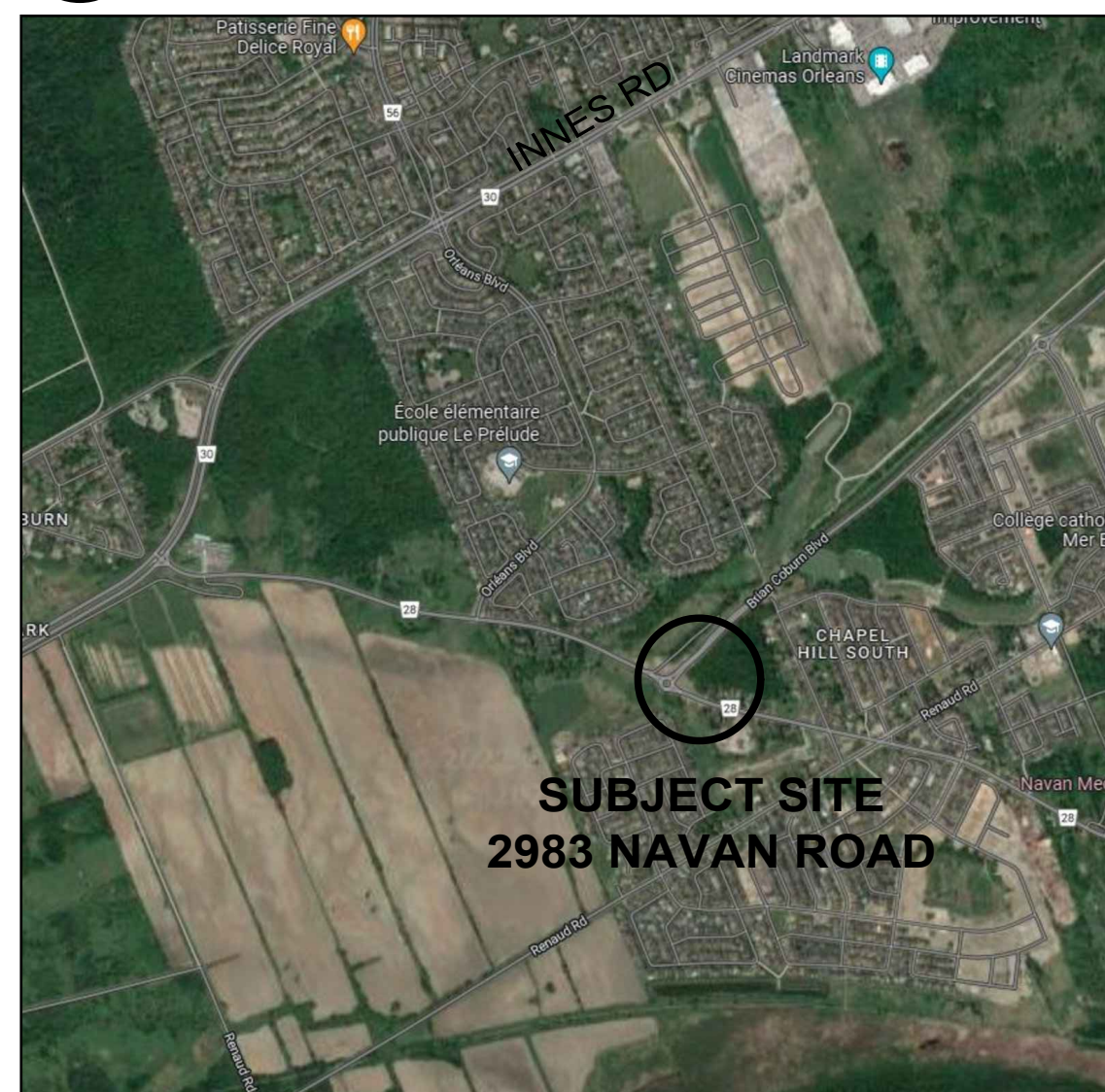
- Table 187(h.i): Abutting a Street: 3.0m
- Table 187(h.ii): Abutting a Res. Zone: 3.0m

**PARKING:**

- Table 101: Convenience Store: 3.4 cars per 100sm of GFA, Fast-Food Restaurant: 10 cars per 100sm of GFA, 9 for Convenience Store (266sm/100x3.4), 34 for Restaurant (336sm/100x10)
- Required: 58 cars (not incl. fuel dispensers & drive-through)
- Provided: 58 cars (not incl. fuel dispensers & drive-through)

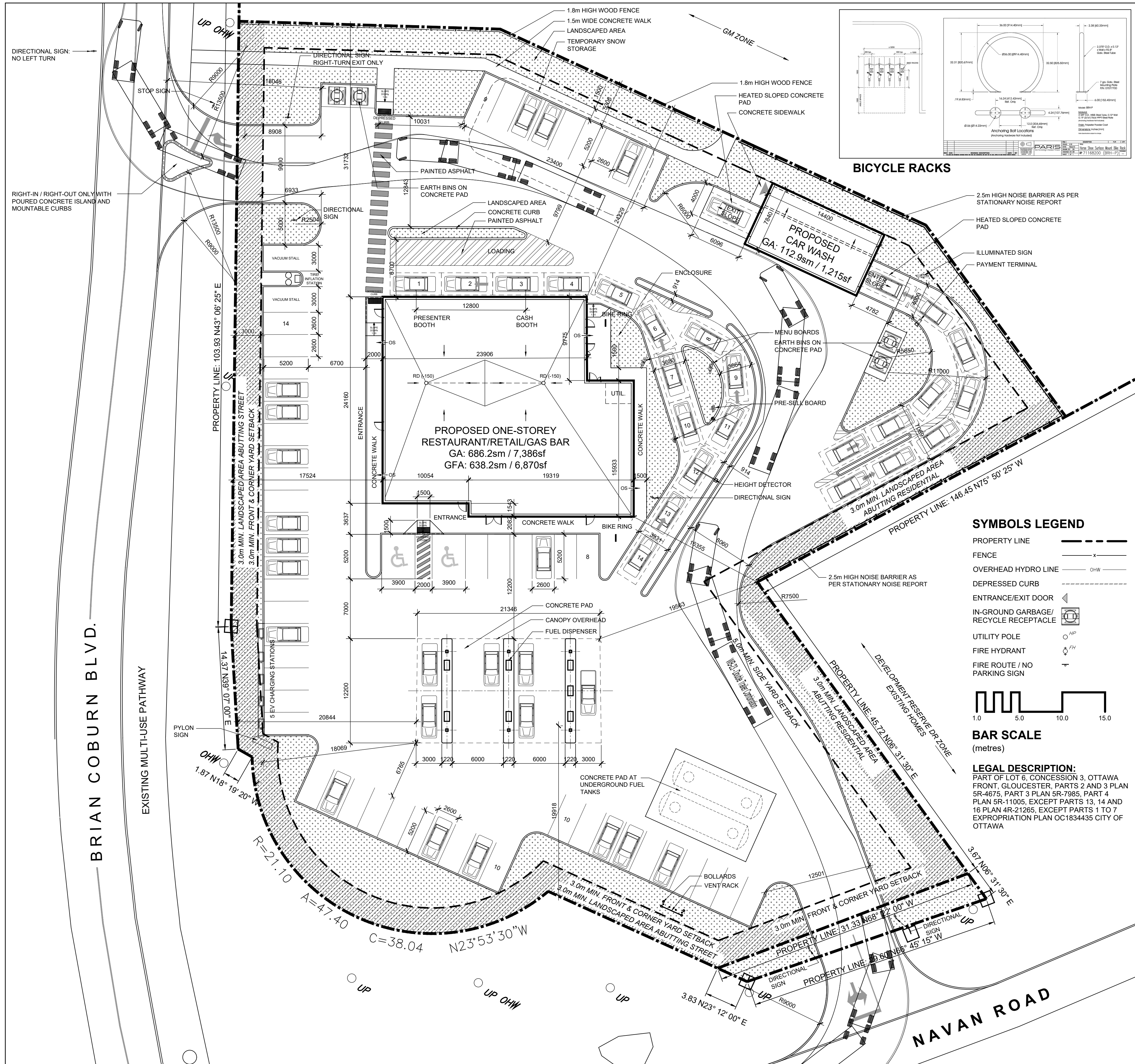
**02 SITE & BUILDING DATA and ZONING REVIEW**

SP-A01 SCALE: NTS



**01 LOCATION PLAN**

SP-A01 SCALE: NTS



**03 SITE PLAN**

SP-A01 SCALE: 1:250