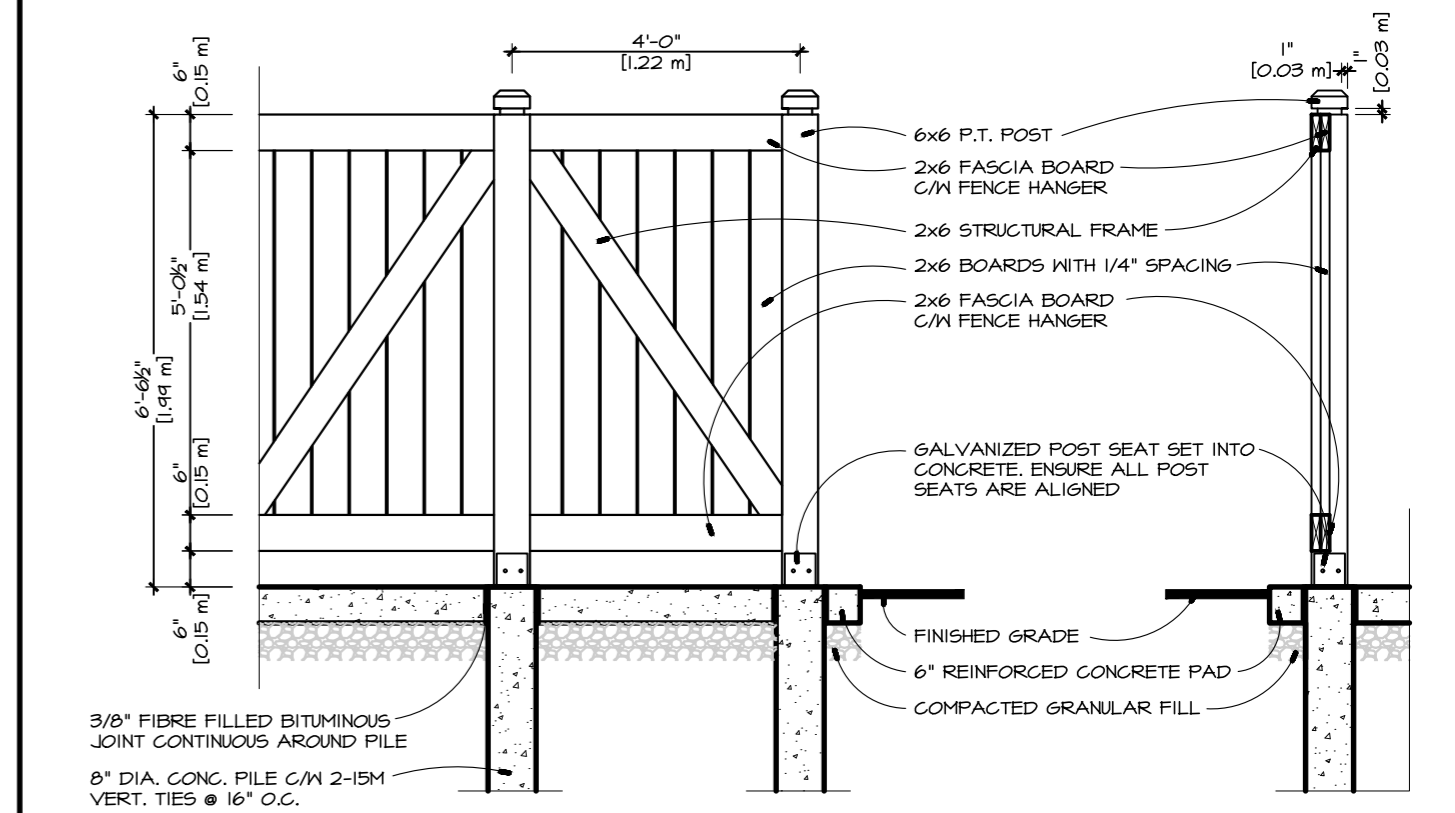
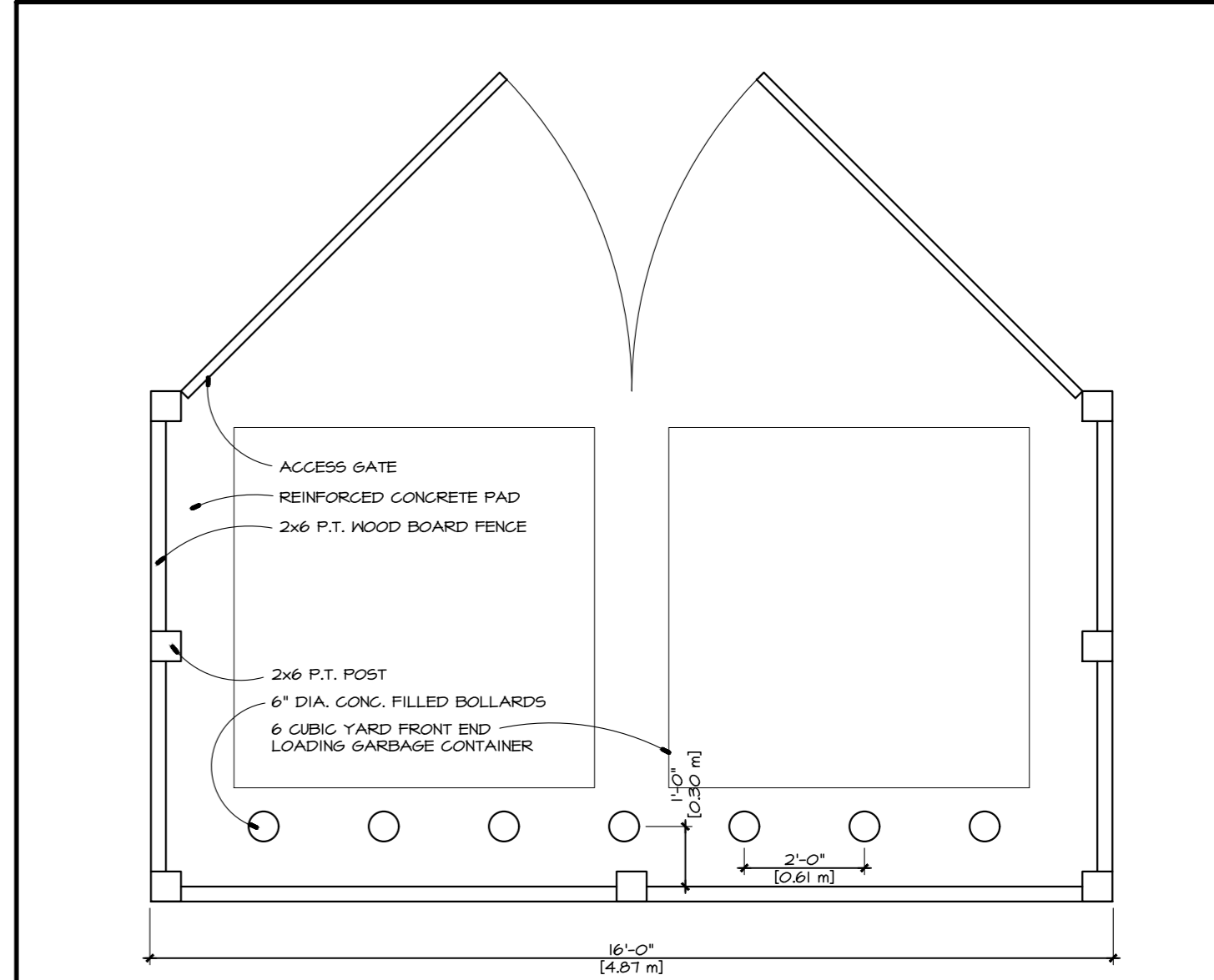
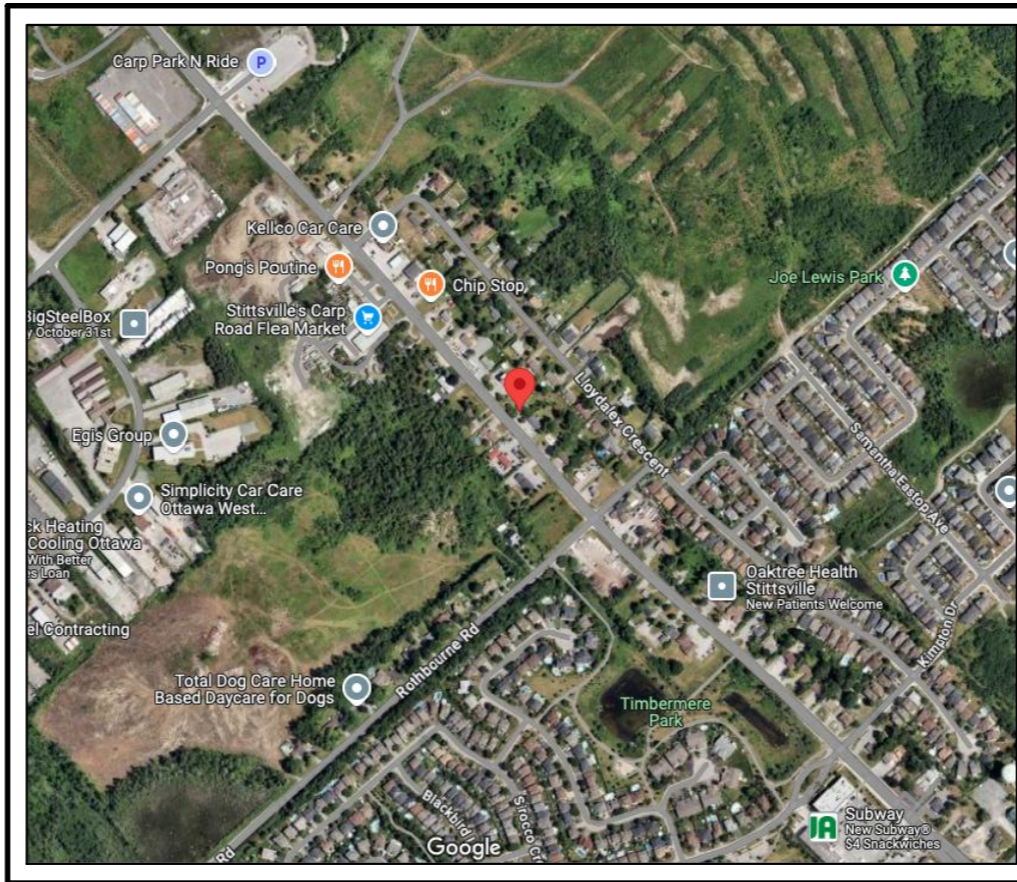
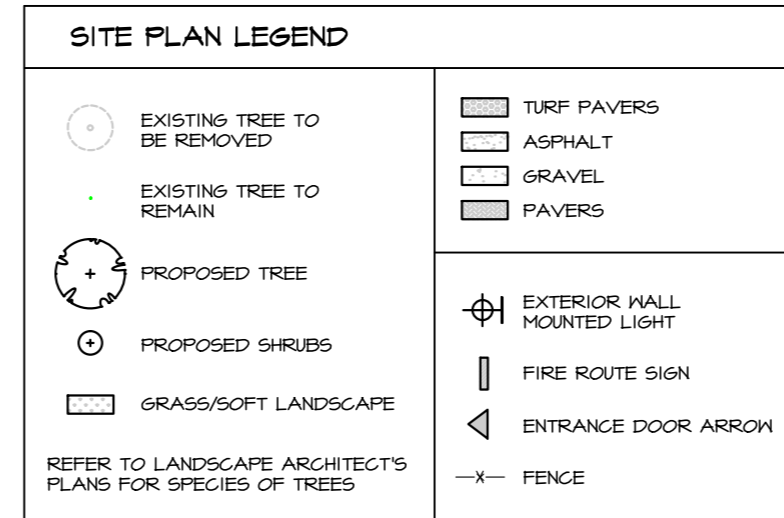
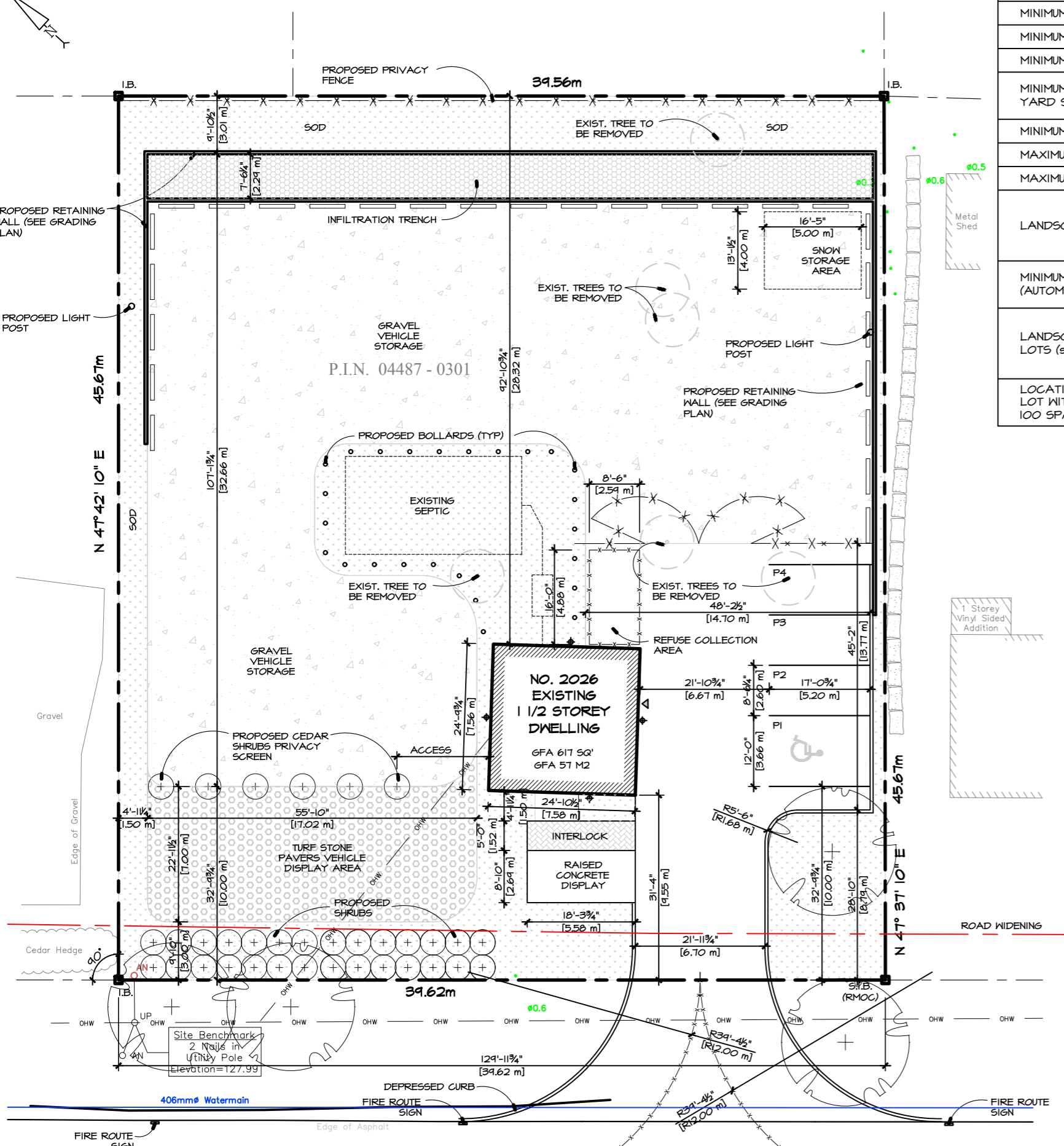


RURAL COMMERCIAL RC(TT3R) P.I.N. 04487-0301		
PROVISIONS	REQUIRED	PROVIDED
MINIMUM LOT AREA (M2)	4000	1808.04
MINIMUM LOT WIDTH (M) (TT3r)	40 (TT3r)	34.62
MINIMUM FRONT YARD SETBACK (M) (TT3r)	15 (TT3r)	4.55 (EXIST)
MINIMUM INTERIOR SIDE YARD SETBACK (M) (TT3r)	3 (TT3r)	12.65 & 14.12
MINIMUM REAR YARD SETBACK (M)	10	28.32
MAXIMUM HEIGHT (M)	11	APPROX. 4.5
MAXIMUM LOT COVERAGE (%)	25%	3.17%
LANDSCAPING OF YARDS		
FRONT AND CORNER SIDE YARDS MUST BE LANDSCAPED EXCEPT FOR DRIVEWAYS CROSSING THOSE YARDS LEADING TO PARKING		
MINIMUM PARKING SPACES (AUTOMOBILE DEALERSHIP)	SALES/SHOWROOM AREA	2/100 M2 GFA (2)
		4 SPOTS PROVIDED
LANDSCAPE PROVISIONS FOR PARKING LOTS (S. 110)		15% OF AREA OF PARKING LOT MUST BE PROVIDED AS PERIMETER OR INTERIOR LANDSCAPED AREA
		27.43%
LOCATION OF LANDSCAPE BUFFER FOR LOT WITH MORE THAN 10 BUT LESS THAN 100 SPACES (S. 110)		ABUTTING STREET: 3M
		3M
		NOT ABUTTING STREET: 1.5M
		1.5M



NOTE:
ALL FASTENINGS AND HARDWARE TO BE GALVANIZED AND ARE TO BE INCLUDED WITH THE SUPPLY AND INSTALLATION OF THE FENCE AND POSTS
NOMINAL LUMBER SIZES ARE SHOWN
PAINT ALL CUTS WITH APPROVED WOOD PRESERVATIVE

1 SITE PLAN
A.1 SCALE: 1:200

2 LOCATION PLAN
A.1 N.T.S.

3 REFUSE COLLECTION ENCLOSURE DETAIL
A.1 SCALE: 3/8" = 1'-0"

NOTES:
REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION NOTES & DETAILS WHEN DRAWINGS OR NOTES REFERENCE O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2012.

DEVELOPER / OWNER
417 AUTO SALES
1647 CARDEVELO ROAD
CARP, ON K0A 1L0

APPLICANT / PLANNING CONSULTANT
ARCADIS PROFESSIONAL SERVICES (CANADA) INC
SUITE 500, 333 PRESTON STREET
OTTAWA, ON K1S 5N4

ENGINEER
D.B. GRAY ENGINEERING INC.
700 LONG POINT CIRCLE
OTTAWA, ON K1T 4E9

LANDSCAPE ARCHITECT
JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS
3332 CARLING AVENUE
OTTAWA, ON K2H 5A8

DESIGNER
BELL + ASSOCIATES

SURVEYOR
FARLEY SMITH & DENIS SURVEYING LTD
UNIT 215, 30 COLONNADE ROAD
OTTAWA, ON K2E 7J6



BELL + ASSOCIATES
ARCHITECTURE

186 Pembroke St. E.
Pembroke, ON K8A 3J7
613-629-6988

120 Terence Matthews Cres
Unit B1, Ottawa, ON K2M 1P7
613-831-9688

info@bell.ca
bellarchitecture.ca

VERSION NO.
2
APRIL 2022

SEAL:

NOTES:
- ALL CONTRACTORS MUST COMPLY WITH ALL CODES & BY-LAWS HAVING JURISDICTION
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NO.	ITEM	DD.MM.YY
1	REVISED FOR SITE PLAN CONTROL	17.01.25
6	REVISED FOR SITE PLAN CONTROL	24.10.24
5	REVISED FOR SITE PLAN CONTROL	04.07.24
4	REVISED FOR SITE PLAN CONTROL	06.11.23
3	REVISED FOR SITE PLAN CONTROL	11.05.23
2	REVISED FOR SITE PLAN CONTROL	01.09.23
1	ISSUED FOR REVIEW	06.04.22
NO. ITEM		DD.MM.YY
REVISIONS		DATE

PROJECT
PROPOSED AUTO DEALERSHIP
2026 CARP ROAD
CARP ON
K0A 1T0

CLIENT
NEIL CHADHA
417 AUTO SALES

DRAWING
SITE PLAN

SCALE AS SHOWN
DRAWN BY HS
DATE APRIL 2022
CHKD BY JCB
APPRD BY JCB
PROJECT NO. 222-09
SHEET NO.
A.1