

**NOTES**

- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY.
- FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
- ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIOR FACE OF EXTERIOR WALLS TO THE EXTERIOR FACE OF PARTY WALLS SEPARATING DIFFERENT USES, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).

SOLID WASTE COLLECTION REQUIREMENTS		
ZONING MECHANISM	REGULATION	PROPOSED
Residential Waste	<b>Garbage (Compacted)</b> = 0.053y/unit Require 16y <sup>3</sup> <b>Recycling (GMP)</b> = 0.018y/unit Require 6y <sup>3</sup> <b>Recycling (Fibres)</b> = 0.038y/unit Require 12y <sup>3</sup> <b>Organics</b> = 240L container/50 units Require 6 containers	<b>Garbage (Compacted)</b> = 6 x 3y <sup>3</sup> containers Total = 18y <sup>3</sup> <b>Recycling (GMP)</b> = 2 x 3y <sup>3</sup> containers Total = 6y <sup>3</sup> <b>Recycling (Fibres)</b> = 4 x 3y <sup>3</sup> containers Total = 12y <sup>3</sup> <b>Organics</b> = 7 x 240L containers Total = 1680L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential (Rental)	297 units / Ground to 21st floors	Ground = 1 caretaker unit = 90m <sup>2</sup> (excluded) 2 <sup>nd</sup> = 16 units = 939m <sup>2</sup> 3 <sup>rd</sup> = 16 units = 946m <sup>2</sup> 4 <sup>th</sup> - 11 <sup>th</sup> = 15 units/floor = 934m <sup>2</sup> / floor 12 <sup>th</sup> = 15 units = 932m <sup>2</sup> 13 <sup>th</sup> - 17 <sup>th</sup> = 15 units/floor = 934m <sup>2</sup> / floor 18 <sup>th</sup> = 14 units = 876m <sup>2</sup> 19 <sup>th</sup> & 20 <sup>th</sup> = 14 units = 851m <sup>2</sup> 21 <sup>st</sup> = 12 units = 772m <sup>2</sup> TOTAL = 18,309m <sup>2</sup> (without Ground)
	Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	8 x Studios (18F units = 15%) 191 x 1 Bedroom (318F units = 16%) 98 x 2 Bedroom (158F units = 15%) 478F units = 15%
Commercial	Ground	Commercial = 453m <sup>2</sup> Office = 72m <sup>2</sup>
<b>TOTAL</b>		<b>18,834m<sup>2</sup></b>

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307		
ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	3,109.10m <sup>2</sup>
Minimum lot width	No minimum	42.45m on George Street, 40.40 on back portion.
Minimum front yard	No minimum, 1m maximum.	0.72m on George Street
Minimum interior side yard	No minimum	0.70m on West side of building, 1.94m on East side of building.
Minimum rear yard	No minimum	6.29m to one storey volume, 5.47m to 4th to 17th floor overhang.
Maximum building height	70m as per Schedule 307. No projections permitted beyond building height.	70m all inclusive.
Maximum floor space index	Not applicable	Not applicable
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped	Whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Minimum lot area for an interior lot: 1350m <sup>2</sup> Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m.	Minimum lot area met. Site Plan Approval received. Not applicable.
Parking Garage permission	100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use and Office use.
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by select uses.  Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area.  Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use.  Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area.  Area of permitted Commercial use exceeds 50% of gross floor area and has separate direct access to George Street.

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Seal



Project  
**141 GEORGE STREET**

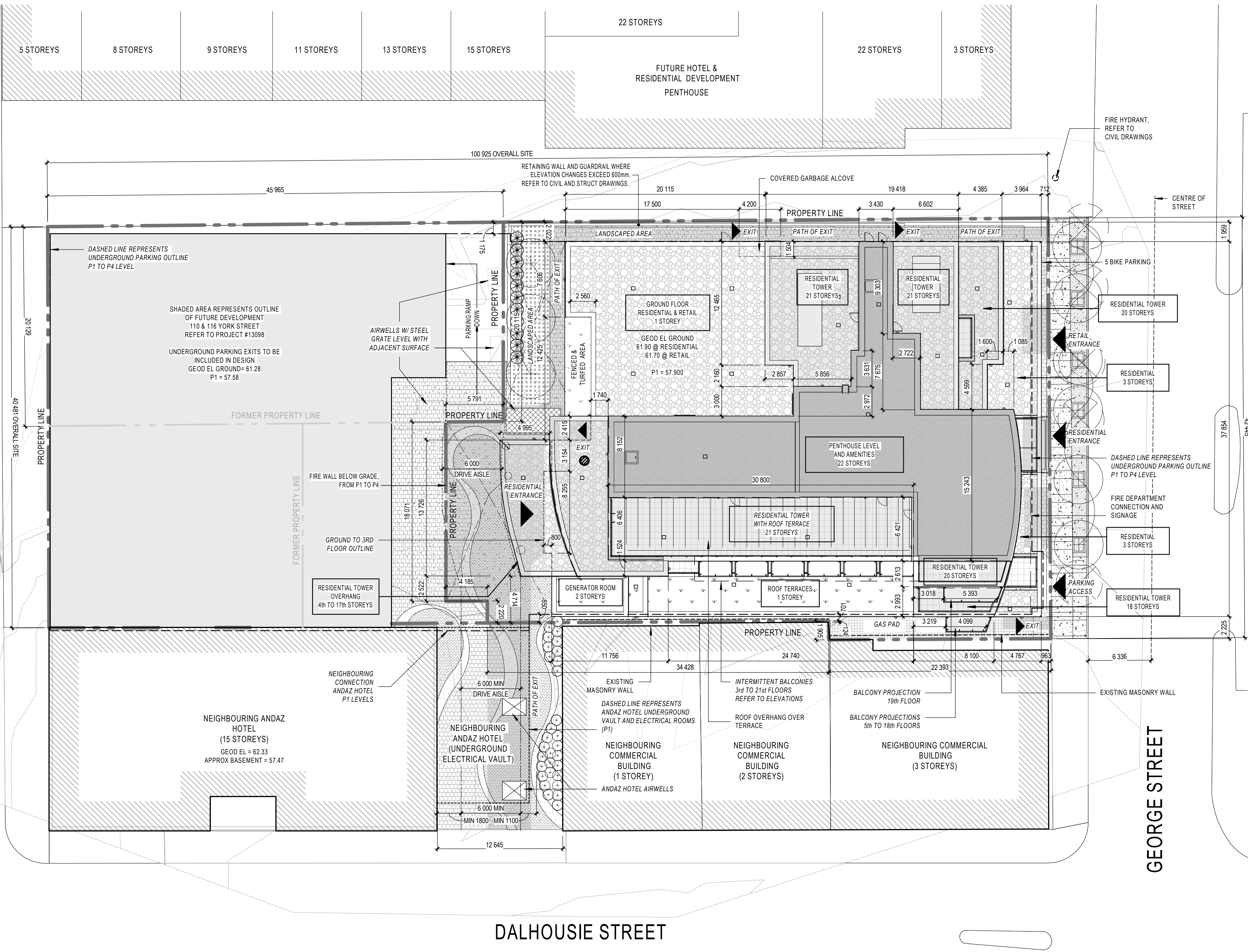
Location  
 OTTAWA No. 12810

NO	REVISION	DATE (yyyy.mm.dd)
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YY	FOR COORDINATION	2024.05.14
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CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT APPROVAL	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
PPP	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

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 Checked by  
 LH  
 DATE (aa.mm.jj)  
 FEB 2023  
 Scale  
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Drawing Title  
**SITE PLAN**

Revision  
**VVV**  
 Dwg Number  
**A100**



**SITE PLAN**  
 1 : 250

AMENITY AND PARKING REQUIREMENTS ZONING - MD2 (2031) S307 (PARKING COMBINED WITH FUTURE 110 & 116 YORK STREET DEVELOPMENT)				
ZONING MECHANISM	REGULATION	ORIGINAL PROPOSAL 1 STOREY PARKING (DEC 7, 2012)	PROPOSED 5 STOREY PARKING (JUN 6, 2023)	NEWLY PROPOSED 4 STOREY PARKING (DEC 2024)
Residential Parking 141 GEORGE	None Required 6m drive aisle required.	Hotel & Condos 5 exterior 225 interior	P2 26 spaces P3 51 spaces P4 32 spaces P5 52 spaces	P3 44 spaces P4 21 spaces 6.0m drive aisle provided.
110 & 116 YORK	Residential Area 2 (By-law 2016-249); no more than 30 visitor spaces are required per building. Exception #2031: 0.083 spaces x 297 units = 25 visitor parking spaces 6m drive aisle required.		P1 2 spaces P2 23 spaces	P4 25 spaces 6.0m drive aisle provided.
Commercial Parking 141 GEORGE	None Required 6.7m drive aisle required.		P1 5 spaces.	None Required.
Hotel Parking 141 GEORGE	None Required 6m drive aisle required.		P1 25 spaces	P1 29 spaces P2 44 spaces 6.0m drive aisle provided.
110 & 116 YORK			P1 20 spaces P2 41 spaces	P1 20 spaces P2 41 spaces
Barrier-Free Parking Combined 141 GEORGE & 110 & 116 YORK	300-399 spaces requires 4 barrier-free spaces (Traffic and Parking By-Law 2017-301)		Total: 230 spaces	Total: 246 spaces 141 George: 164 spaces 110 York: 143 spaces
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m <sup>2</sup> of GFA 458m <sup>2</sup> GFA / 250m <sup>2</sup> = 1.832 bicycle parking spaces Hotel: 1 per 100m <sup>2</sup> of GFA +4,800m <sup>2</sup> GFA / 1,000m <sup>2</sup> = 4.8 bicycle parking spaces Minimum 50% to be horizontal racks.	Condo 141 interior Retail: 5 (Exterior)	Residential: 15 (P1) 63 (P2) 66 (P3) Retail: 5 (Exterior)	Residential: 63 (P1) 63 (P2) 31 (P3) Total 157 spaces Retail: 5 (Exterior)
110 & 116 YORK		Hotel 7 exterior	Hotel 9 (Interior)	Hotel 9 (Interior)
Maximum parking	1.5 per dwelling unit Limited to 445 space for 297 units. (combined with visitor) 1 per 100m <sup>2</sup> of Commercial gross area. Limited to 5 spaces.		Total parking spaces is under the limit.	Total parking spaces is under the limit.
Minimum driveway width	6m		6m	6m
Minimum aisle width	6m		6m	6m
Loading	Exception #2031; None Required.		NA	NA
Amenities Areas	Amenity Area - 6m <sup>2</sup> per unit = 297 units x 6m <sup>2</sup> = 1,782m <sup>2</sup> Communal Amenity Area : Exception #2031; minimum 40% off the required total Amenity Area = 1,782m <sup>2</sup> x 0.4 = minimum 713m <sup>2</sup> Layout of Communal Amenity Area - aggregated into areas up to 54m <sup>2</sup>		Total Balconies = 1,555m <sup>2</sup> Ground = 35m <sup>2</sup> 2 <sup>nd</sup> = 99m <sup>2</sup> 3 <sup>rd</sup> = 69m <sup>2</sup> 4 <sup>th</sup> to 17 <sup>th</sup> = 75m <sup>2</sup> / floor 18 <sup>th</sup> = 77m <sup>2</sup> 19 <sup>th</sup> = 85m <sup>2</sup> 20 <sup>th</sup> = 75m <sup>2</sup> 21 <sup>st</sup> = 85m <sup>2</sup> Total Communal = 729m <sup>2</sup> Ground floor = 220m <sup>2</sup> 2 <sup>nd</sup> = 195m <sup>2</sup> 21st = 341m <sup>2</sup> Total = 2,284m <sup>2</sup>	Total Balconies = 1,727m <sup>2</sup> 2 <sup>nd</sup> = 110m <sup>2</sup> 3 <sup>rd</sup> = 113m <sup>2</sup> 4 <sup>th</sup> = 50m <sup>2</sup> 5 <sup>th</sup> to 17 <sup>th</sup> = 82m <sup>2</sup> / floor 18 <sup>th</sup> = 80m <sup>2</sup> 19 <sup>th</sup> = 97m <sup>2</sup> 20 <sup>th</sup> = 84m <sup>2</sup> 21 <sup>st</sup> = 82m <sup>2</sup> Total Communal = 773m <sup>2</sup> Ground floor = 432m <sup>2</sup> 22nd = 341m <sup>2</sup> Total = 2,500m <sup>2</sup>

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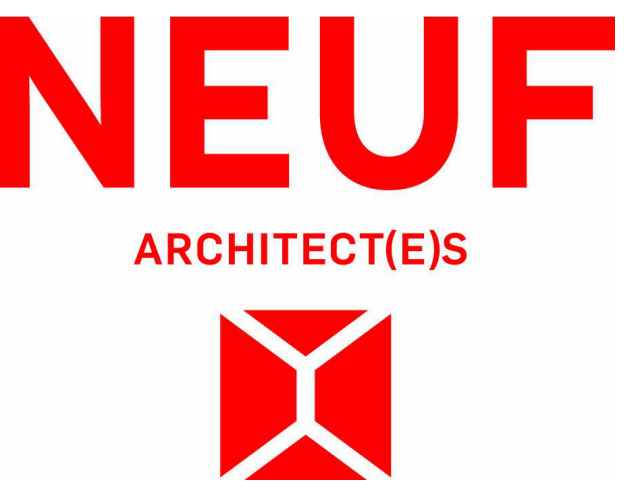
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**141 GEORGE STREET**

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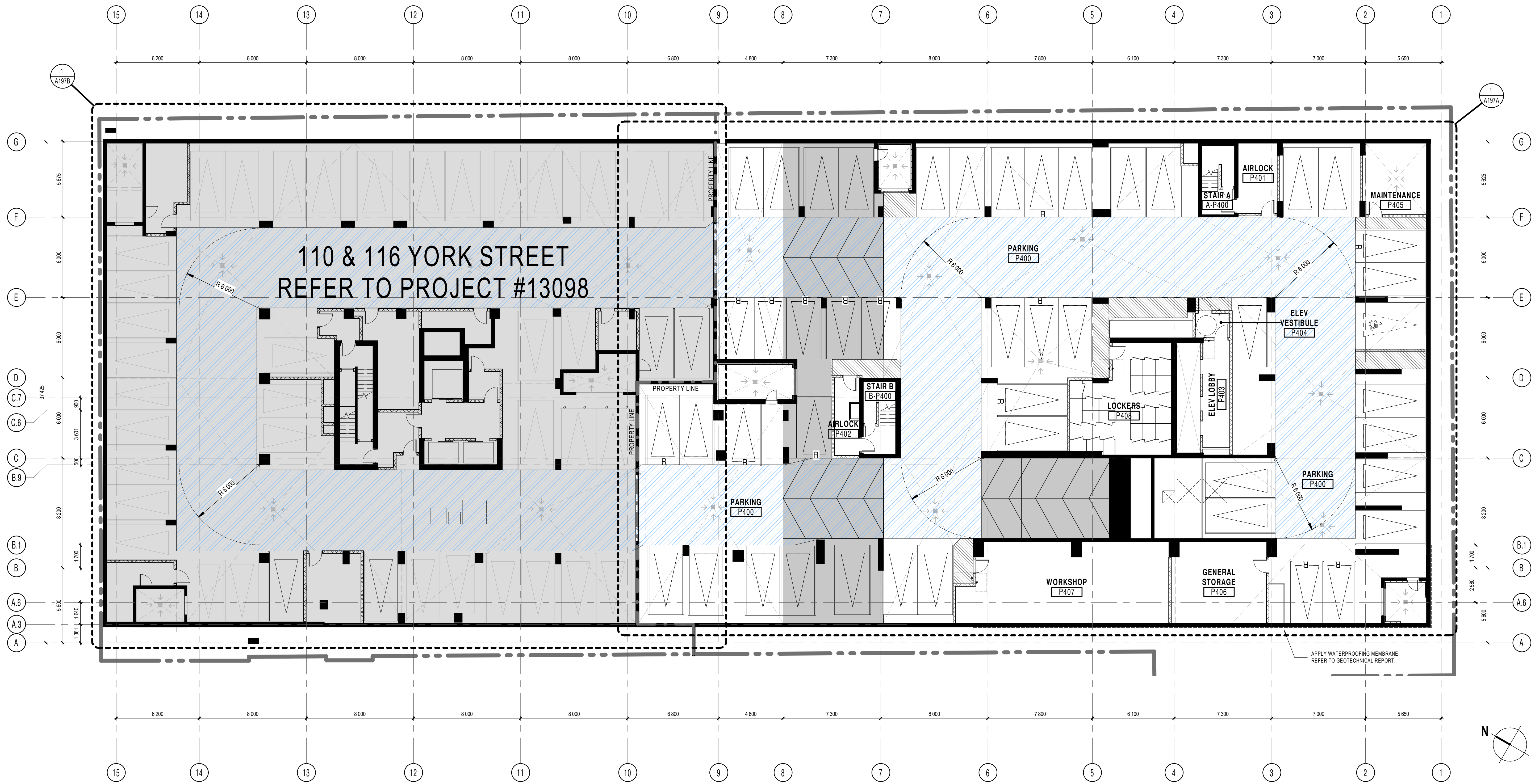
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 Drawing Title

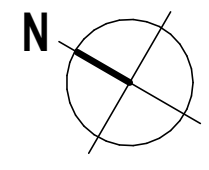
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**PARKING LEVEL 4 FLOOR PLAN**

Revision  
**VVV**  
 Dwg Number  
**A197**



**P4 OVERALL FLOOR PLAN**  
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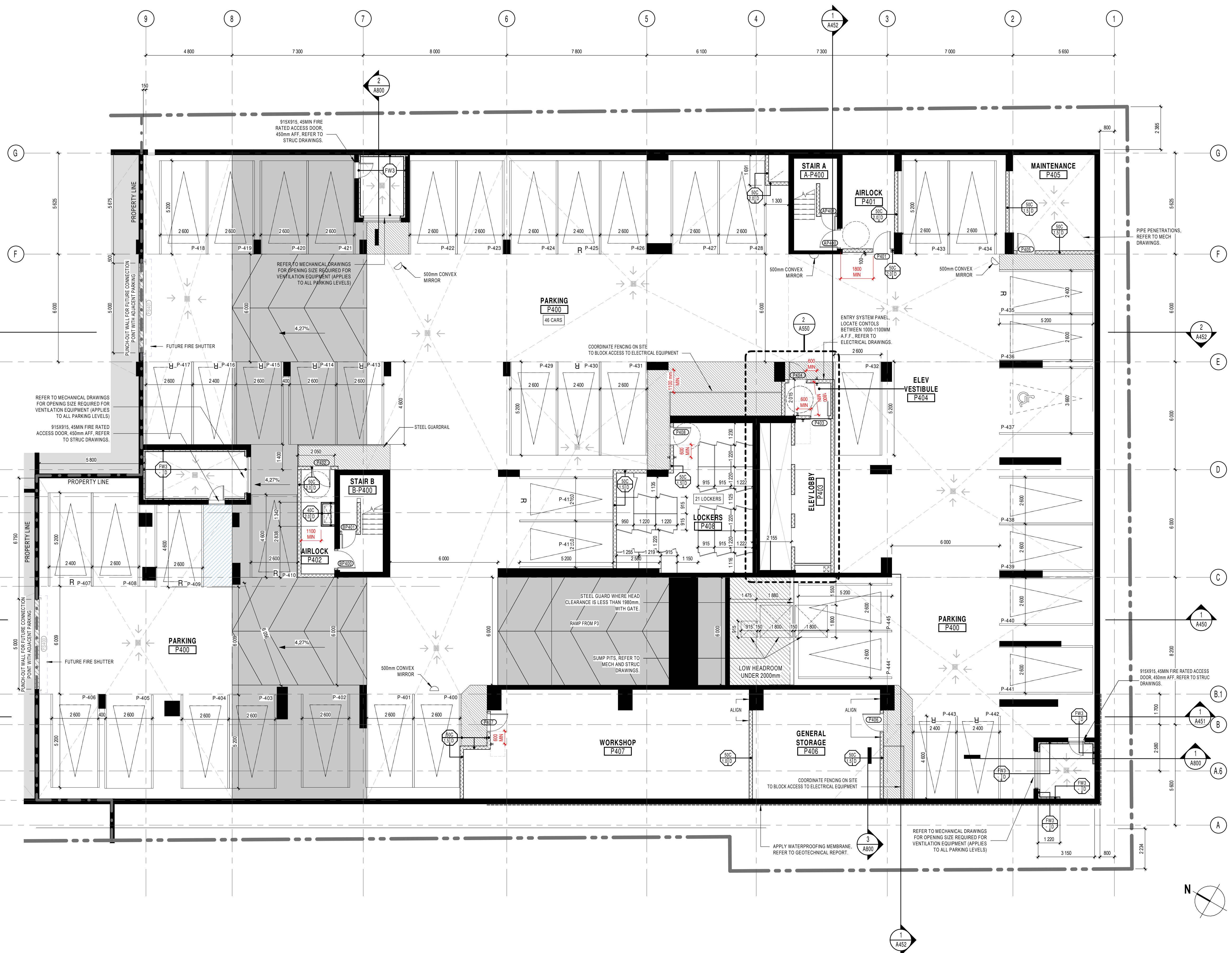


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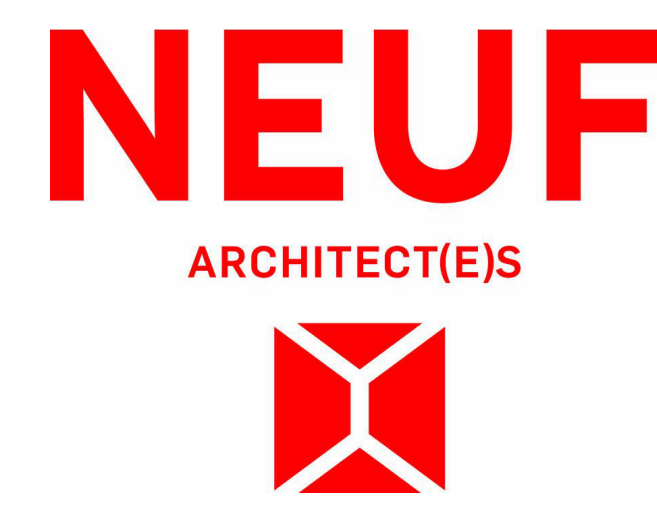
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 OCT 2024

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Drawing Title  
**PARKING LEVEL 4 FLOOR PLAN (GEORGE)**

Revision  
**VVV**

Dwg Number  
**A197A**

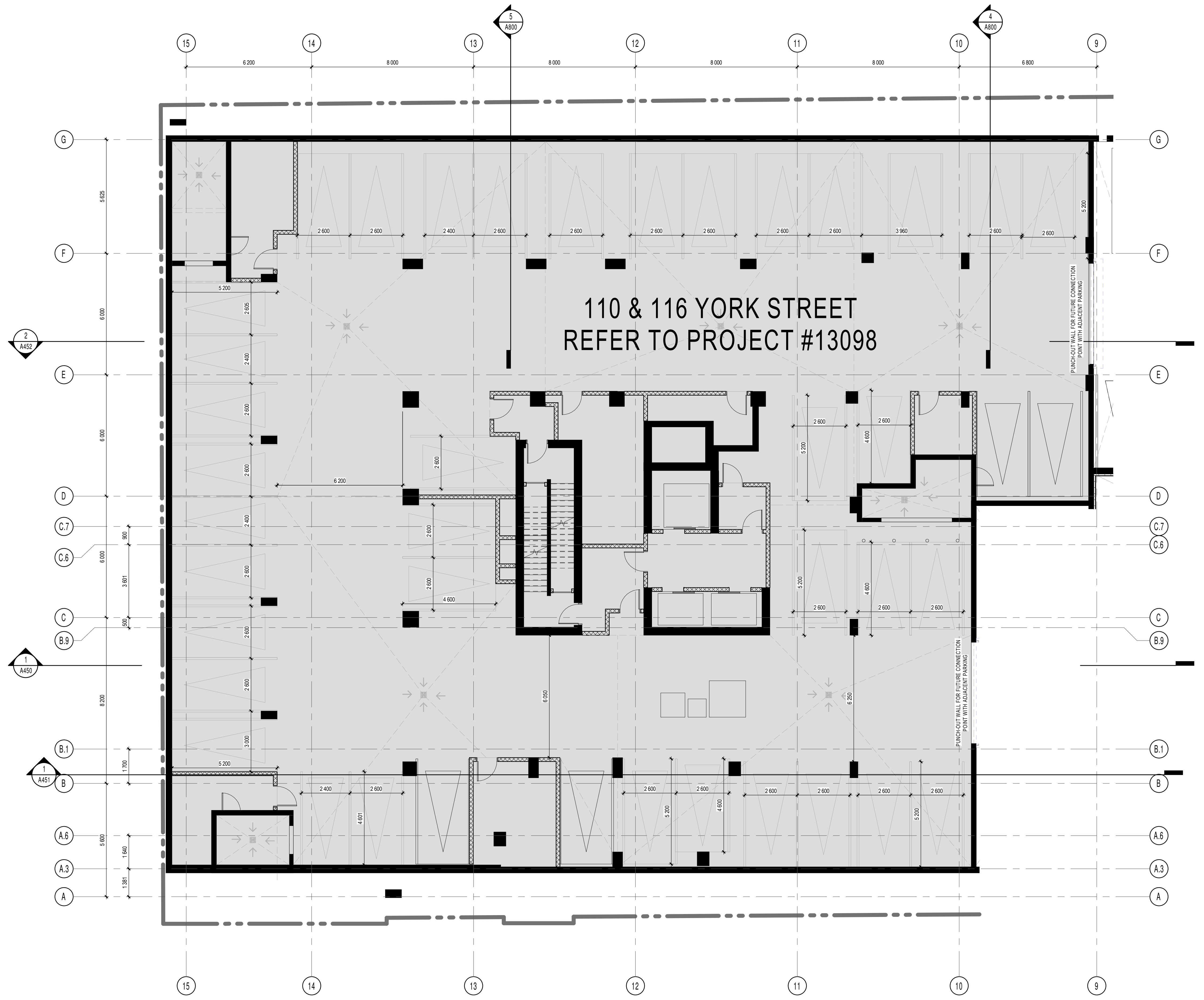
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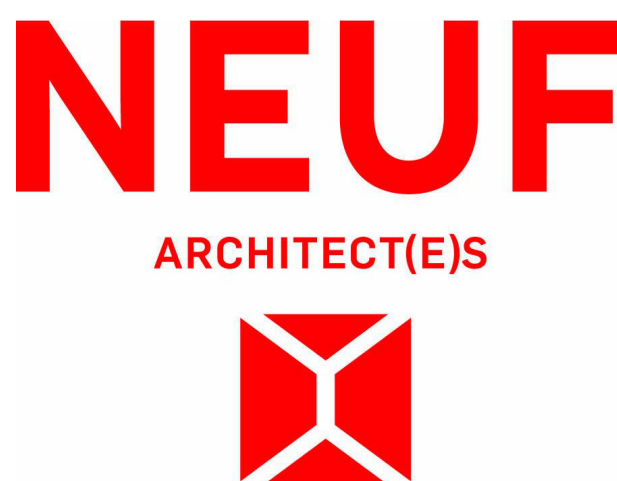
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 OCT 2024  
 Drawing Title

Checked by  
 LH  
 Scale  
 As indicated

**PARKING LEVEL 4  
 FLOOR PLAN (YORK)**

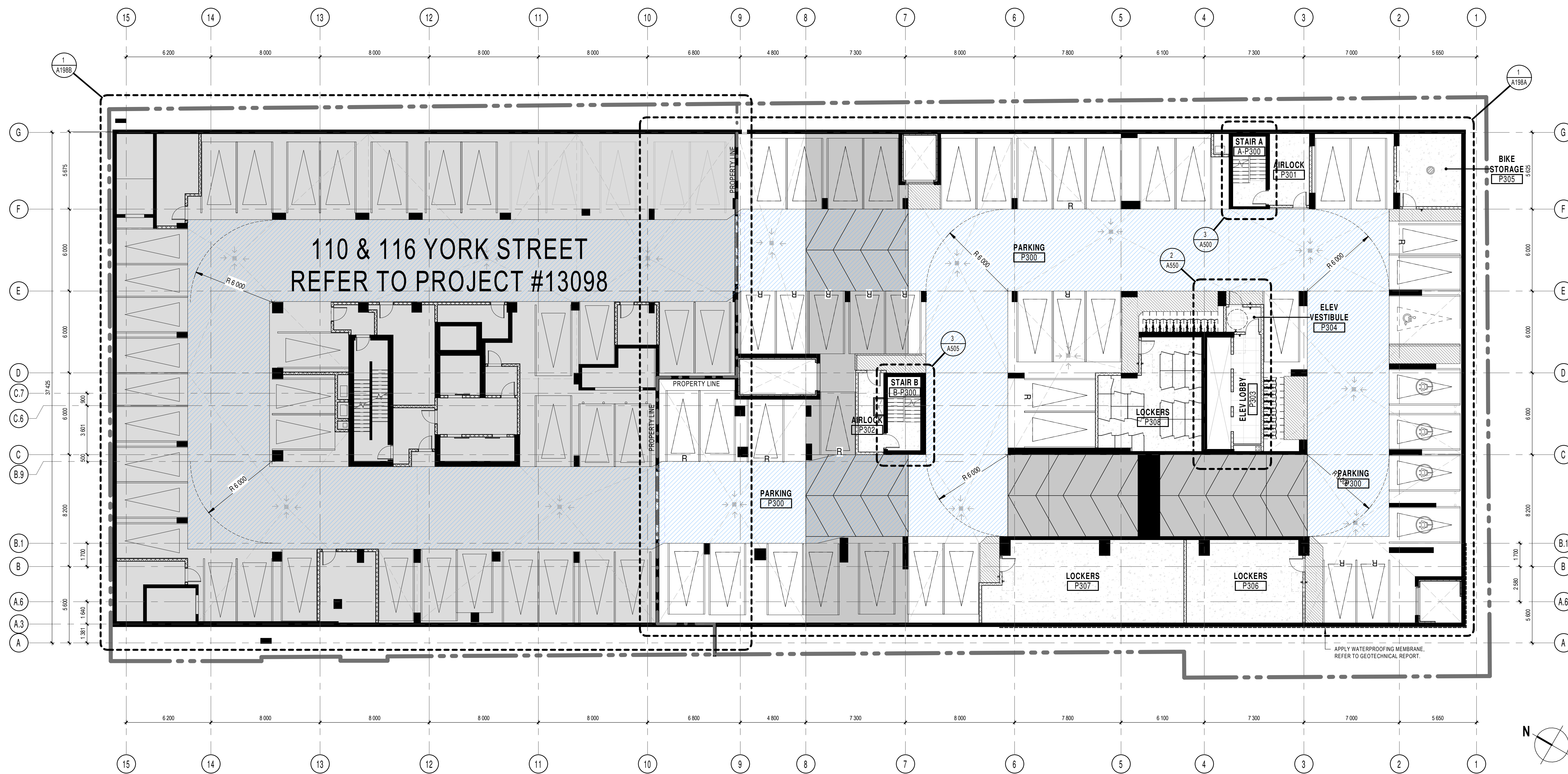
Revision  
**VVV**  
 Dwg Number  
**A197B**

**P4B FLOOR PLAN (YORK)**

1:100

1  
 A197B





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 T 905 285 9900 jainconsultants.com

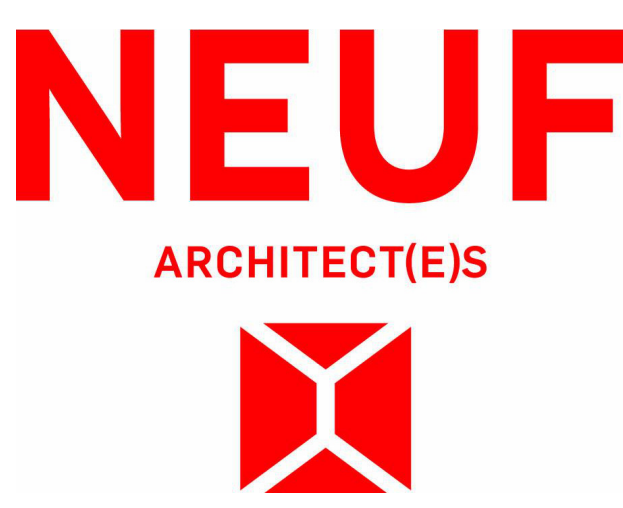
Structural Engineer  
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 T 613 226 4558 goodevestructural.ca

Landscape Architect  
**James B. Lennox & Associates**  
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 15 Robson Street, 4th floor, Ottawa ON K1N 6J1  
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Seal



Project  
**141 GEORGE STREET**

Location  
 OTTAWA  
 No. 12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24
	APPROVAL	

Drawn by  
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 DATE (aa.mm.jj)  
 SEP 2022  
 Drawing Title

Checked by  
 LH  
 Scale  
 1 : 150

**PARKING LEVEL 3 FLOOR PLAN**

Revision  
**VVV**  
 Dwg Number  
**A198**

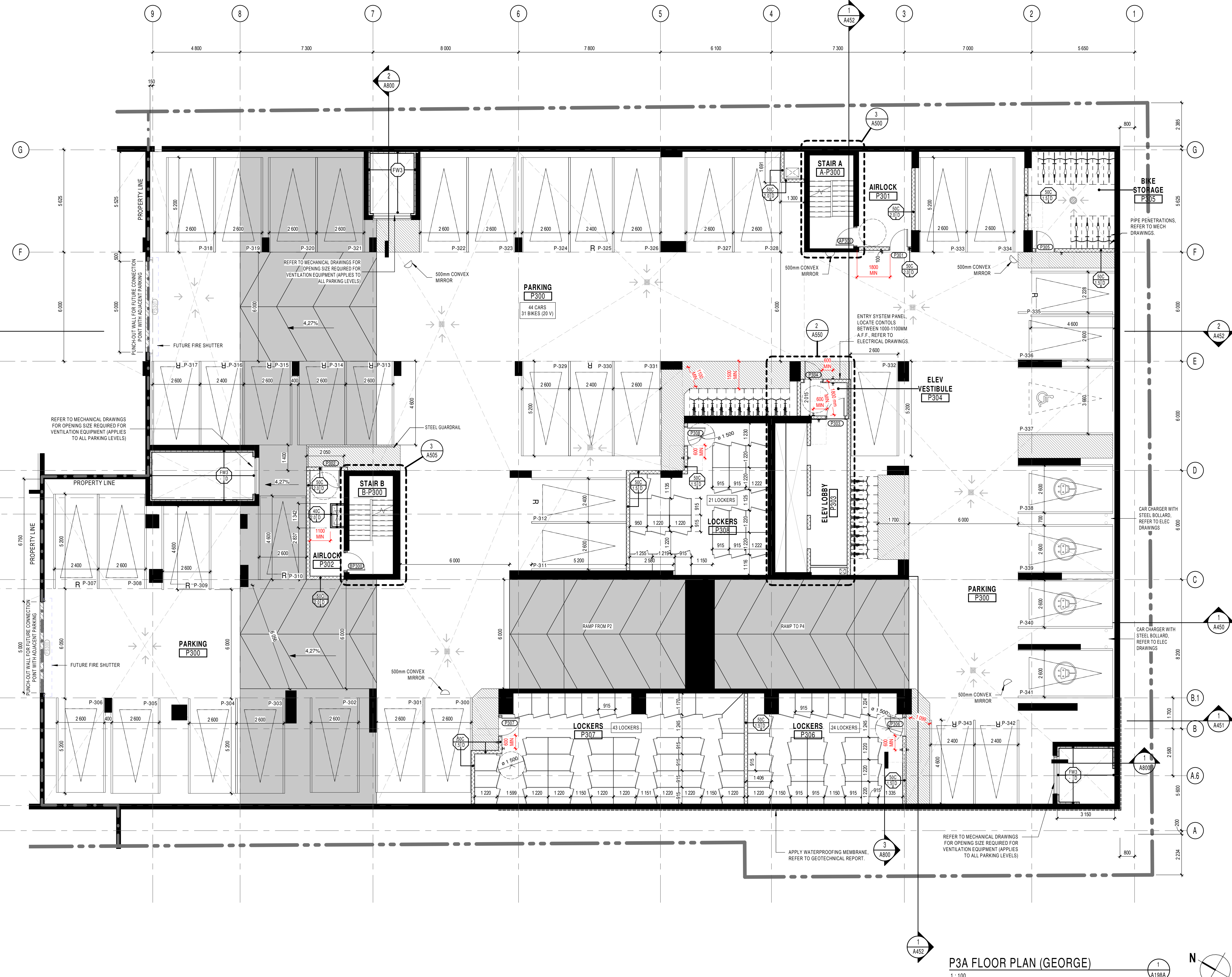
**P3 OVERALL FLOOR PLAN**  
 1 : 150

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PC2024-0200 D070-12-12-0199 16814

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Seal



Client  
**141 GEORGE STREET**

Location  
 OTTAWA

NO	REVISION	DATE (yyyy.mm.dd)
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
JAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
PPP	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by  
 SJ

Checked by  
 LH

DATE (aa.mm.jj)  
 SEP 2022

Scale  
 As indicated

Drawing Title  
**PARKING LEVEL 3 FLOOR PLAN (GEORGE)**

Revision  
**VVV**

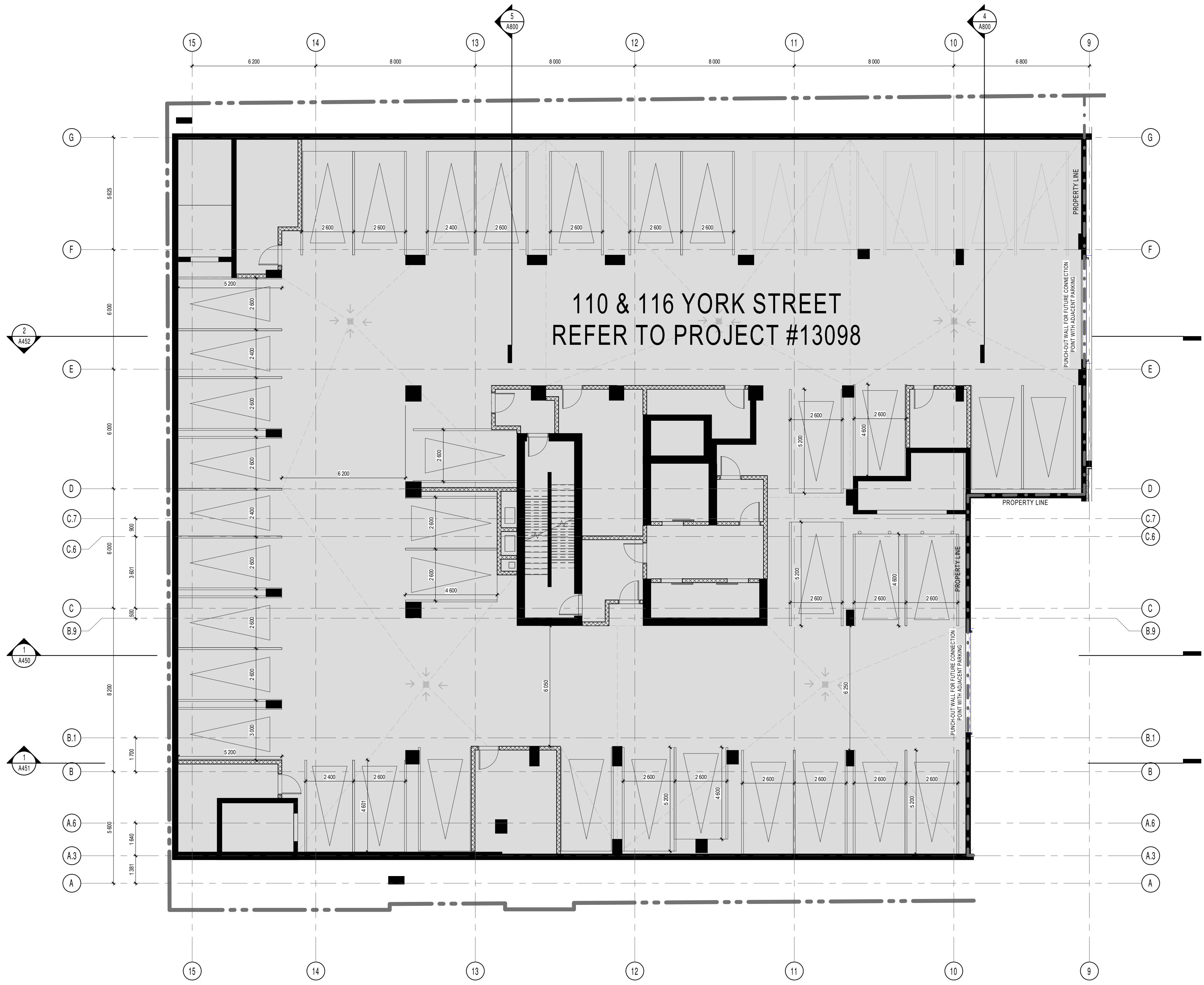
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**A198A**

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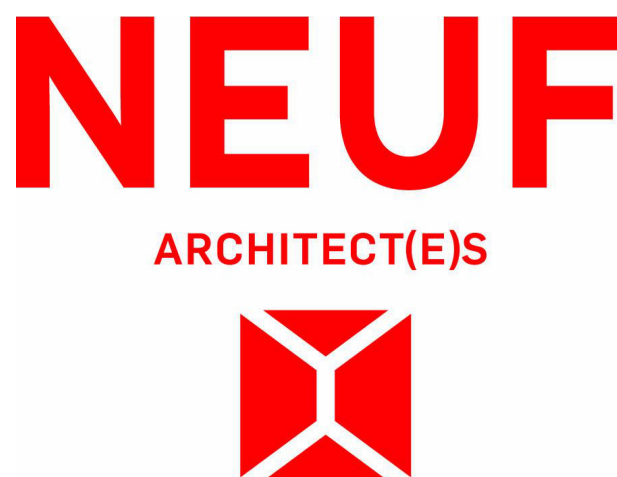
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Seal



Client



Project

**141 GEORGE STREET**

Location  
 OTTAWA 12810

NO	REVISION	DATE (yyyy.mm.dd)
JAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
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RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

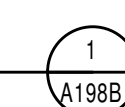
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 DATE (aa.mm.jj)  
 SEP 2022  
 Drawing Title  
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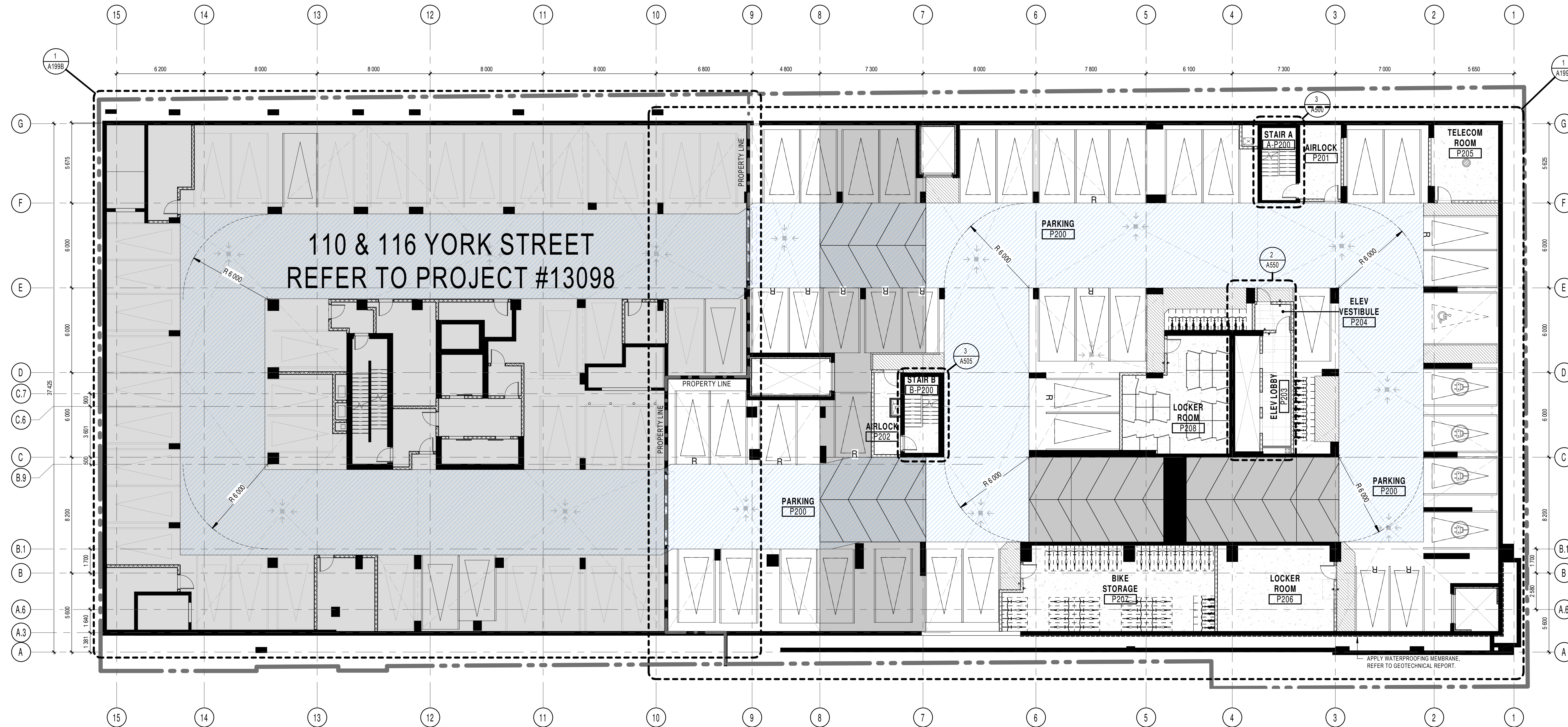
**PARKING LEVEL 3 FLOOR PLAN (YORK)**

Revision  
**VVV**  
 Dwg Number  
**A198B**

P3B FLOOR PLAN (YORK)

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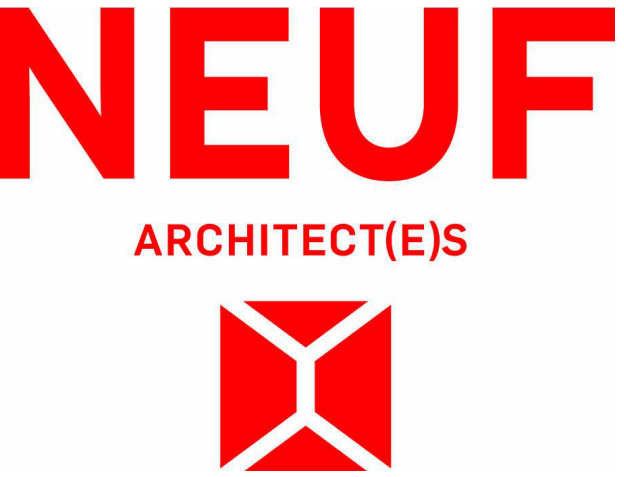
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Client  
**141 GEORGE STREET**

Location  
 OTTAWA

No.  
 12810

NO	REVISION	DATE (yyyy.mm.dd)
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
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MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
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NNN	FOR COORDINATION	2024.11.15
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RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

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 SJ

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 FEB 2024

Scale  
 1 : 150

Drawing Title  
**PARKING LEVEL 2 FLOOR PLAN**

Revision  
**VVV**

Dwg Number  
**A199**

**P2 OVERALL FLOOR PLAN**  
 1 : 150

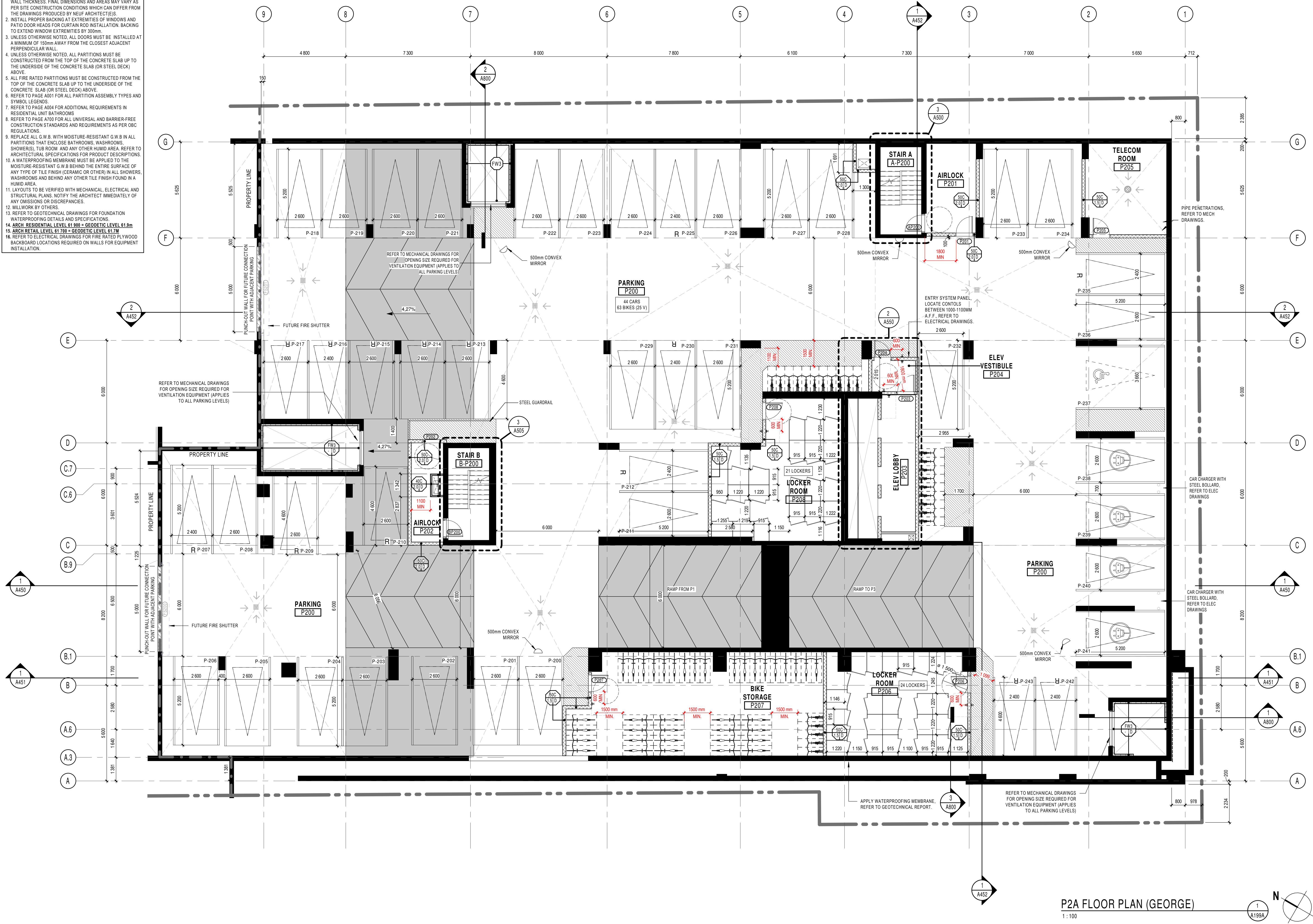
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PC2024-0200  
 D070-12-12-0199  
 16814



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**P2A FLOOR PLAN (GEORGE)**  
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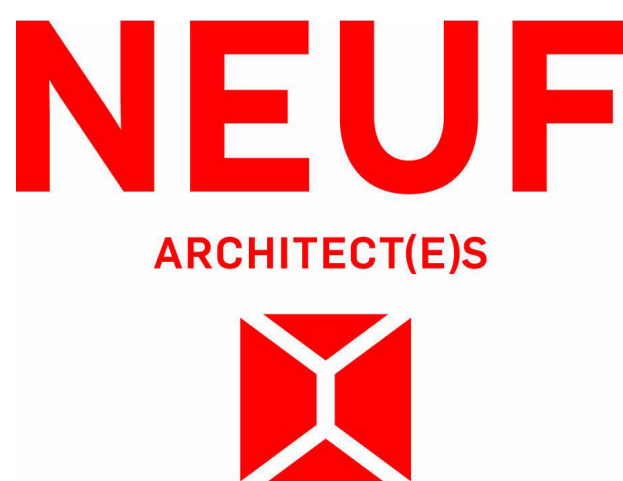
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Architect  
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Seal



Project  
**141 GEORGE STREET**

Location  
**OTTAWA** No. **12810**

NO	REVISION	DATE (yyyy.mm.dd)
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.06.23
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
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VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

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**SJ** Checked by  
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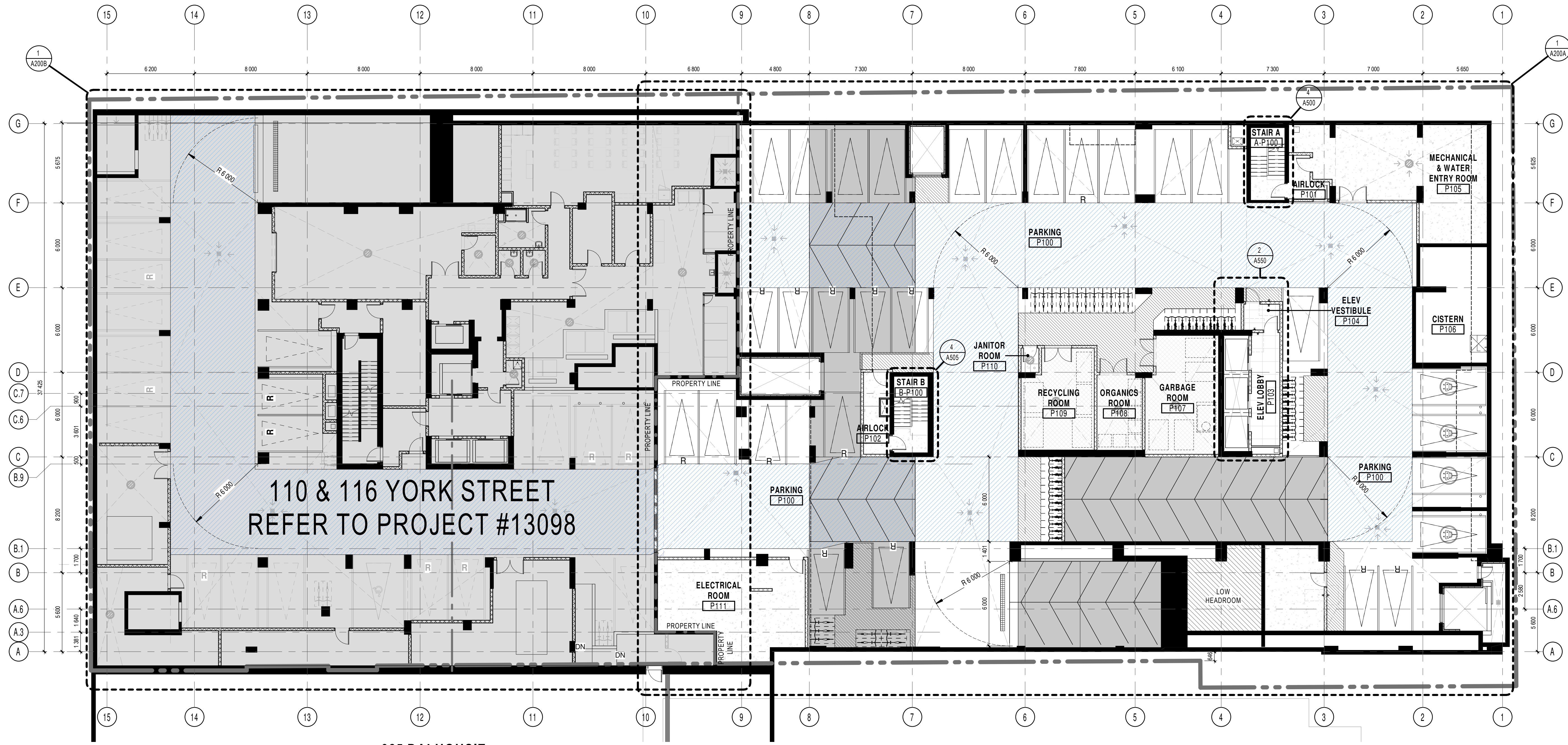
Drawing Title  
**PARKING LEVEL 2 FLOOR PLAN (GEORGE)**

Revision  
**VVV** Dwg Number  
**A199A**

PC2024-0200 D070-12-12-0199 16814

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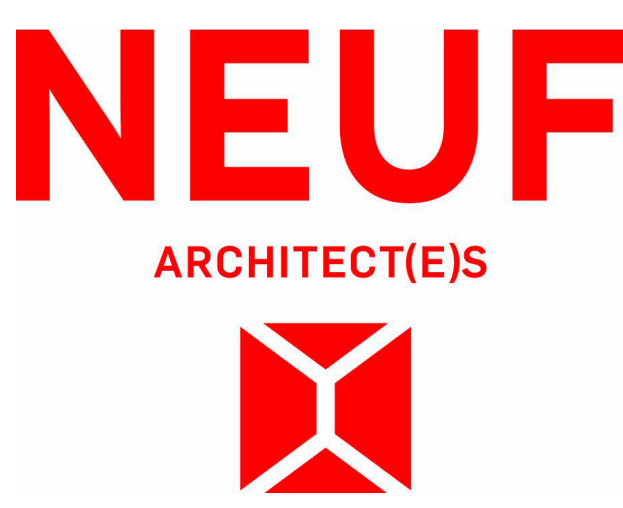
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Architect  
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T 514 847 1117 NEUFArchitectes.com

Scale



Project  
**141 GEORGE STREET**

Location  
OTTAWA

No.  
12810

NO	REVISION	DATE (yyyy.mm.dd)
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
GGG	FOR TENDER - ADDENDUM 02	2024.07.09
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN	2024.11.07
	APPROVAL	
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
UUU	FOR COORDINATION	2025.01.17
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by  
SJ

Checked by  
LH

DATE (aa.mm.jj)  
SEP 2022

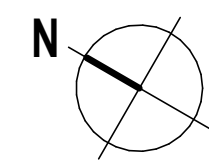
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Drawing Title  
**PARKING LEVEL 1  
OVERALL FLOOR PLAN**

Revision  
**VVV**

Dwg Number  
**A200**

P1 OVERALL FLOOR PLAN  
1 : 150



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D070-12-12-0199  
16814

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- MILLWORK BY OTHERS.
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- ARCH. RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.9m
- ARCH. RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
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 7405 San Danbro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8  
 T 905 285 9900 jainconsultants.com

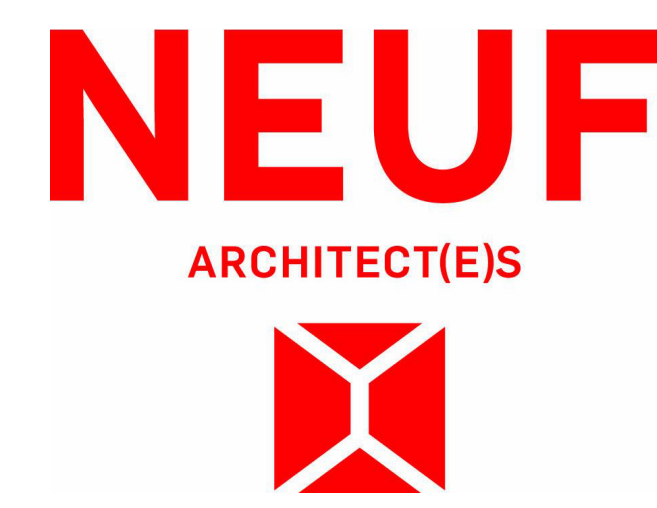
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Seal



Client  
**141 GEORGE STREET**

Location  
 OTTAWA

No.  
 12810

NO	REVISION	DATE (yyyy.mm.dd)
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.09
GGG	FOR TENDER - ADDENDUM 02	2024.07.09
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
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AAA	APPROVAL	2024.11.15
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VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by  
 SJ

Checked by  
 LH

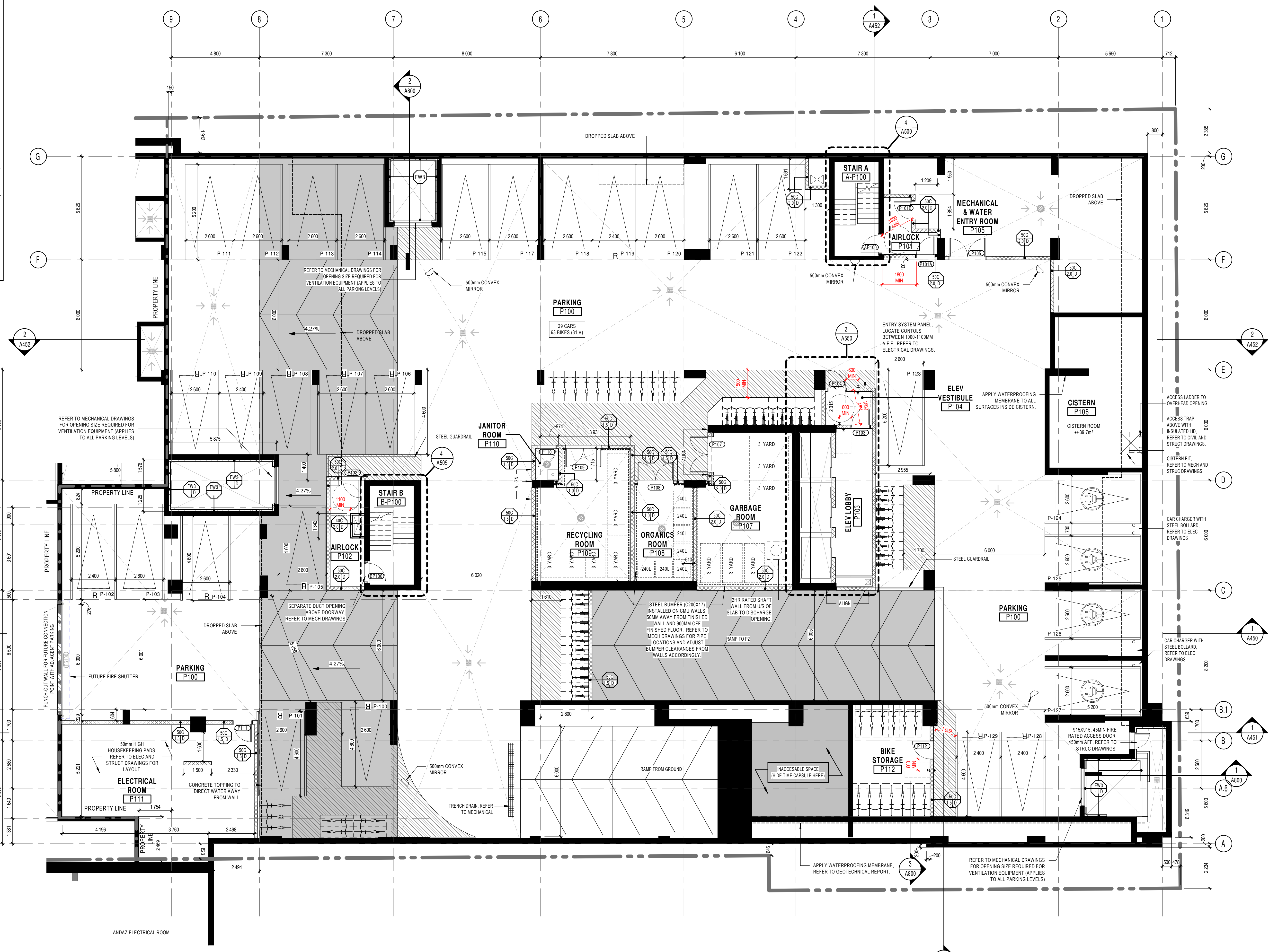
DATE (aa.mm.jj)  
 SEP 2022

Scale  
 As indicated

Drawing Title  
**PARKING LEVEL 1 FLOOR PLAN (GEORGE)**

Revision  
**VVV**

Dwg Number  
**A200A**



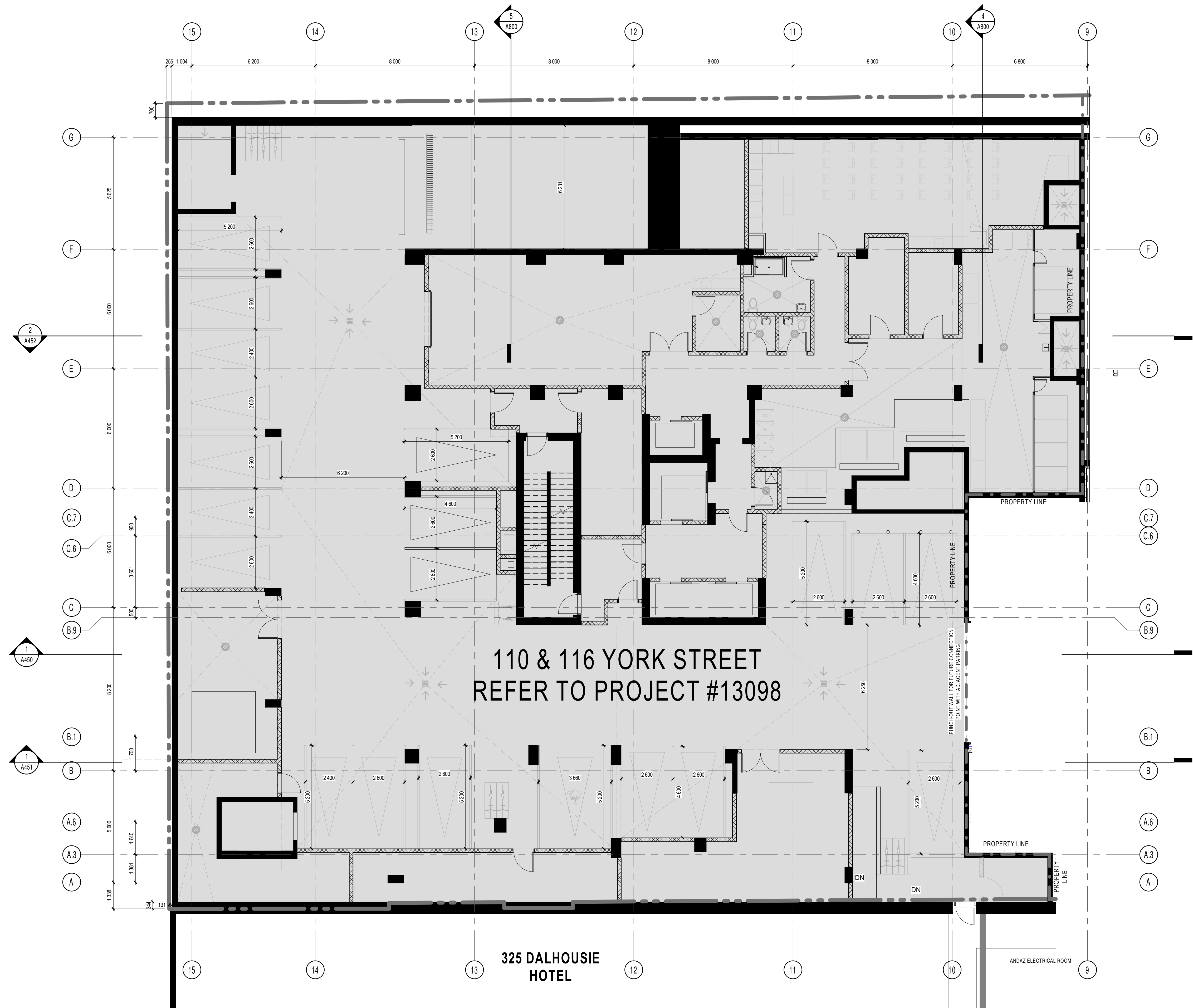
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PC2024-020  
 D070-12-10199  
 16814

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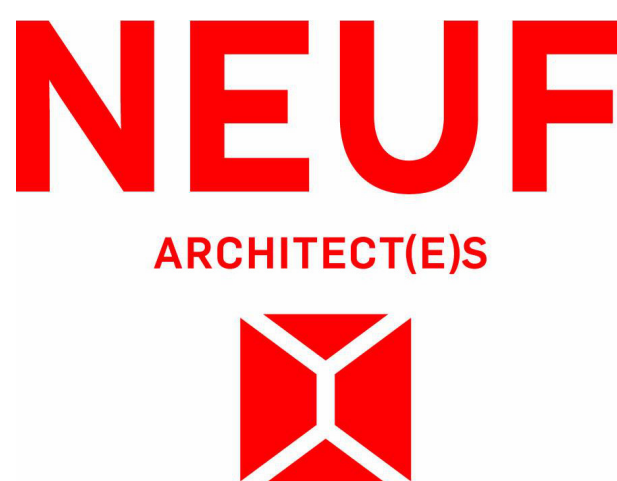
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Architect  
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Seal



Client



Project

**141 GEORGE STREET**

Location

OTTAWA 12810

NO REVISION DATE (yyyy.mm.dd)

AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	RE-ISSUED FOR SITE PLAN APPROVAL	2024.11.07
NNN	FOR COORDINATION	2024.11.15
OOO	FOR COORDINATION	2024.11.22
RRR	RE-ISSUED FOR FOUNDATION PERMIT	2024.12.09
SSS	RE-ISSUED FOR SITE PLAN APPROVAL	2024.12.17
TTT	FOR COORDINATION	2025.01.13
VVV	RE-ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by: SJ Checked by: LH

DATE (aa.mm.jj): FEB 2024 Scale: As indicated

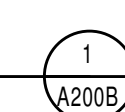
Drawing Title: PARKING LEVEL 1 FLOOR PLAN (YORK)

Revision: VVV Dwg Number: A200B

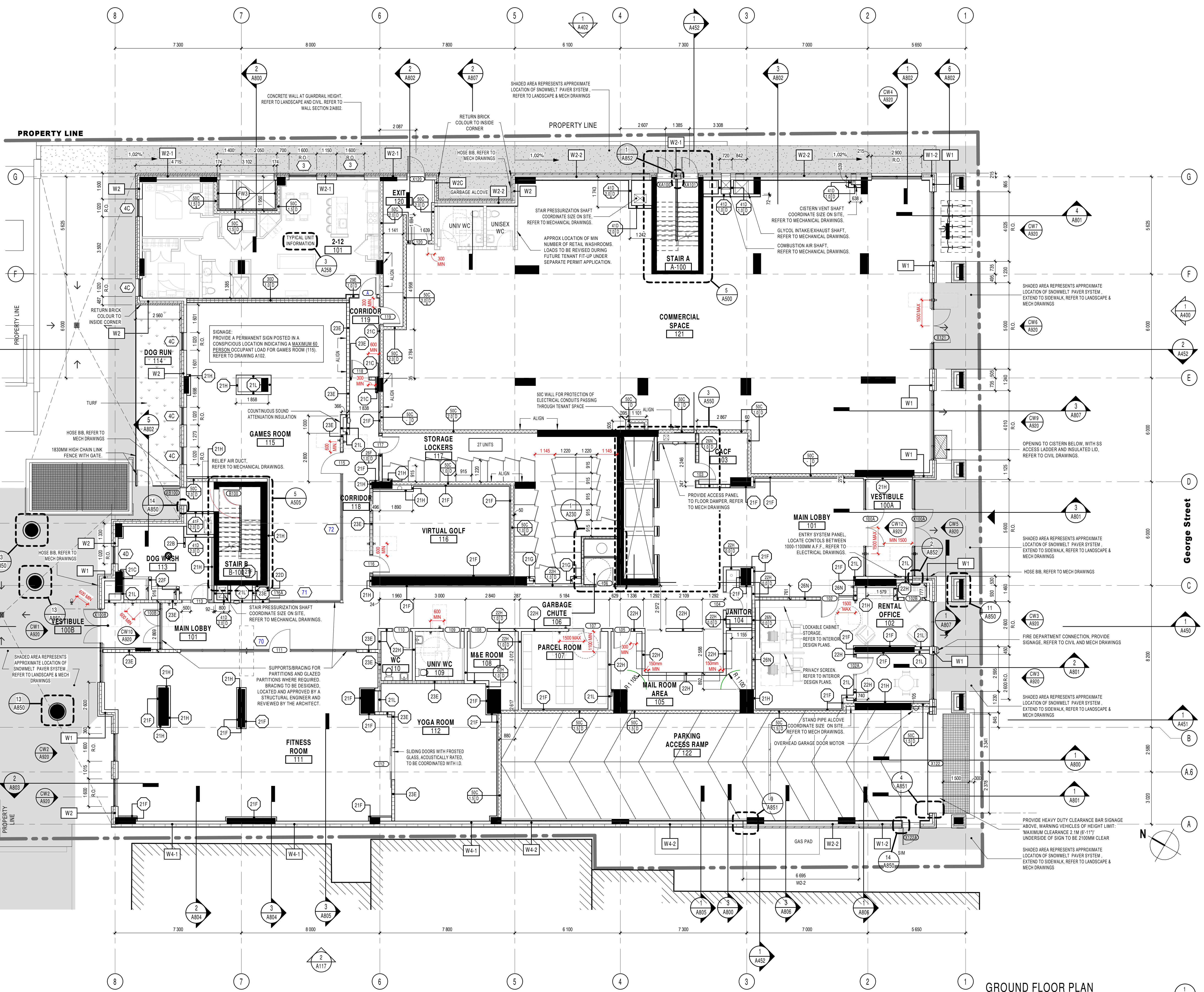
Revision: VVV Dwg Number: A200B

P1B FLOOR PLAN (YORK)

1:100



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**GROUND FLOOR PLAN**  
1:100

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Scale



Project  
**141 GEORGE STREET**

Location  
**OTTAWA**

NO	REVISION	DATE (yyyy.mm.dd)
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
BBB	FOR COORDINATION	2024.05.23
CCC	FOR REVISION	2024.05.23
DDD	FOR REVISED FOUNDATION PERMIT APPROVAL	2024.07.03
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TTT	FOR COORDINATION	2025.01.13
VVV	RE ISSUED FOR SITE PLAN APPROVAL	2025.01.24

Drawn by  
**SJ**

DATE (aa.mm.jj)  
**SEP 2022**

Drawing Title  
**GROUND FLOOR PLAN**

Checked by  
**LH**

Scale  
**As indicated**

Dwg Number  
**A201**

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