

SITE RE-DEVELOPMENT MACEWEN PETROLEUM INC 5546 ALBION RD S, OTTAWA



KEY PLAN (N.T.S.)

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LRL

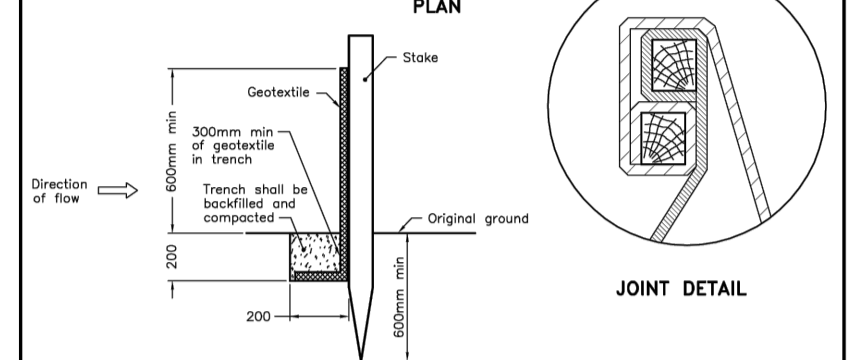
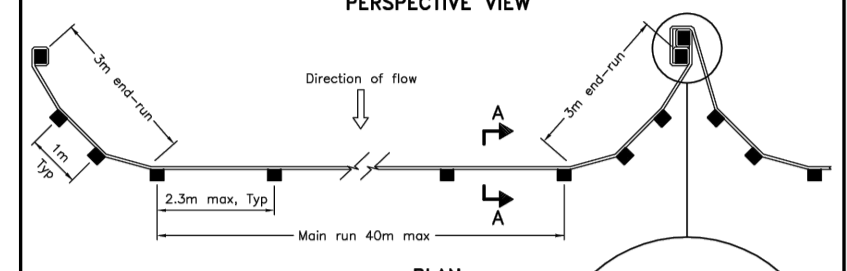
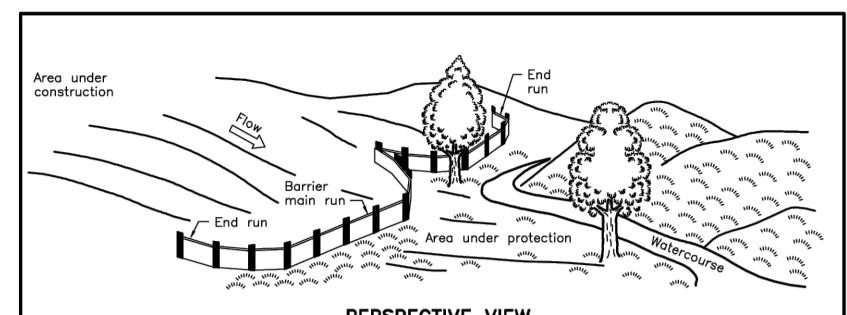
ENGINEERING | INGÉNIERIE

5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

SITE RE-DEVELOPMENT
 5546 ALBION RD, OTTAWA
 REV.06 - RE-ISSUED FOR APPROVAL - JANUARY 24th 2025
 LRL PROJECT no: 01348



NOT AUTHENTIC UNLESS SIGNED AND DATED

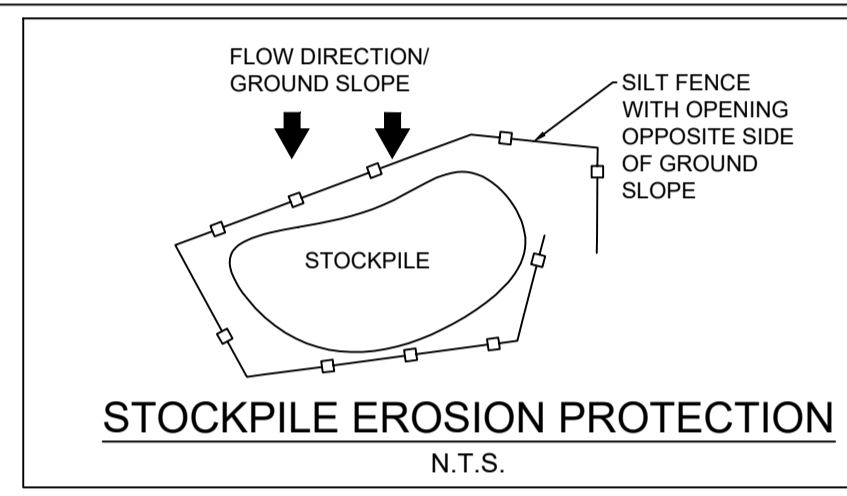


SECTION A-A

NOTE:
A. All dimensions are in millimetres unless otherwise shown.

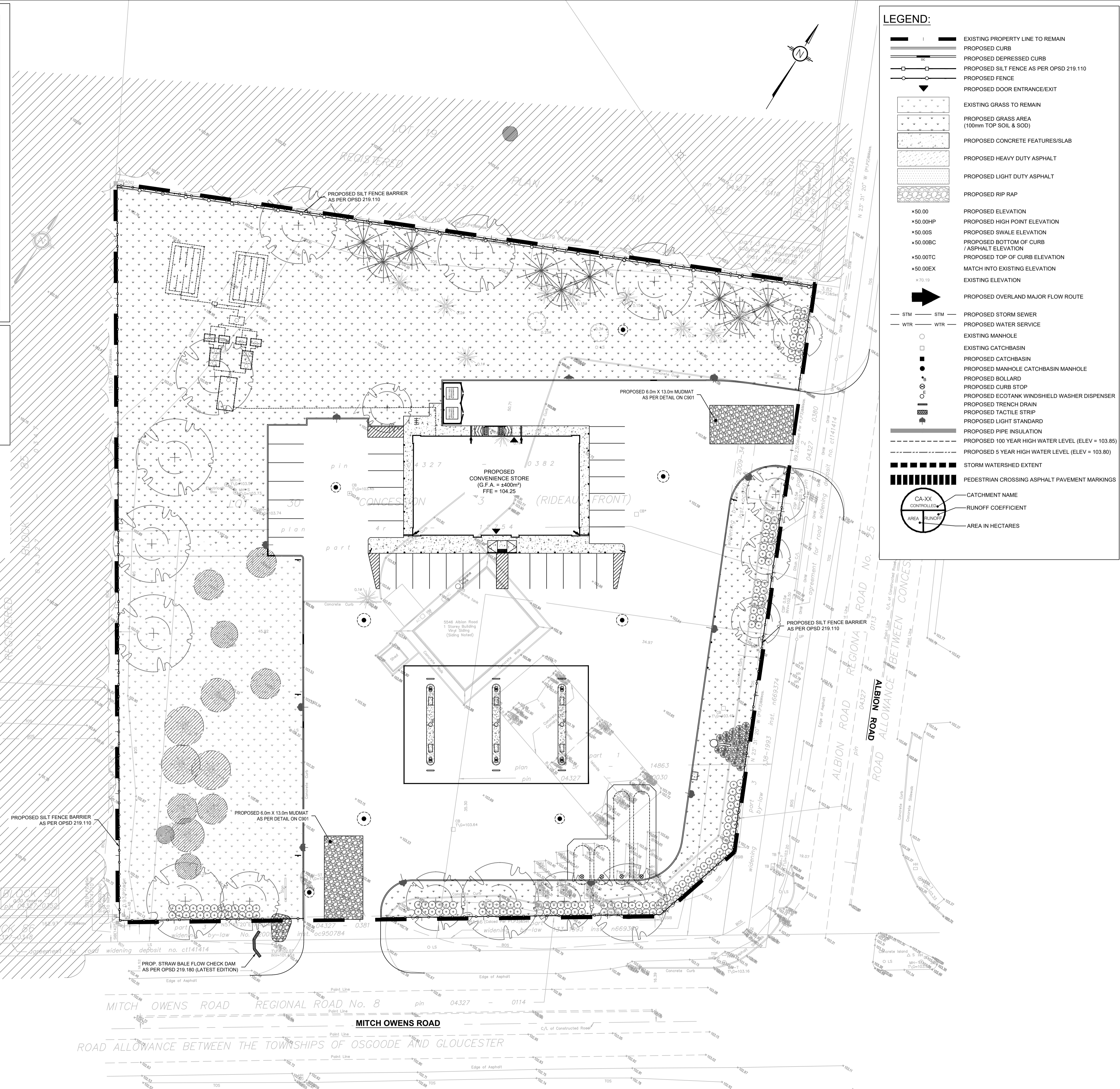
ONTARIO PROVINCIAL STANDARD DRAWING
Nov 2015 | Rev 2

LIGHT-DUTY SILT FENCE BARRIER
OPSD 219.110



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIT
	EXISTING GRASS TO REMAIN
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED RIP RAP
	PROPOSED ELEVATION x50.00
	PROPOSED HIGH POINT ELEVATION x50.00HP
	PROPOSED SHALE ELEVATION x50.00S
	PROPOSED BOTTOM OF CURB x50.00BC
	PROPOSED ASPHALT ELEVATION x50.00A
	PROPOSED TOP OF CURB ELEVATION x50.00TC
	MATCH INTO EXISTING ELEVATION x50.00EX
	EXISTING ELEVATION
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED STORM SEWER STM
	PROPOSED WATER SERVICE WTR
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN
	PROPOSED MANHOLE CATCHBASIN MANHOLE
	PROPOSED BOLLARD
	PROPOSED CURB STOP
	PROPOSED ECOTANK WINDSHIELD WASHER DISPENSER
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	PROPOSED 100 YEAR HIGH WATER LEVEL (ELEV = 103.85)
	PROPOSED 5 YEAR HIGH WATER LEVEL (ELEV = 103.80)
	STORM WATERSHED EXTENT
	PEDESTRIAN CROSSING ASPHALT PAVEMENT MARKINGS
	CATCHMENT NAME CA-XX CONTROLLED AREA RUNOFF
	RUNOFF COEFFICIENT
	AREA IN HECTARES



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER/CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

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TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD., IN APRIL 2022.



SUBJECT TO APPROVAL

No.	REVISIONS	BY	DATE
06	ISSUED FOR APPROVAL	M.L.	24 JAN 2025
05	ISSUED FOR APPROVAL	M.L.	15 NOV 2024
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18 ADELAIDE STREET, MAXVILLE, ON

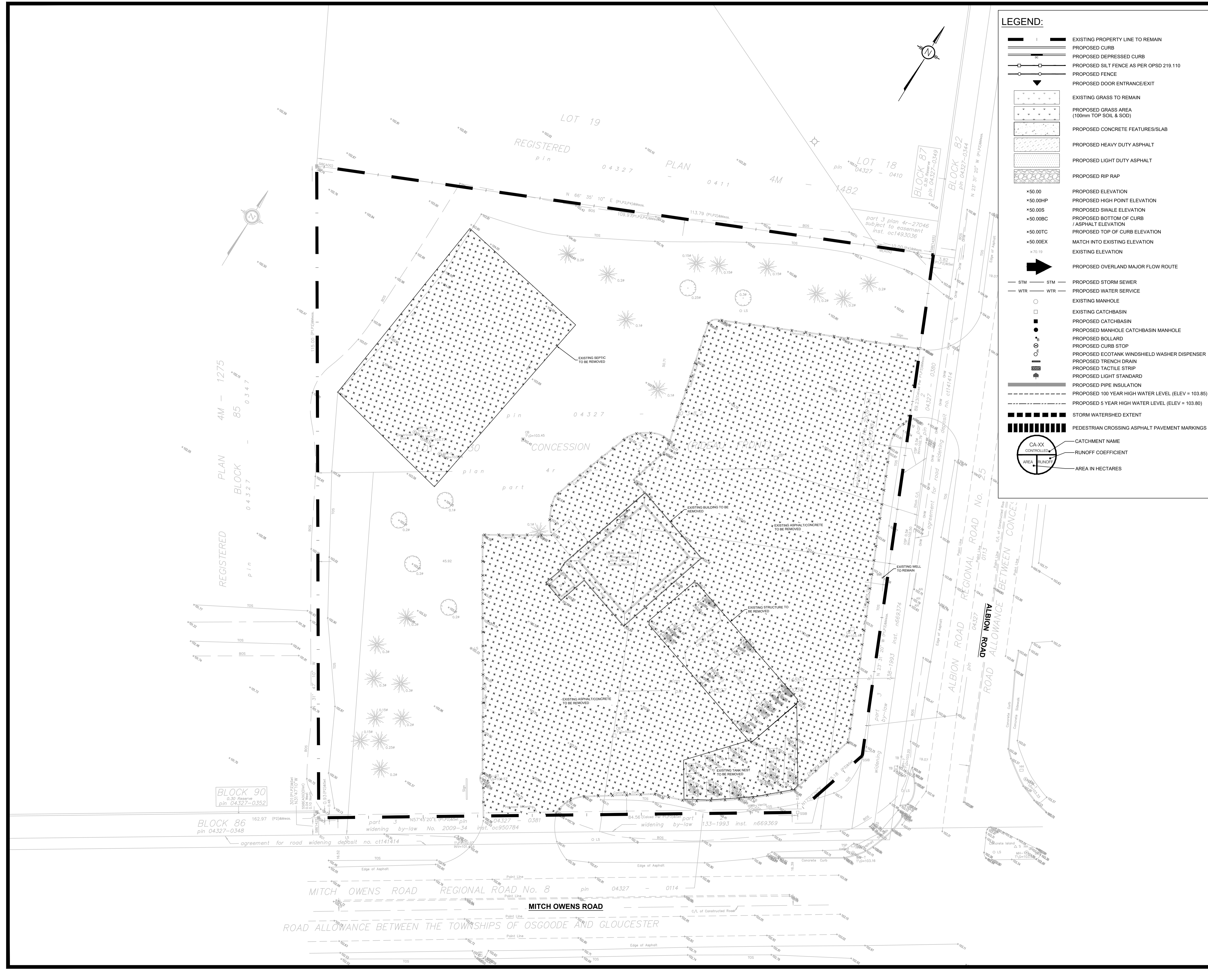
DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON**

DRAWING TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 01348
DATE: APRIL 2022

C101



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIST
- EXISTING GRASS TO REMAIN
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- PROPOSED WATER SEWER
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- EXISTING CATCHBASIN
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TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNS O'SULLIVAN, VLSURVEYING LTD., IN APRIL 2022.



SUBJECT TO APPROVAL

No.	REVISIONS	BY	DATE
06	ISSUED FOR APPROVAL	M.L.	24 JAN 2025
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CLIENT: **MACEWEN PETROLEUM INC.**
18 ADELAIDE STREET, MAXVILLE, ON

DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT**
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON

DRAWING TITLE: **DEMOLITION PLAN**

PROJECT NO.: **01348**
DATE: **APRIL 2022**
C102



CONSULTANTS

PLANNER

Jonah Bonn
First Bay Properties Inc.
311 Richmond Road, Suite 301, Ottawa

SITE ENGINEERING

Maxime Longtin
LRL Engineering Ltd.
5430 Canotek Rd, Ottawa

ARCHITECT

Ian Wilson
McRobie Architects - Interior Designers
Suite 100, 66 Queen Street, Ottawa

SURVEYOR

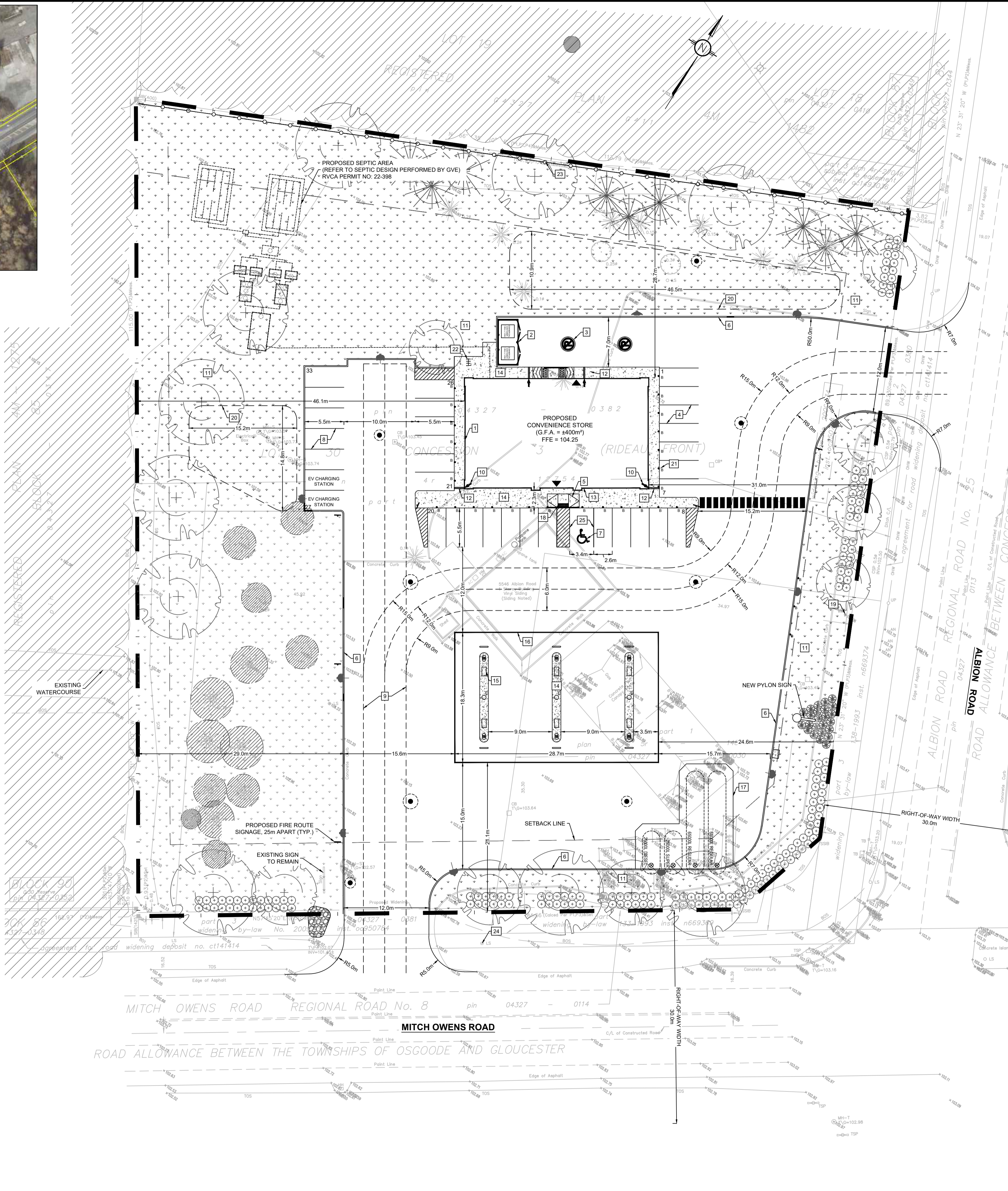
Ed Herweyer
Annis O'Sullivan Vollebek Ltd.
14 Concourse Gate, Suite 500, Nepean

The property information was derived from the topographical survey prepared by Annis, O'Sullivan, Vollebek LTD. prepared in April 2022.

PART OF LOT 30, CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
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- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
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DETAILS OF DEVELOPMENT			
DATA	ZONING	REQUIRED	PROVIDED
		RC2	
SETBACKS	FY	10.0m	21.2m
	RY	10.0m	28.7m
	INT.SY	4.5m	44.6m
	EXT.SY	7.5m	24.6m
NET LOT AREA (sqm)		2,000 sqm	10,844 sqm
BUILDING COVERAGE		30 % (MAX)	3.7 %
BUILDING HEIGHT		11.0 m (MAX)	7.2 m
GROSS FLOOR AREA			400 sqm
No. of UNITS (COMMERCIAL)			1
LOADING SPACES		0	1
PARKING:		13 + 1 HC	32 + 1 HC
		15% MIN.	42% MIN.
LANDSCAPE BUFFER			
LANDSCAPE COVERAGE			52.5%
No. of STOREYS			1
OTHER:			

- SITE PLAN NOTES:**
- PROPOSED CONVENIENCE STORE
 - PROPOSED GARBAGE ENCLOSURE
 - PROPOSED NO PARKING AREA FOR GARBAGE & LOADING AREA (WITH NO PARKING SIGNS/PAVEMENT MARKINGS)
 - PROPOSED PAVEMENT MARKINGS
 - PROPOSED ACCESSIBLE RAMP 1:12
 - PROPOSED CONCRETE BARRIER CURB AS PER OPSD 600.110
 - PROPOSED ACCESSIBLE PARKING CW PAINTED BLUE BACKGROUND
 - PROPOSED PARKING
 - FIRE ROUTE
 - PROPOSED ROOF DRAINAGE DOWNSPOUT LOCATION
 - PROPOSED 100mm TOP SOIL & SOD. (CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY TURT MAINTENANCE TO OPTIMIZE GROWTH OF THE SEED OR SOD FOR THE FIRST 30 DAYS, OR UNTIL THE FIRST CUT.)
 - PRE-SLOPED POLYPROPYLENE TRENCH DRAIN SYSTEMS WITH DUCTILE IRON FRAMES AT DOWNSPOUT LOCATIONS AROUND PROPOSED BUILDING (SEE DETAIL ON C901)
 - 30 x 45 cm "ACCESSIBLE PARKING PERMIT" SIGN (Rb-93) AS PER MTO BOOK 5 AND AS PER SECTION 11 OF THE ONTARIO REGULATION 581/90. SIGN TO BE MOUNTED ON BUILDING WALL
 - PROPOSED CONCRETE FEATURES / SIDEWALK / PUMP ISLAND
 - PROPOSED CAR FILL-UP STATION
 - 18.3m X 28.7m CANOPY OVER CONCRETE APRON
 - PROPOSED UNDERGROUND TANK LOCATION
 - PROPOSED TACTILE ATTENTION INDICATOR. DEPTH SHALL BE NOT LESS THAN 300mm AND NOT MORE THAN 10mm. SHALL CONFORM TO CLAUSES 4.1.1 AND 4.1.2 OF ISO 23599: "ASSISTIVE PRODUCTS FOR BLIND AND VISION-IMPAIRED PERSONS - TACTILE WALKING SURFACE INDICATORS"
 - EXISTING WELL TO REMAIN
 - SNOW STORAGE AREA
 - PROPOSED BOLLARD
 - PROPOSED BIKE RACK PER DETAIL ON C902
 - PROPOSED 1.5m WOODEN PRIVACY FENCE
 - EXISTING POLE WITH BUS STOP SIGNAGE TO REMAIN
 - PROPOSED ACCESSIBLE PARKING SPACES

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IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRL'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRL AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRL AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

GENERAL NOTES:

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CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING DO NOT SCALE DRAWINGS.

TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNIS O'SULLIVAN VOLLEBEK LTD., IN APRIL 2022.

5m 2 0 5 10m
SCALE: 1:300

SUBJECT TO APPROVAL

No.	REVISIONS	BY	DATE
06	ISSUED FOR APPROVAL	M.L.	24 JAN 2025
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01	ISSUED FOR APPROVAL	M.L.	07 SEP 2023

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRL
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: **MACEWEN PETROLEUM INC.**
18 ADELAIDE STREET, MAXVILLE, ON

DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON**

DRAWING TITLE: **SITE DEVELOPMENT PLAN**

PROJECT NO: 01348
DATE: APRIL 2022

C201

#19199

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).
For bearing comparisons, a rotation of 1°04'10" counter-clockwise was applied to bearings on P1, P2, P3 & P4.

TOPOGRAPHICAL PLAN OF SURVEY
PART OF LOT 30
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 250
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 7th day of April, 2022.
Date: APR 16 2022
E.H. Hameyer
Ontario Land Surveyor

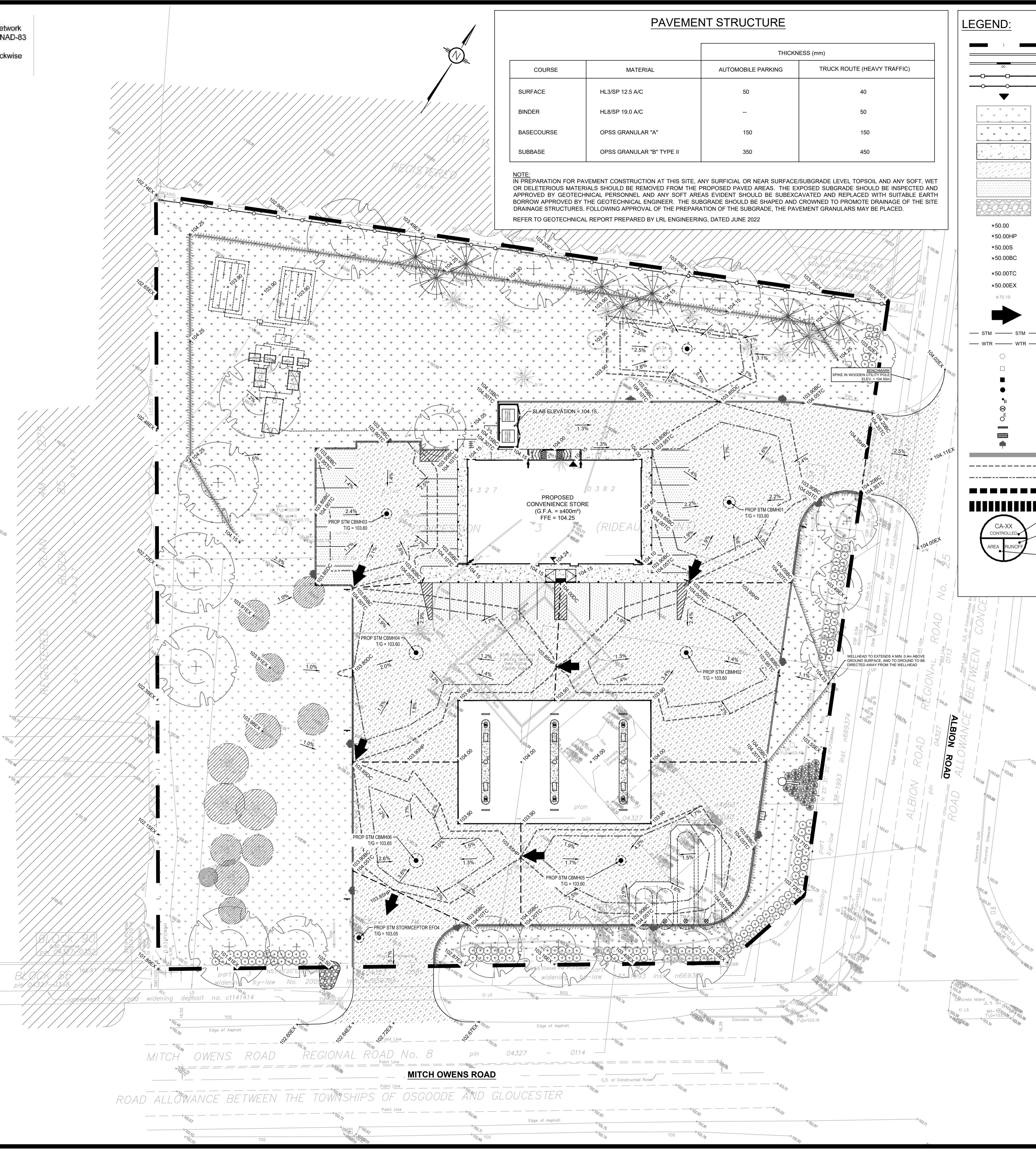
PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL3/SP 12.5 A/C	50	40
BINDER	HL8/SP 19.0 A/C	-	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	350	450

NOTE:
IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBGRAVATED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES. FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED.
REFER TO GEOTECHNICAL REPORT PREPARED BY LRL ENGINEERING, DATED JUNE 2022

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
- EXISTING GRASS TO REMAIN
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
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- +50.00HP PROPOSED HIGH POINT ELEVATION
- +50.00S PROPOSED SWALE ELEVATION
- +50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- +50.00TC PROPOSED TOP OF CURB ELEVATION
- +50.00EX MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM PROPOSED STORM SEWER
- WTR PROPOSED WATER SERVICE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN
- PROPOSED MANHOLE CATCHBASIN MANHOLE
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- PROPOSED 5 YEAR HIGH WATER LEVEL (ELEV = 103.80)
- STORM WATERSHED EXTENT
- PEDESTRIAN CROSSING ASPHALT PAVEMENT MARKINGS
- CA-XX CATCHMENT NAME
- AREA RUNOFF RUNOFF COEFFICIENT
- AREA IN HECTARES



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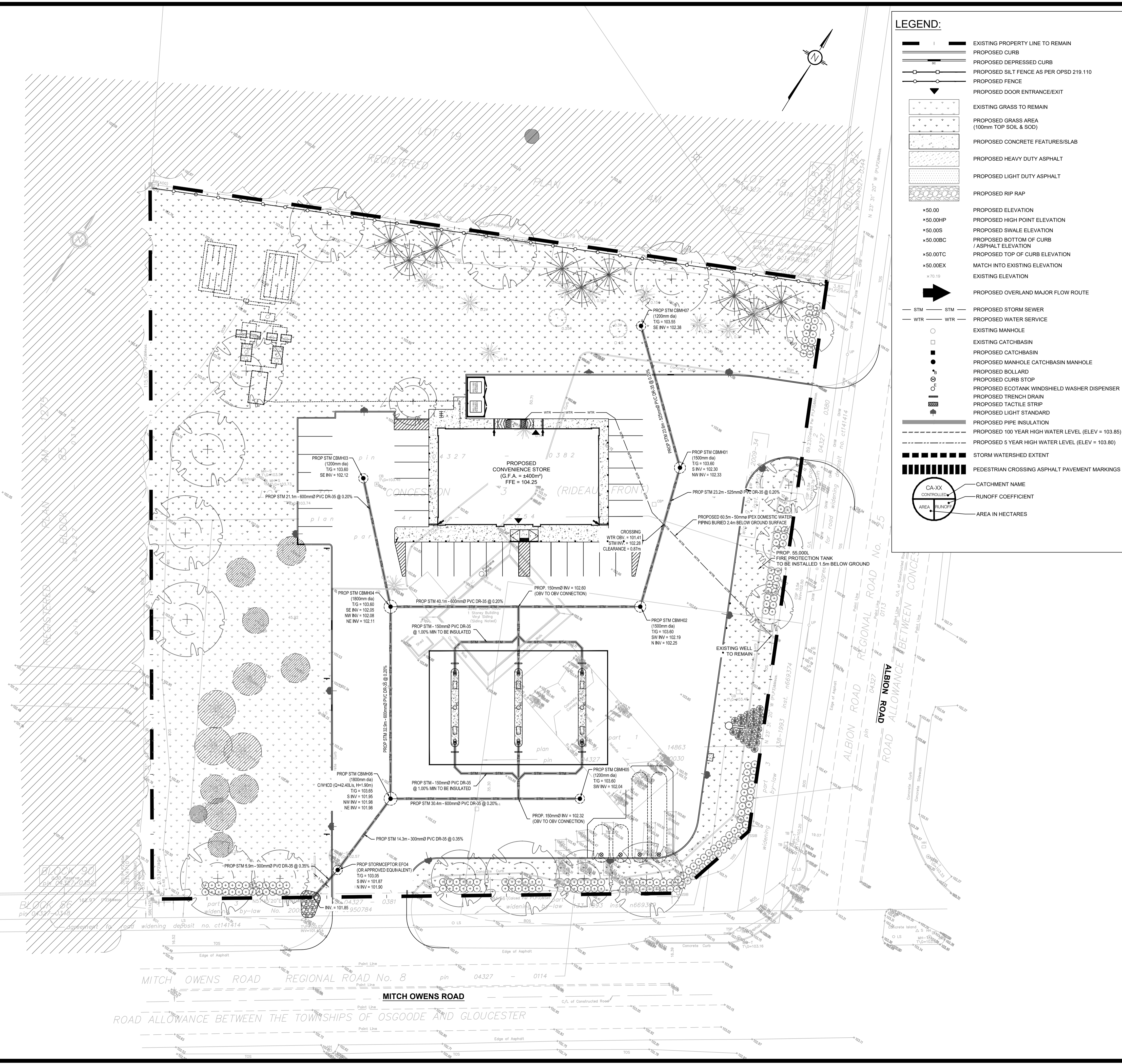


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www.lrl.ca | (613) 842-3434

CLIENT
MACEWEN PETROLEUM INC.
18 ADELAIDE STREET, MAXVILLE, ON
DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.
PROJECT
SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON

DRAWING TITLE
GRADING AND DRAINAGE PLAN
PROJECT NO.
01348
DATE
APRIL 2022
C301

D07-12-24-0157



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
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- CATCHMENT NAME
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TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNS O'SULLIVAN, VLSURVEYS LTD., IN APRIL 2022.

SCALE: 1:300

5m 2 0 5 10m

SUBJECT TO APPROVAL

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CLIENT: **MACEWEN PETROLEUM INC.**
18 ADELAIDE STREET, MAXVILLE, ON

DRAWN BY: M.L. APPROVED BY: M.B.

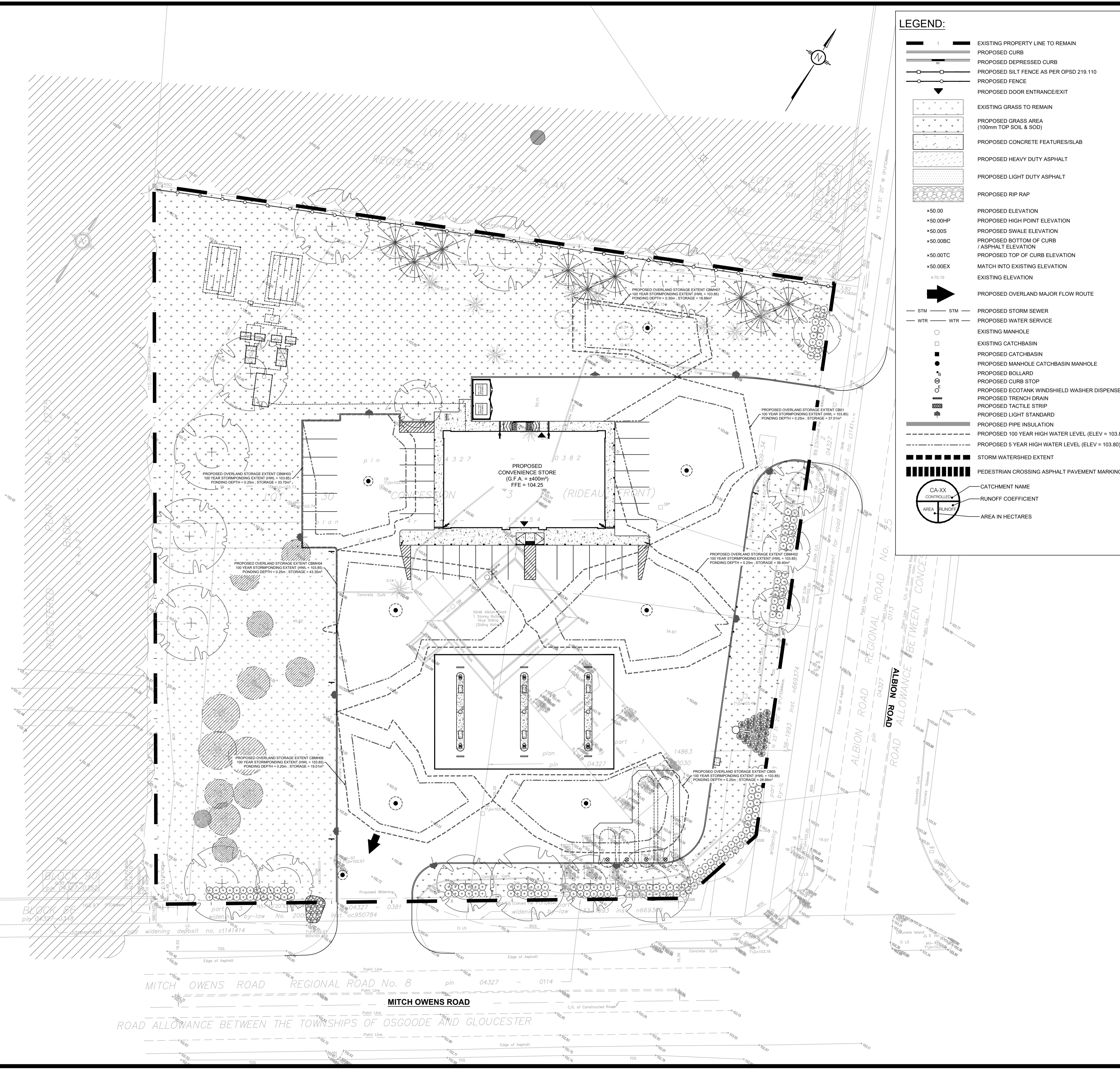
PROJECT: **SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON**

DRAWING TITLE: **SERVICING PLAN**

PROJECT NO.: 01348
DATE: APRIL 2022

C401

D07-12-24-0157



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD. IN APRIL 2022.

5m 2 0 5 10m
SCALE: 1:300

SUBJECT TO APPROVAL

No.	ISSUED FOR APPROVAL	M.L.	DATE
06	ISSUED FOR APPROVAL	M.L.	24 JAN 2025
05	ISSUED FOR APPROVAL	M.L.	15 NOV 2024
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02	ISSUED FOR APPROVAL	M.L.	13 DEC 2023
01	ISSUED FOR APPROVAL	M.L.	07 SEP 2023

No.	REVISIONS	BY	DATE

NOT AUTHENTIC UNLESS SIGNED AND DATED

LRL
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: **MACEWEN PETROLEUM INC.**
18 ADELAIDE STREET, MAXVILLE, ON

DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT**
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON

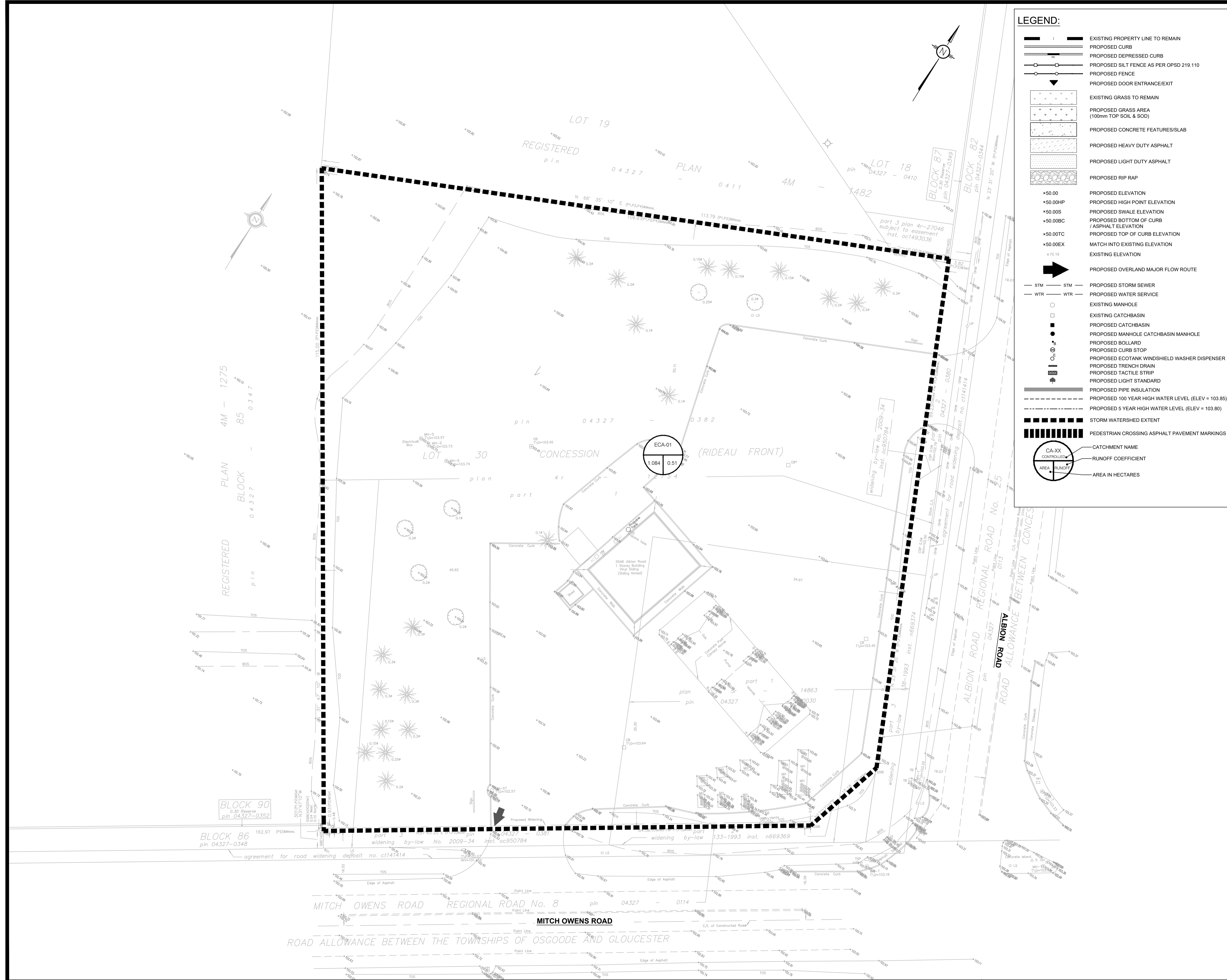
DRAWING TITLE: **STORMWATER MANAGEMENT PLAN**

PROJECT NO.: 01348
DATE: APRIL 2022

C601

#19199

D07-12-24-0157



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
- EXISTING GRASS TO REMAIN
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED STORM SEWER
- PROPOSED WATER SERVICE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN
- PROPOSED MANHOLE CATCHBASIN MANHOLE
- PROPOSED BOLLARD
- PROPOSED CURB STOP
- PROPOSED ECOTANK WINDSHIELD WASHER DISPENSER
- PROPOSED TRENCH DRAIN
- PROPOSED TACTILE STRIP
- PROPOSED LIGHT STANDARD
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL (ELEV = 103.85)
- PROPOSED 5 YEAR HIGH WATER LEVEL (ELEV = 103.80)
- STORM WATERSHED EXTENT
- PEDESTRIAN CROSSING ASPHALT PAVEMENT MARKINGS
- CATCHMENT NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

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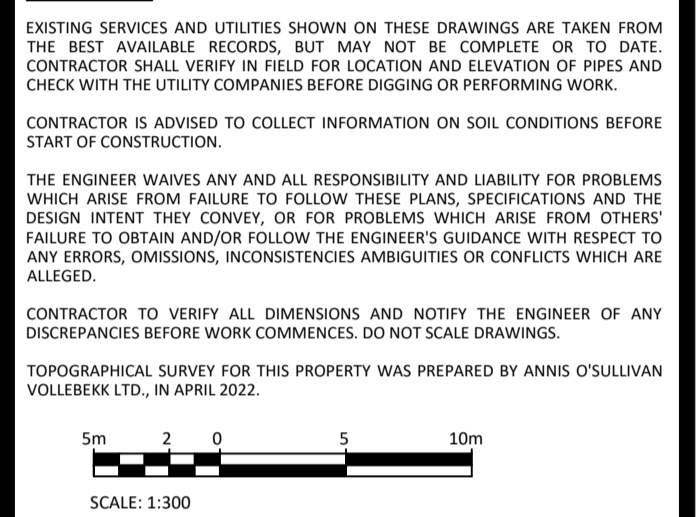
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DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

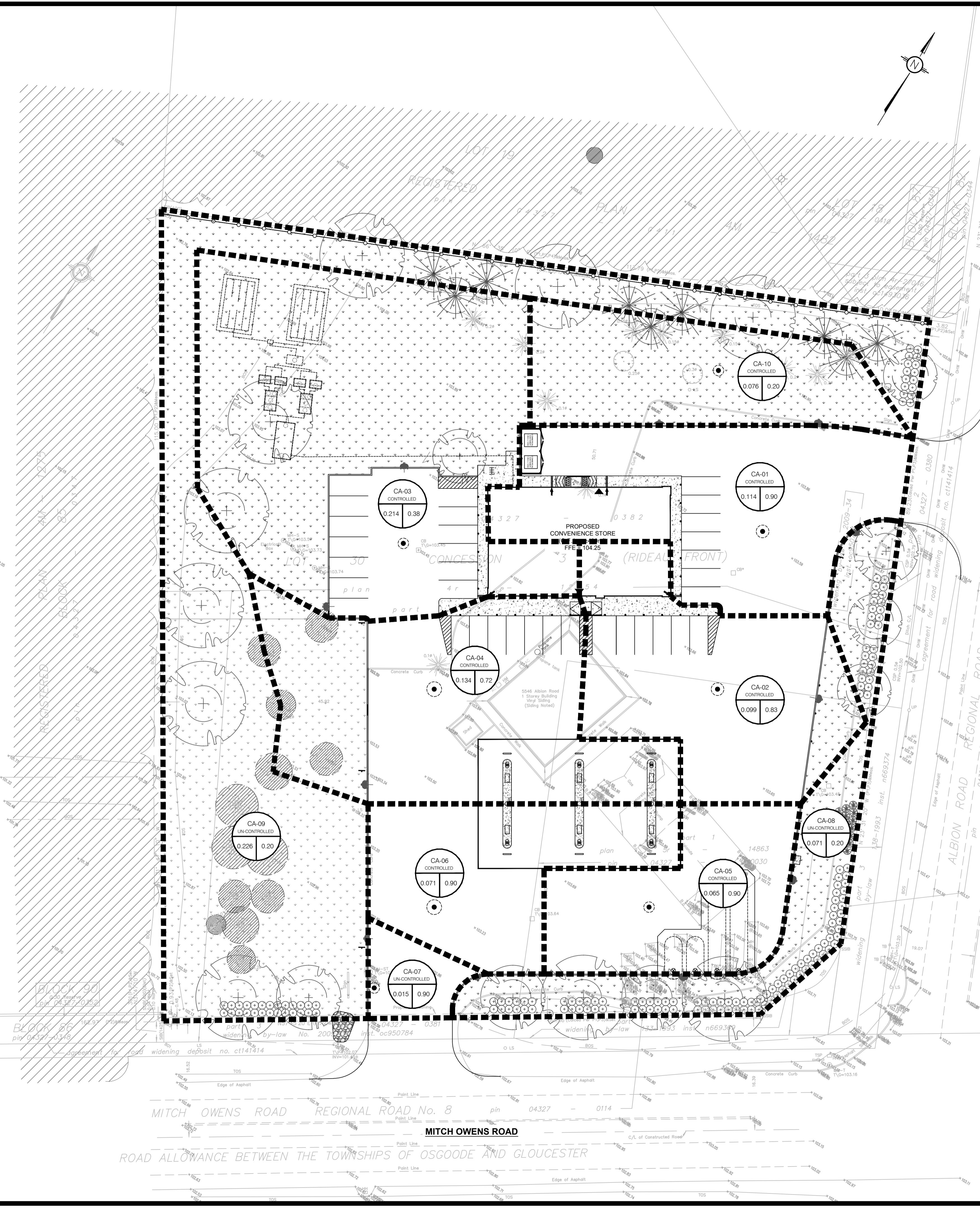
PROJECT
SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON

DRAWING TITLE
**PRE-DEVELOPMENT
WATERSHED PLAN**

PROJECT NO.
01348

DATE
APRIL 2022

C701



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED SILT FENCE AS PER OPSD 219.110
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TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD., IN APRIL 2022.

SCALE: 1:300

5m 2 0 5 10m

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SUBJECT TO APPROVAL

LRL
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: **MACEWEN PETROLEUM INC.**
18 ADELAIDE STREET, MAXVILLE, ON

DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON**

DRAWING TITLE: **POST-DEVELOPMENT
WATERSHED PLAN**

PROJECT NO: 01348
DATE: APRIL 2022

LRL
LICENSED PROFESSIONAL ENGINEER
M. BASNET
100501996
2025/01/24
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

PROJECT NO: 01348
DATE: APRIL 2022

C702

#19199

D07-12-24-0157

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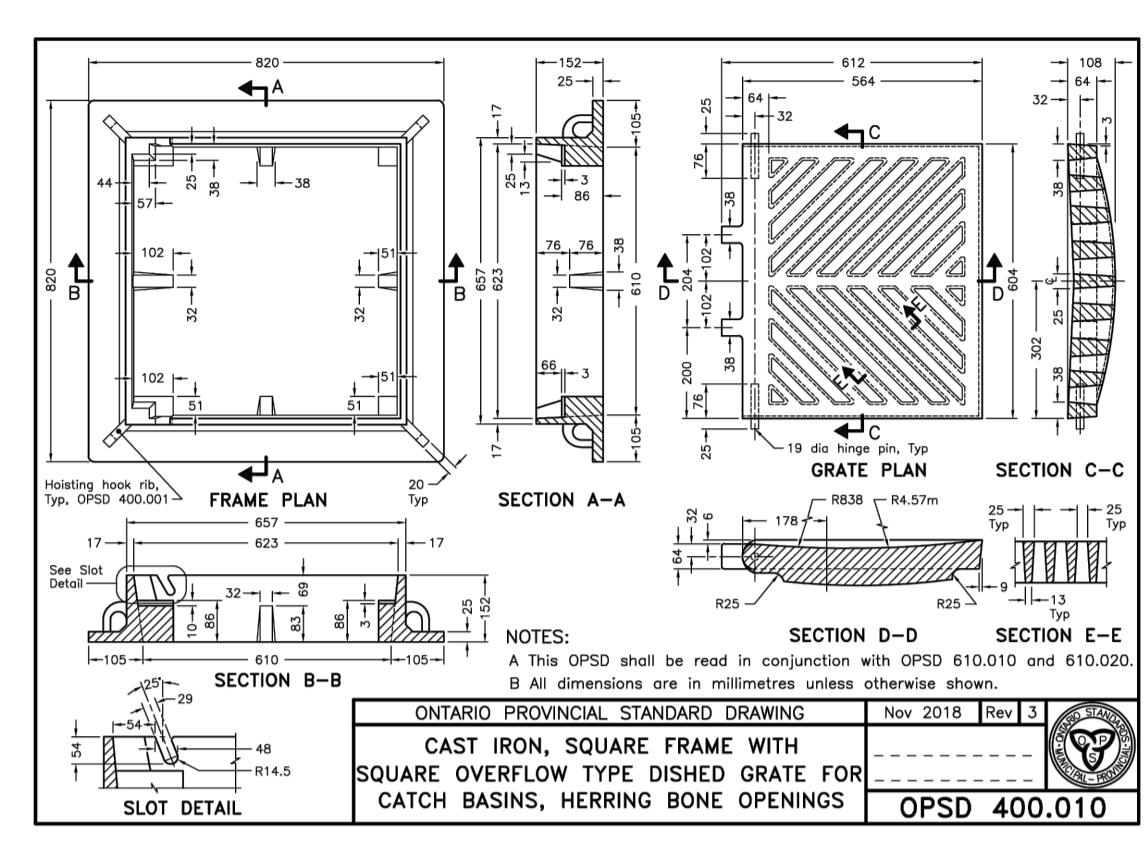
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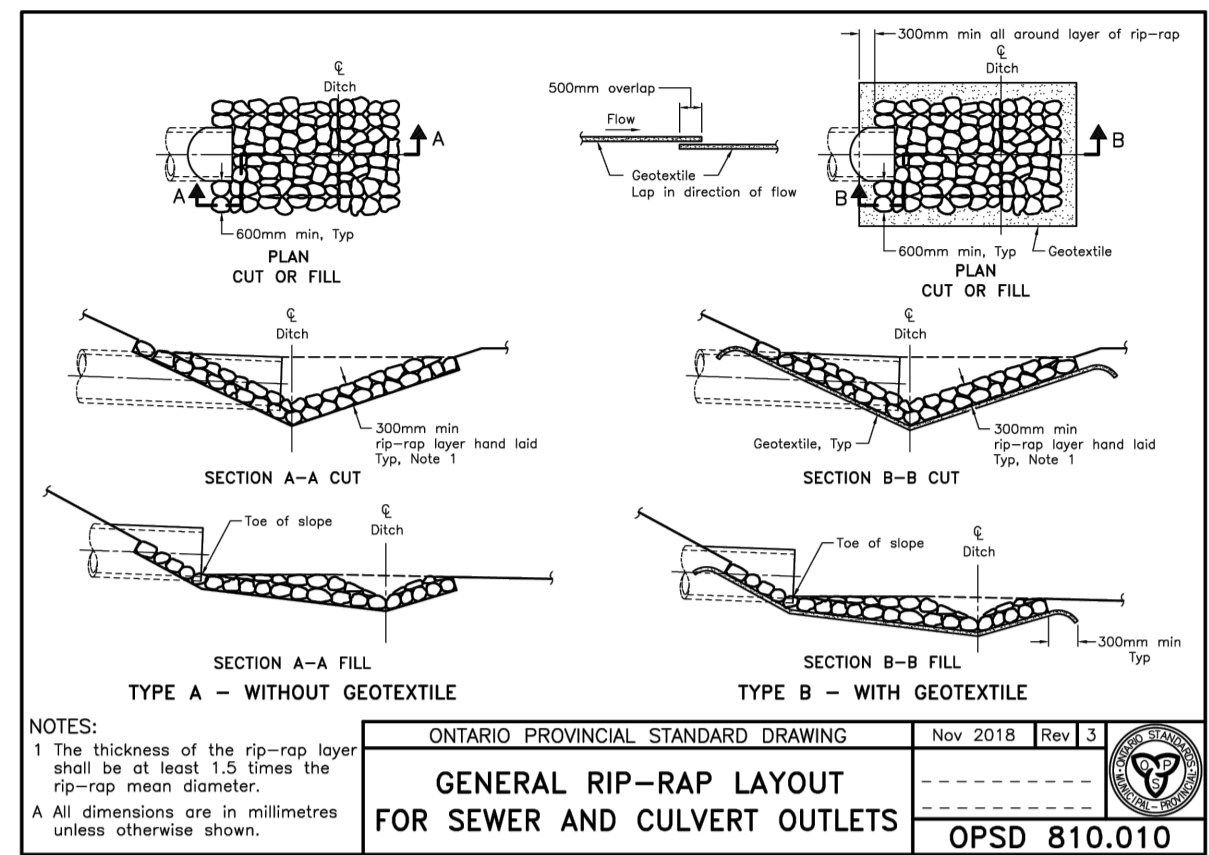
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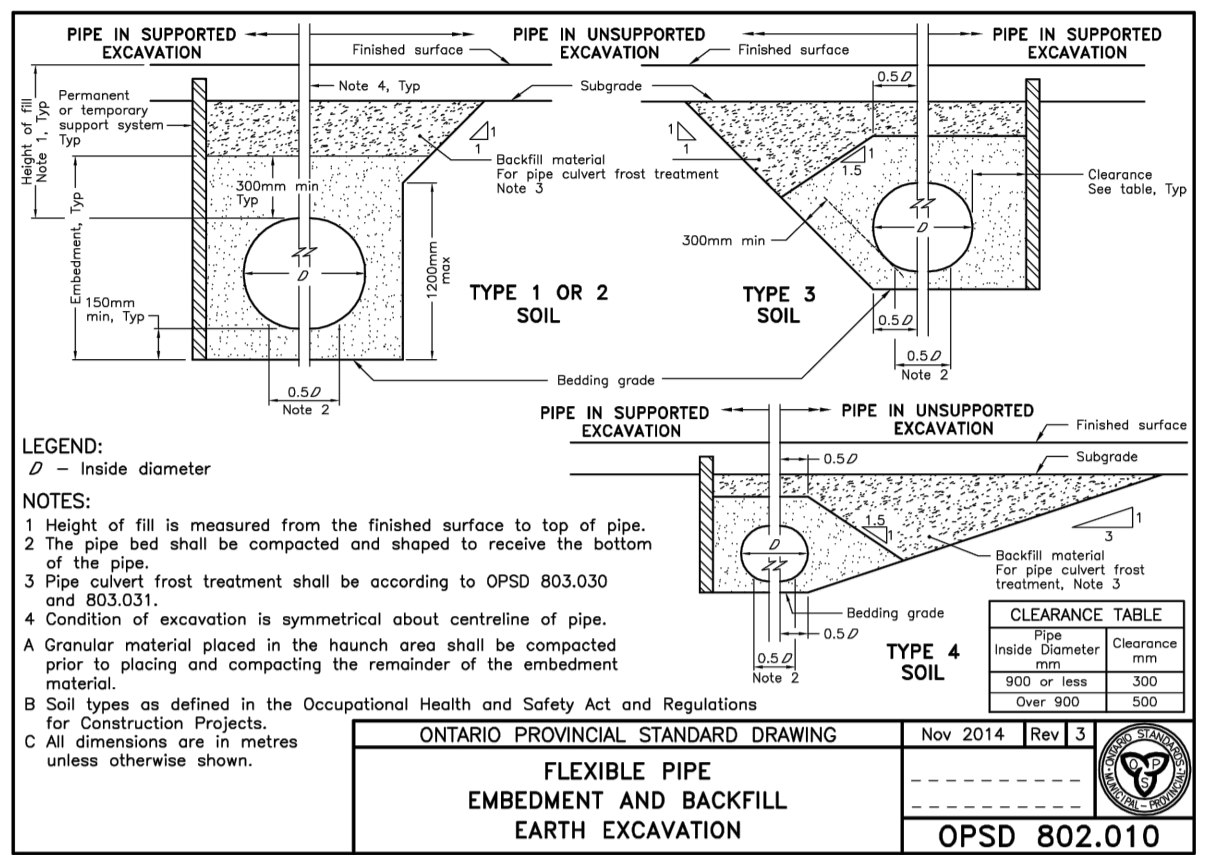
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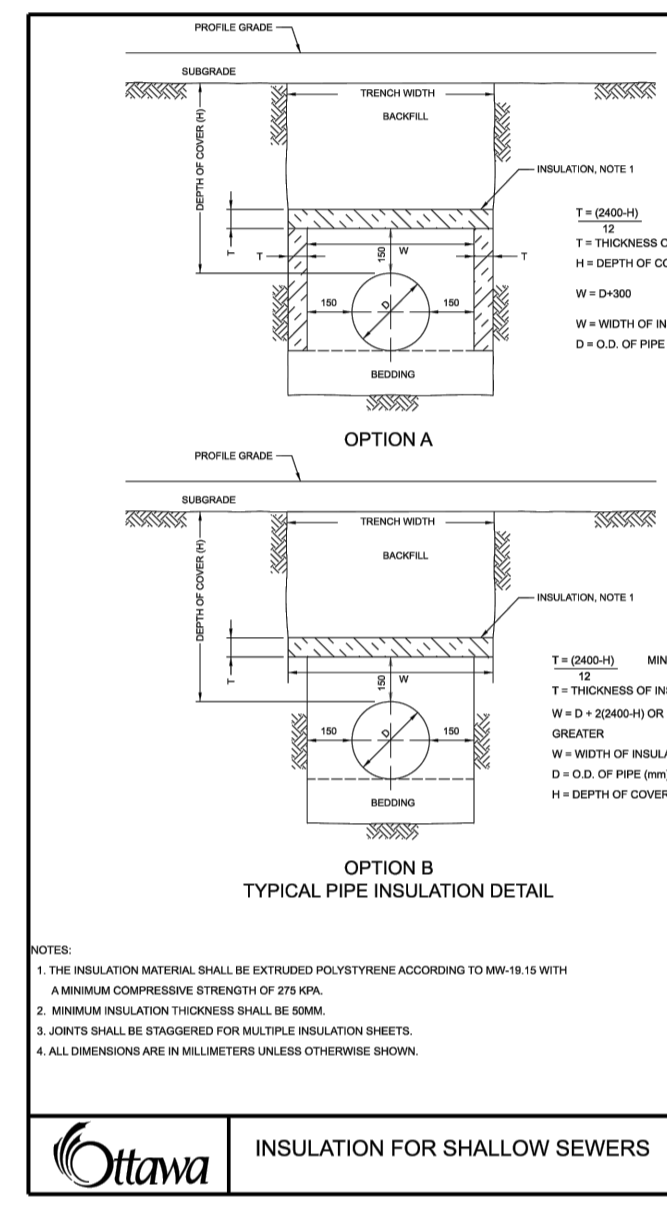
CAST IRON, SQUARE FRAME WITH SQUARE OVERFLOW TYPE DISHED GRATE FOR CATCH BASINS, HERRING BONE OPENINGS OPSD 400.010



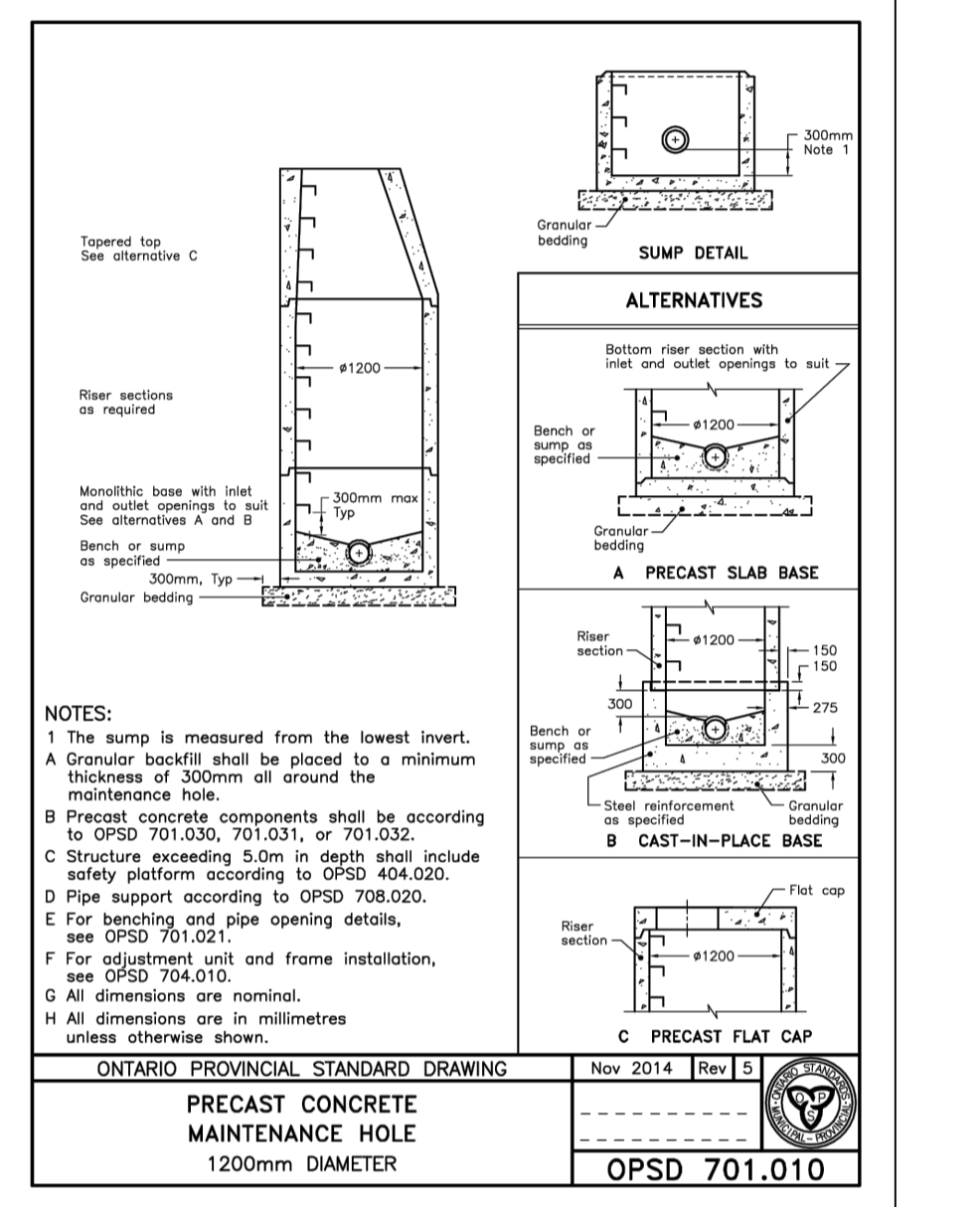
GENERAL RIP-RAP LAYOUT FOR SEWER AND CULVERT OUTLETS OPSD 810.010



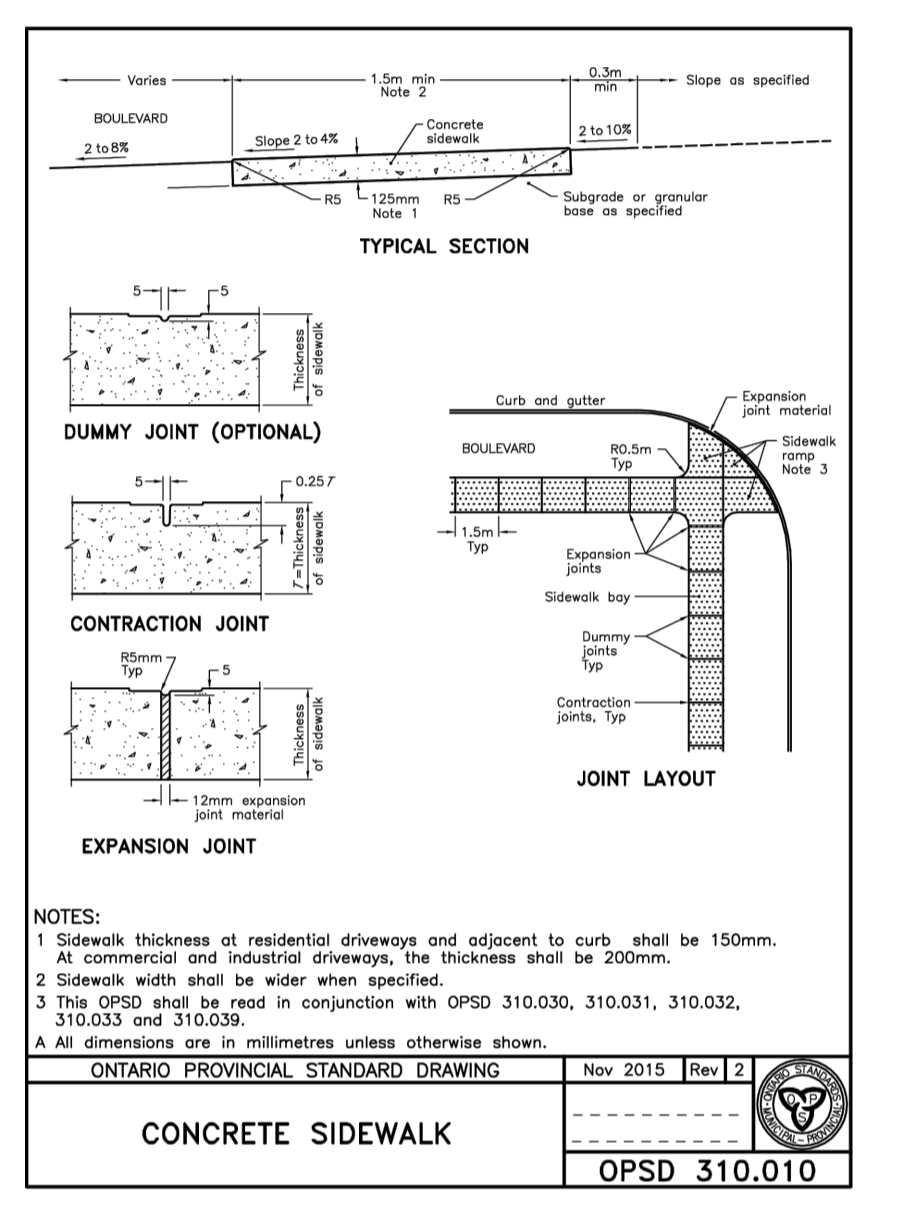
PIPE IN SUPPORTED EXCAVATION AND PIPE IN UNSUPPORTED EXCAVATION OPSD 802.010



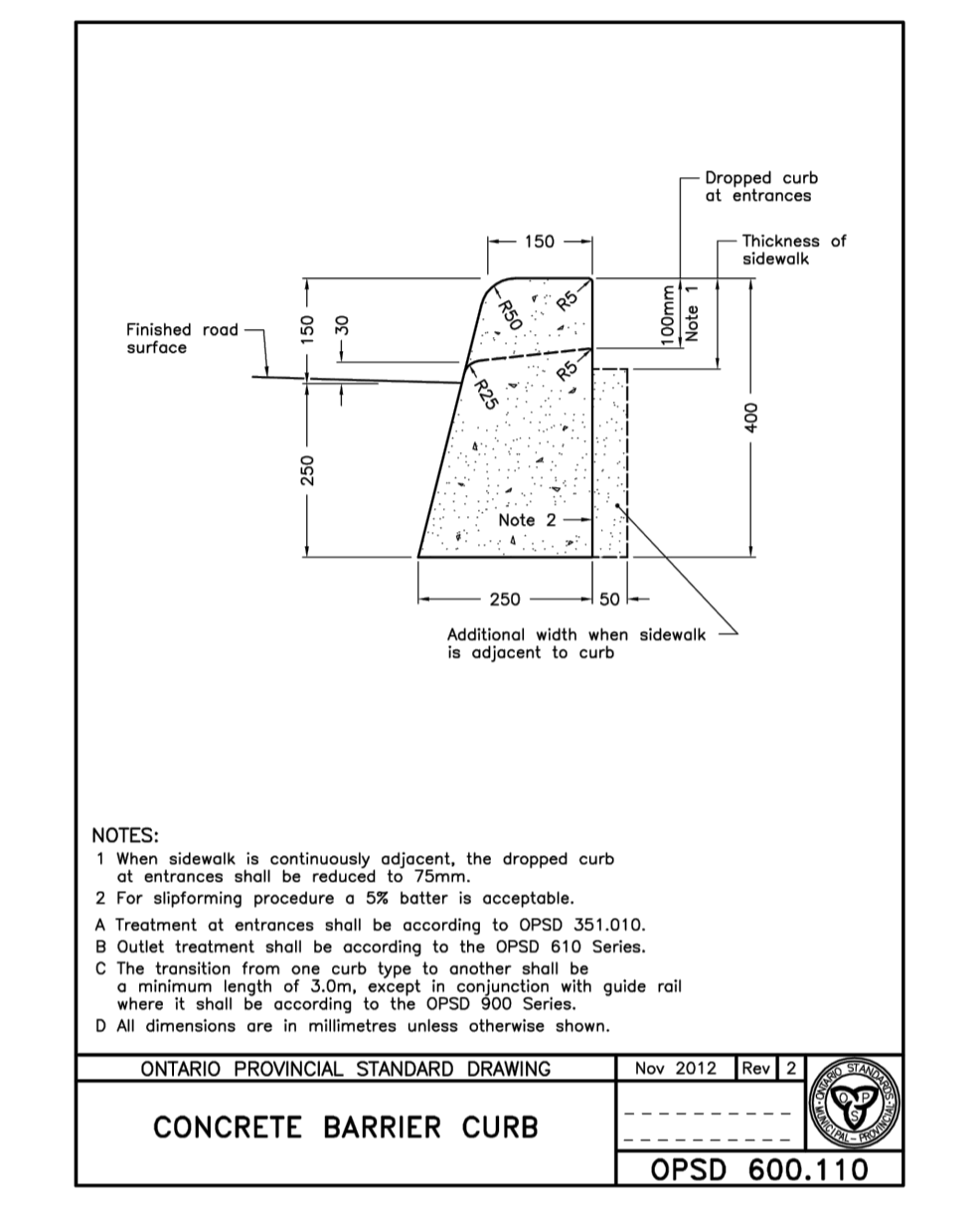
INSULATION FOR SHALLOW SEWERS OPSD 219.180



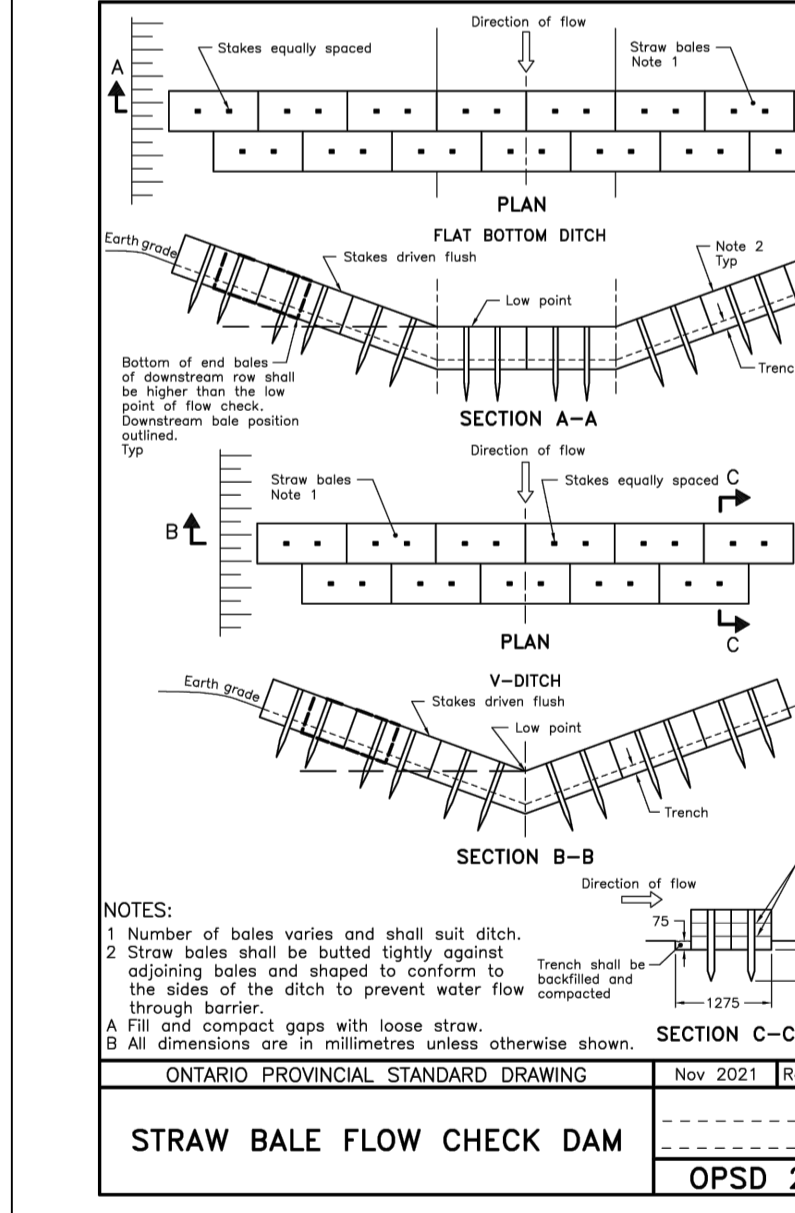
PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER OPSD 701.010



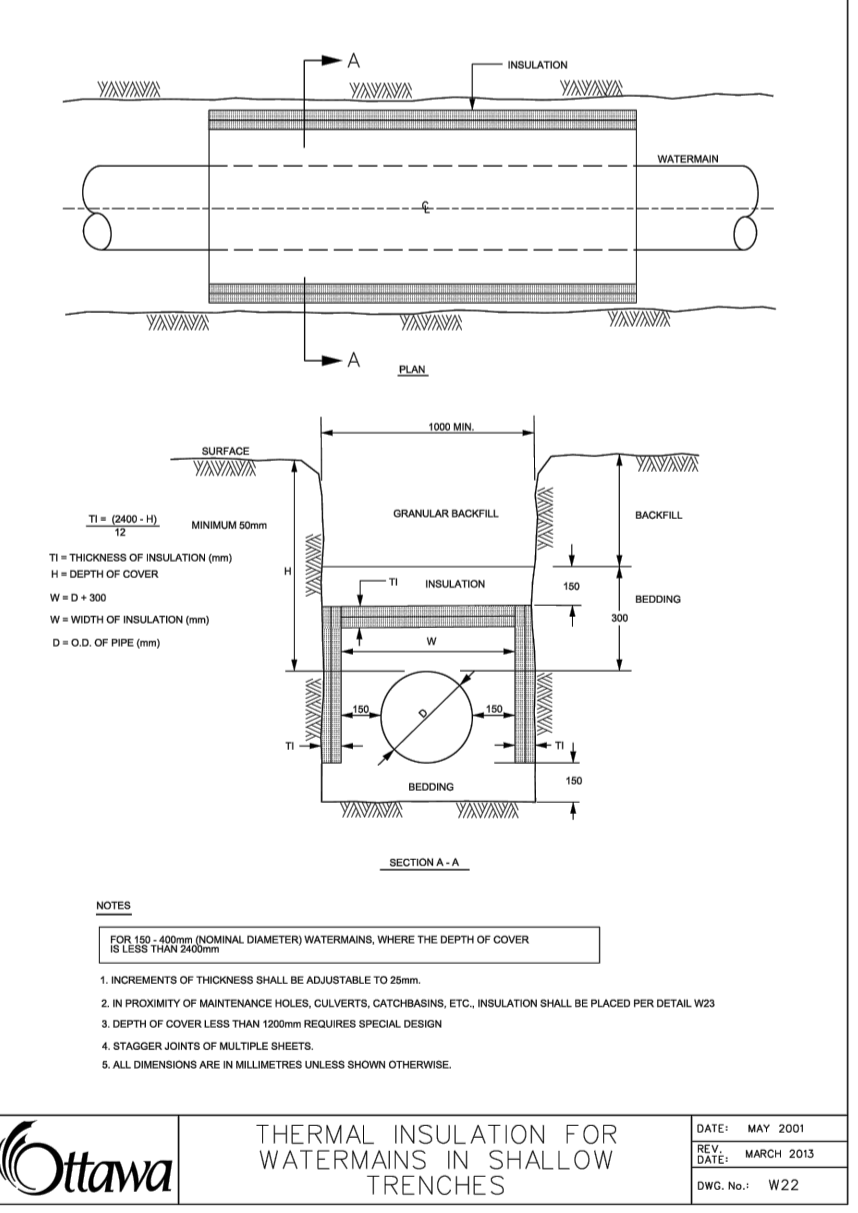
CONCRETE SIDEWALK OPSD 310.010



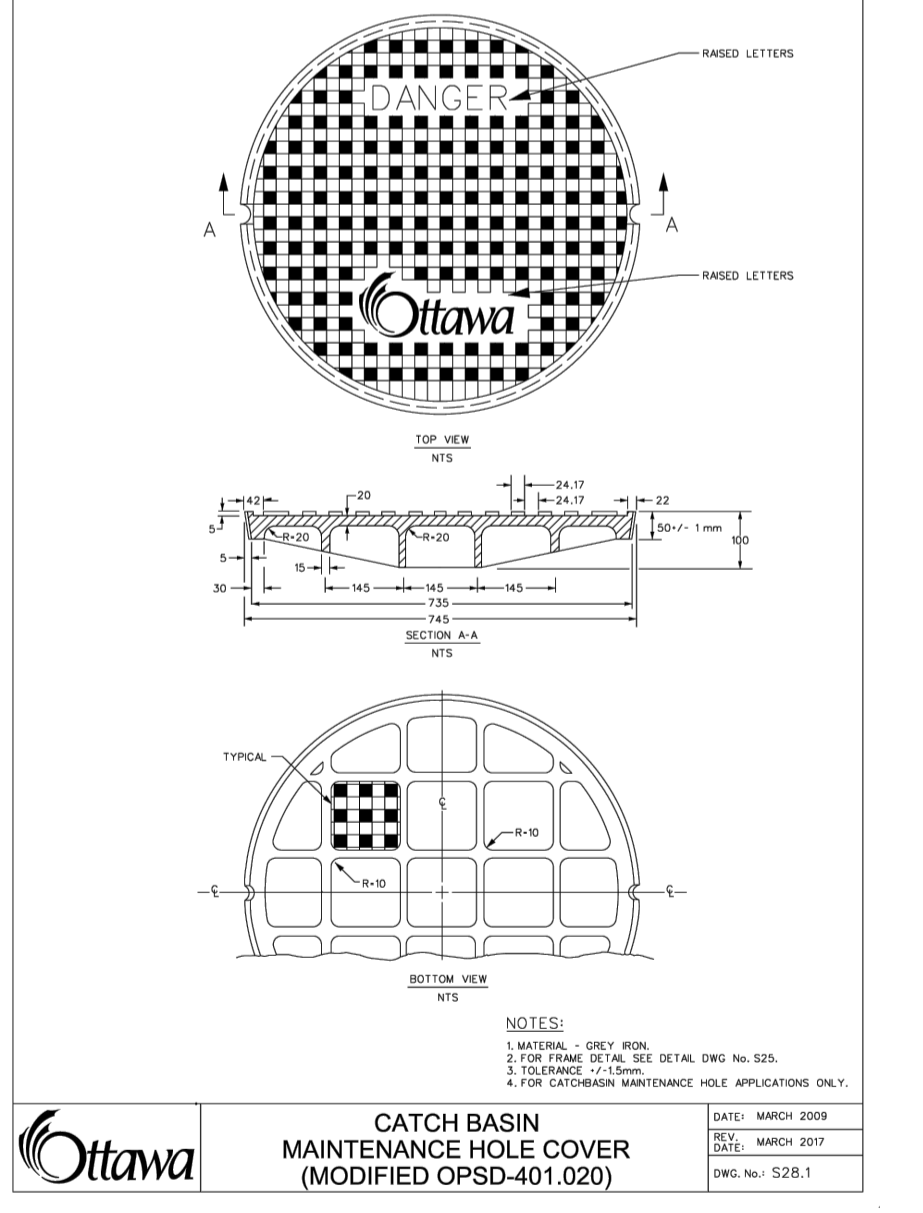
CONCRETE BARRIER CURB OPSD 600.110



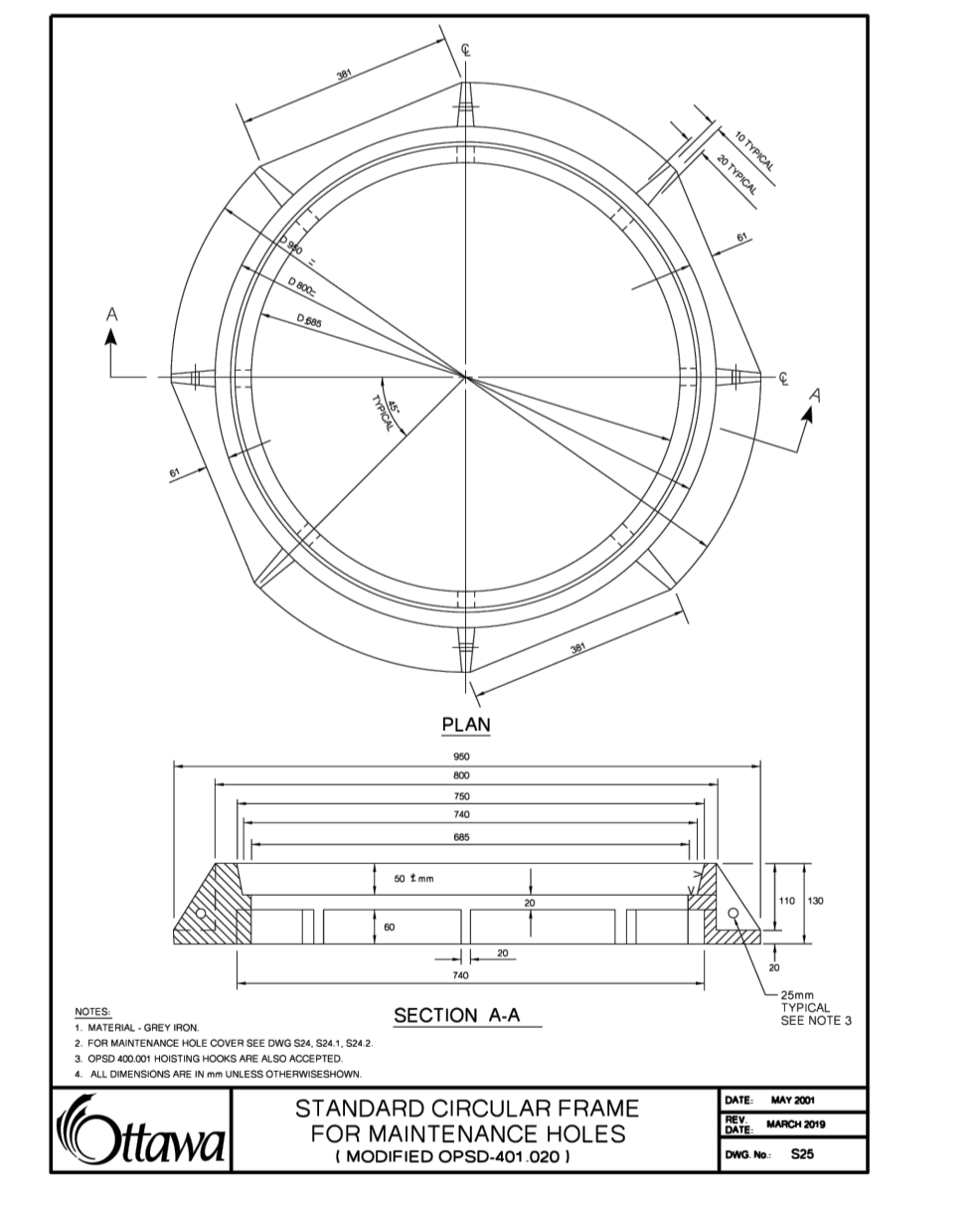
STRAW BALE FLOW CHECK DAM OPSD 219.180



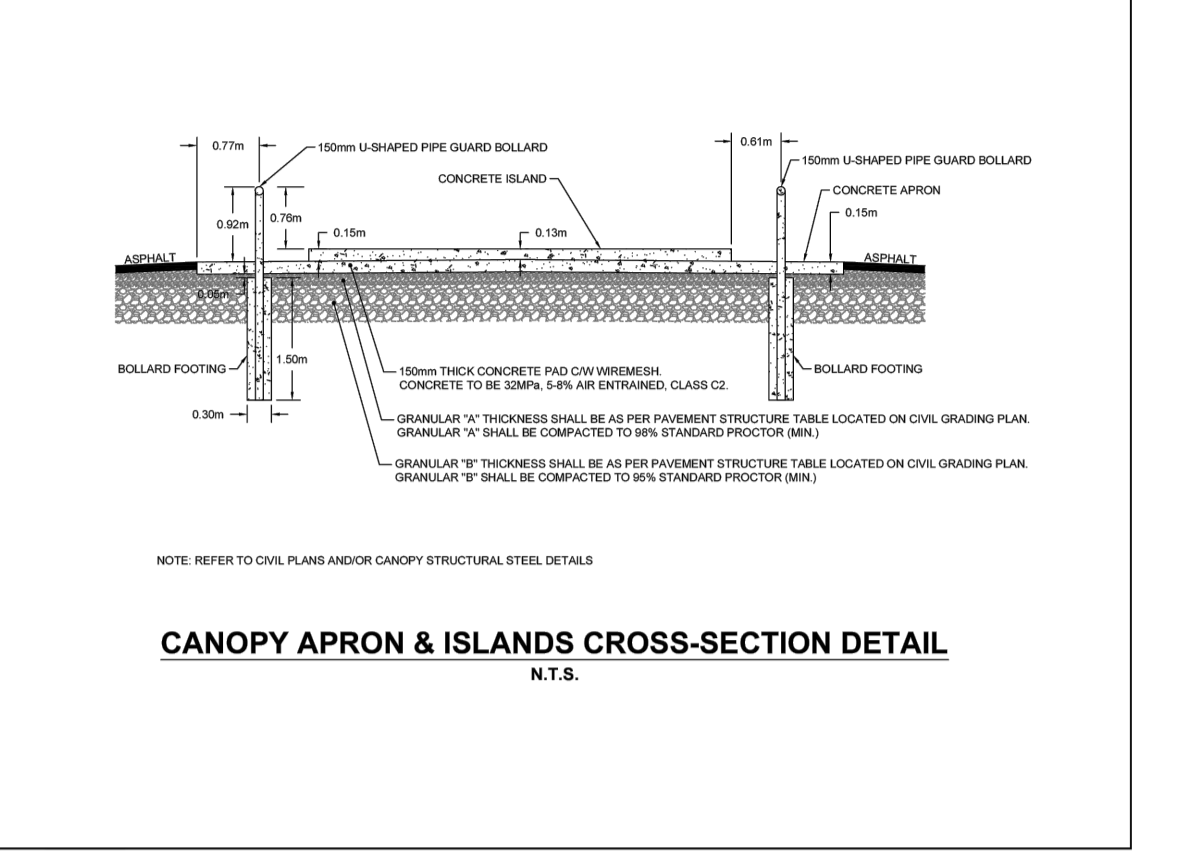
THERMAL INSULATION FOR WATERMAINS IN SHALLOW TRENCHES OPSD 810.010



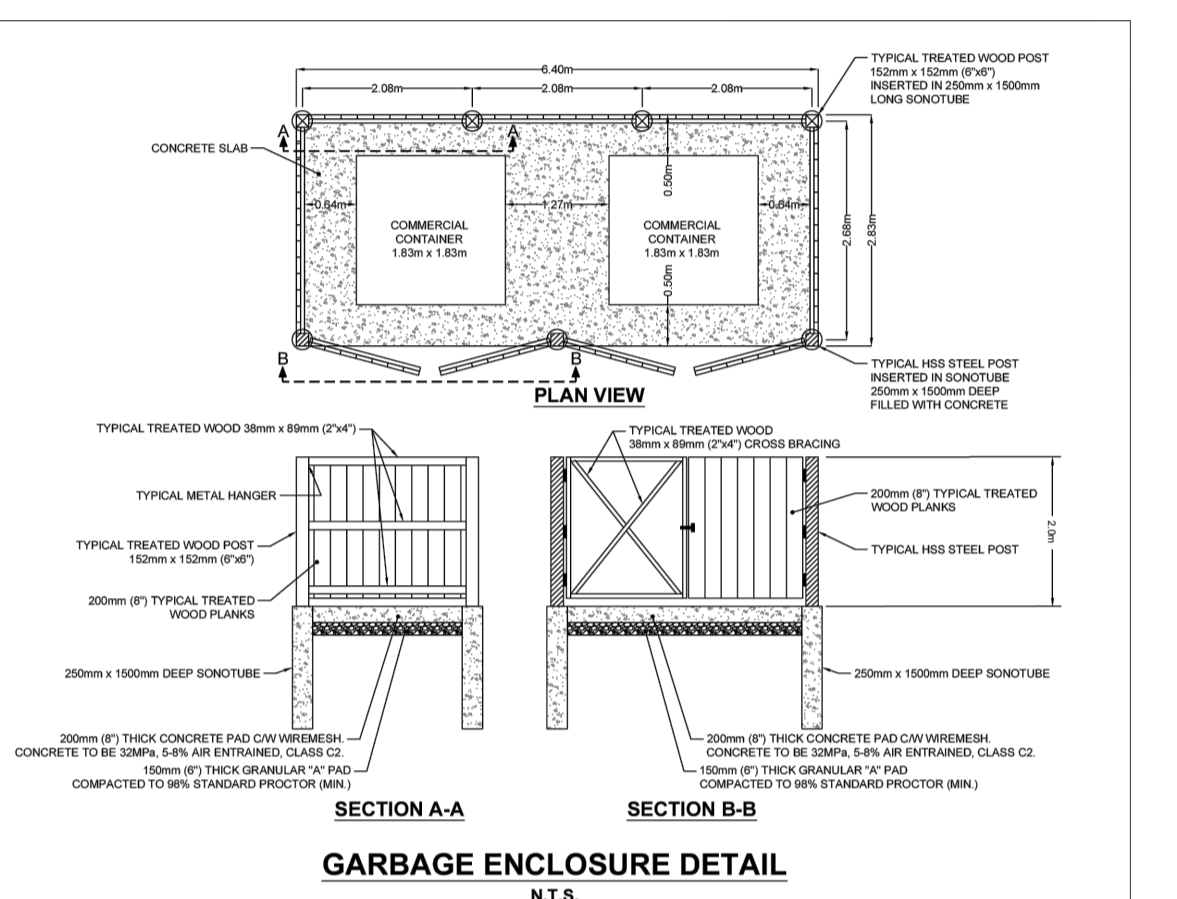
CATCH BASIN MAINTENANCE HOLE COVER (MODIFIED OPSD-401.020) OPSD 401.020



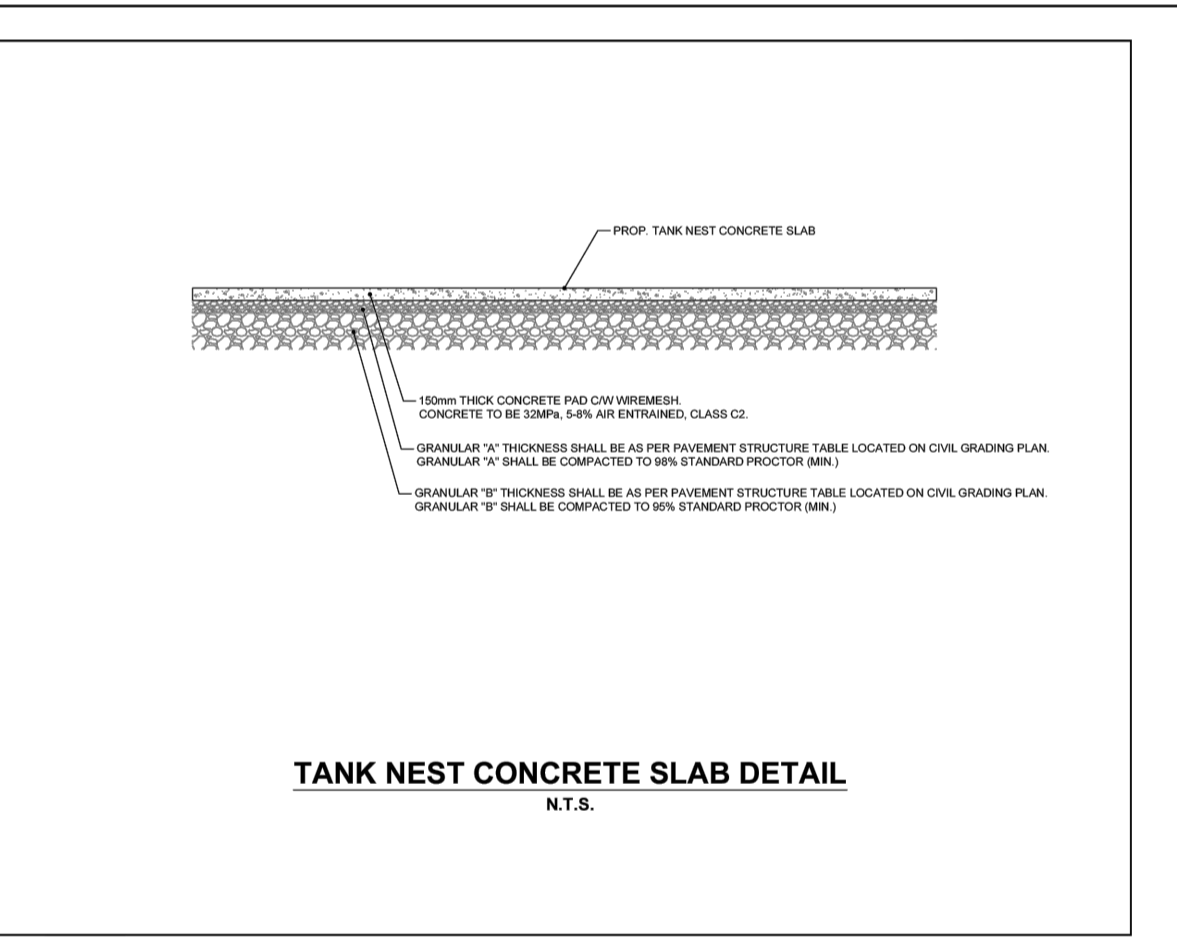
STANDARD CIRCULAR FRAME FOR MAINTENANCE HOLES (MODIFIED OPSD-401.020) OPSD 401.020



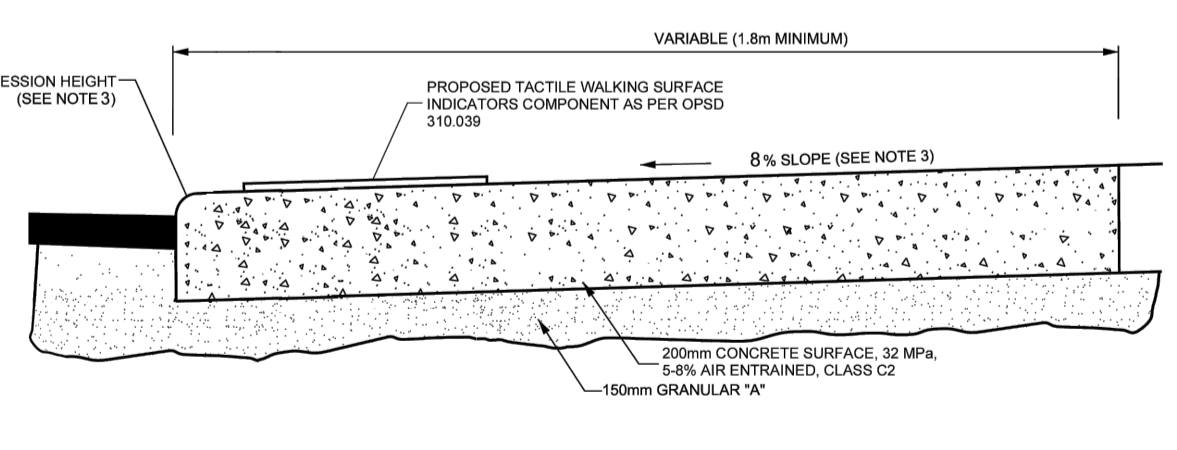
CANOPY APRON & ISLANDS CROSS-SECTION DETAIL N.T.S.



GARBAGE ENCLOSURE DETAIL N.T.S.



TANK NEST CONCRETE SLAB DETAIL N.T.S.



SIDEWALK SECTION AT PRIVATE ENTRANCE AND PEDESTRIAN RAMPS OPSD 600.110

SUBJECT TO APPROVAL

Table with columns: No., ISSUED FOR APPROVAL, M.L., DATE. Includes entries for 06, 05, 04, 03, 02, 01.

NOT AUTHENTIC UNLESS SIGNED AND DATED



CLIENT: MACEWEN PETROLEUM INC. 18 ADELAIDE STREET, MAXVILLE, ON

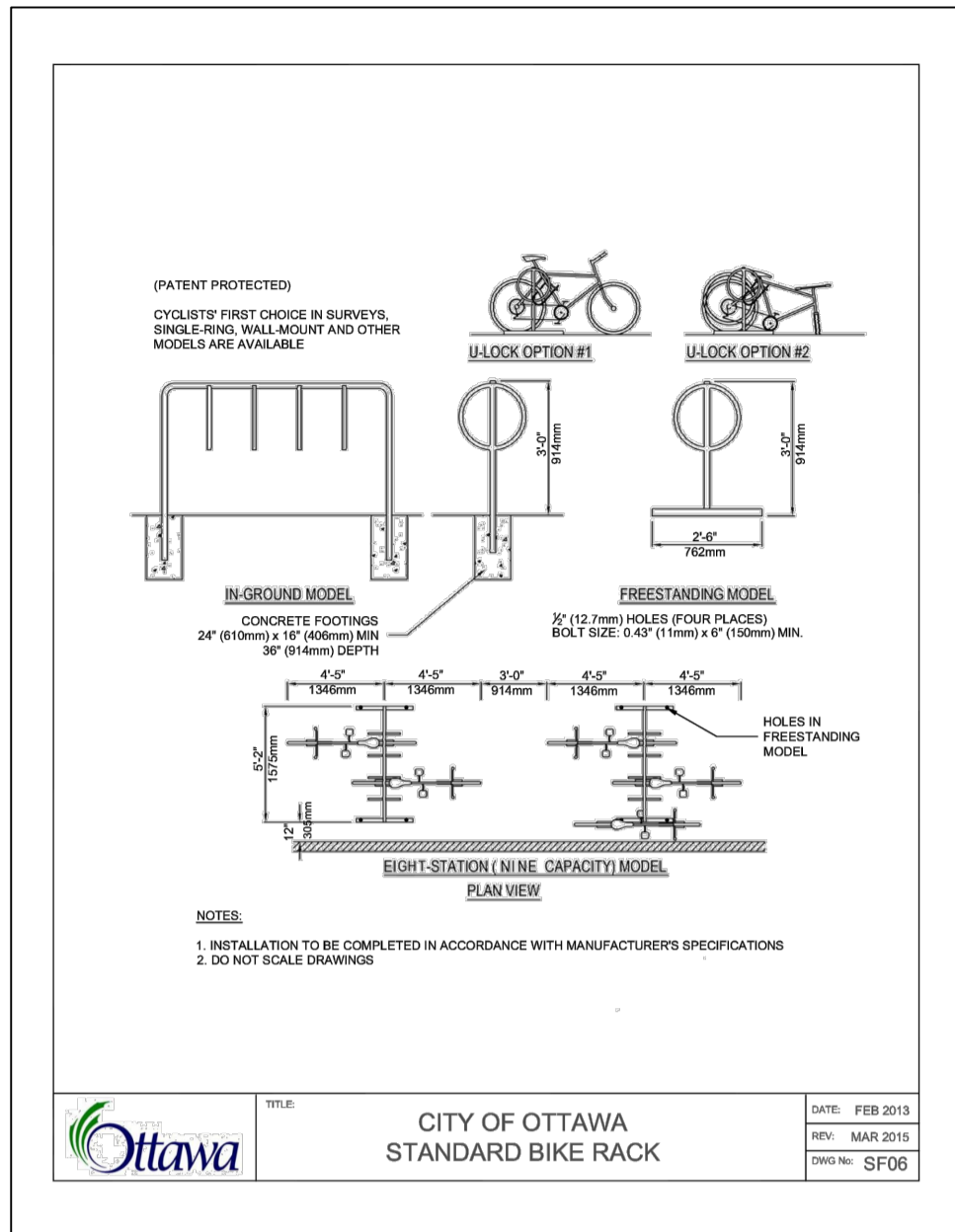
DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: SITE RE-DEVELOPMENT MACEWEN ALBION 5546 ALBION RD S, GLOUCESTER, ON

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO.: 01348 DATE: APRIL 2022

C901



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESIGNEE USE AND INTENT OF THE DRAWING. THE CONTRACT DOCUMENTS INCLUDE, NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CADD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THERE OF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS "ISSUED FOR CONSTRUCTION", THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATES THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED, CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRL FROM ANY DAMAGES, LIABILITIES OR COSTS INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRL'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRL AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRL AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PRIOR AUTHORIZATION.

GENERAL NOTES

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS PREPARED BY ANNIS O'SULLIVAN VOLLEBEK LTD., IN APRIL 2022.



No.	REVISIONS	BY	DATE
06	ISSUED FOR APPROVAL	M.L.	24 JAN 2025
05	ISSUED FOR APPROVAL	M.L.	15 NOV 2024
04	ISSUED FOR APPROVAL	M.L.	09 AUG 2024
03	ISSUED FOR APPROVAL	M.L.	10 APR 2024
02	ISSUED FOR APPROVAL	M.L.	13 DEC 2023
01	ISSUED FOR APPROVAL	M.L.	07 SEP 2023



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LRL

ENGINEERING | INGÉNIÉRIE

5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT
MACEWEN PETROLEUM INC.
18 ADELAIDE STREET, MAXVILLE, ON

DESIGNED BY: M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT
SITE RE-DEVELOPMENT
MACEWEN ALBION
5546 ALBION RD S, GLOUCESTER, ON

DRAWING TITLE
CONSTRUCTION DETAIL PLAN

PROJECT NO.
01348

DATE
APRIL 2022

C902