



PLANNING RATIONALE | DESIGN BRIEF
FOR
MAJOR ZONING BY-LAW AMENDMENT
AND
NEW - SITE PLAN CONTROL – COMPLEX
APPLICATION

FOR
Jami Omar Mosque
3990 Old Richmond Road
RESIDENTIAL PROPOSAL

**4000 OLD
RICHMOND
ROAD**

Ottawa, Ontario
January 20, 2025

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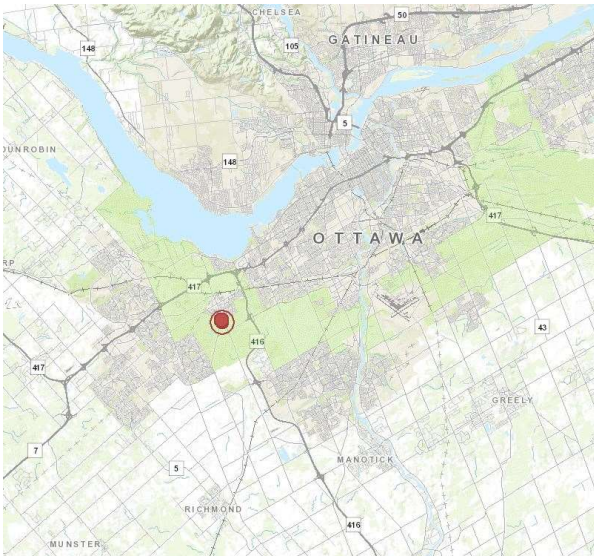
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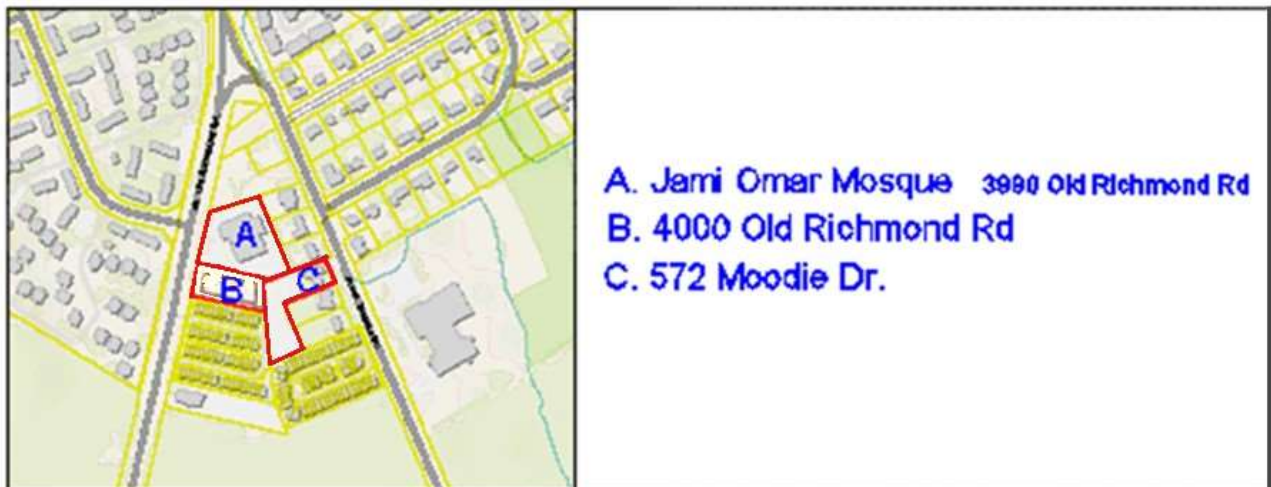
1.0 INTRODUCTION

The intent of this Planning Rationale and Design Brief is to provide planning justification in support of a Rezoning and Site Plan Control application for the property known municipally as 4000 Old Richmond Road, registered as Part of Lots 32 and 33, Concession 5 (Rideau Front) Geographic Township of Nepean, City of Ottawa. The purpose is to be able to construct a new apartment building on the property. This Planning Rationale and Design Brief demonstrate how the proposed development conforms to the policies of the City of Ottawa Official Plan (OP) and complies with the intentions of the City of Ottawa Zoning By-law 2008-250.

The long-term vision for this property, in conjunction with the Jami Omer Mosque, is to create a “campus of care”. The concept has been discussed with the Province of Ontario, specifically the Ministry of Community and Social Services (MCSS), Canada Mortgage and Housing Corporation (CMHC), and several local ward Councilors.

The proposed building at 4000 Old Richmond Road is intended to provide social housing. It will be an affordable community apartment building with some care services, such as food delivery, when required. It is intended for independent people who may have disabilities, may need emergency shelter or have other social needs. The vision is to provide support outside of a hospital environment to a vulnerable segment of the population

A new building at 572 Moodie Drive (which is now constructed) provides rental units. The intent there is to meet more general community needs for housing, and to provide some relief from the current housing shortage; this property includes parking for the Mosque. Access to the proposed new building at 4000 Richmond Road will be from Old Richmond Road, but to get access to the above and underground parking at the proposed new building at 4000 Old Richmond Road, drivers will cross the northwest corner of the 572 Moodie property.



Key plan showing properties owned by Jami Omar Mosque



Aerial view of Key Plan

2.0 SITE LOCATION AND CONTEXT

2.1 SITE LOCATION

The property is within the Outer Urban Area in Schedule A of the new Official Plan. It is in Ward 8; College Ward, in the Bells Corners West neighbourhood and the current councilor for this area is Laine Johnson. The Greenbelt, with its recreational amenities, is a short walk away.

The name “Old Richmond Road” refers to its change in status beginning at the intersection of Robertson Road (which was previously called Richmond Road) from the time when Moodie Drive became a major road. The property is just south of the convergence of these two roads. Old Richmond Road is classified as an Arterial Road in this location.



Aerial view showing Bell's Corners and the greenbelt (Jami Omar Mosque is red A)



Four lane Old Richmond Rd (Mosque & 4000 Old Richmond Road are on right)



Surrounding residential neighbourhood, school and Greenbelt

The area was beginning to be built up before the 1960's when a building at 572 Moodie was constructed, as well as the homes north east of Moodie. By the 1990's the farmland to the west of Old Richmond Road was developed with new homes. There are more recent three storey townhouses developments to the south of the property.

The Jami Omar Mosque at 3990 Old Richmond Road was completed in 2014, the existing building at 572 Moodie became an accessory use (Imam's residence) to the new Mosque. The Mosque acquired the vacant parcel at 4000 Old Richmond Road which abuts the Mosque property,

on the South. The properties generally slope; by approximately a meter, down towards the Northeast.

The area of 4000 Old Richmond Road is 2,432.56 m², with a frontage of 30.49 m (100.04 ft) and a depth of approximately 80 m (260').

2.2 EXISTING SITE CONDITIONS



View to Jami Omar Mosque (on the left) and existing vacant lot at 4000 Old Richmond Road from across the street, (June, 2019)



View to Jami Omar Mosque, 3990 Old Richmond Road, from existing vacant lot at 4000 Old Richmond Road, (June, 2019)



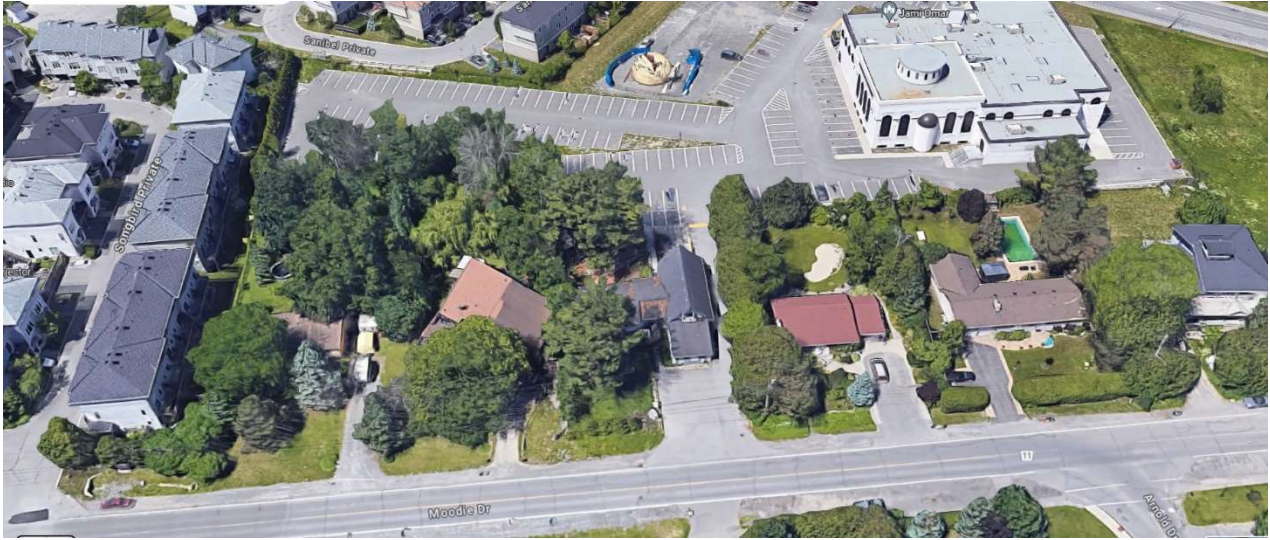
Views to the existing townhouses at Sanibel Private looking east and south across the existing vacant lot at 4000 Old Richmond road (June, 2019)



View to existing townhouses at Sanibel Private looking west towards 4000 Old Richmond Road from the back of 592 Moodie



View from the Jami Omar Mosque at 3990 Old Richmond Road, looking towards the vacant property at 4000 Old Richmond Road



Aerial view of previous Imam residence at 572, from above Moodie Drive looking west (Google)



Front of new building at 572 Moodie Drive, with driveway on the right, leading to 8 parking spaces at rear, October 2024

This block of stacked townhomes replaces the old Imam residence and original Mosque building, on Moodie Drive, which had badly deteriorated

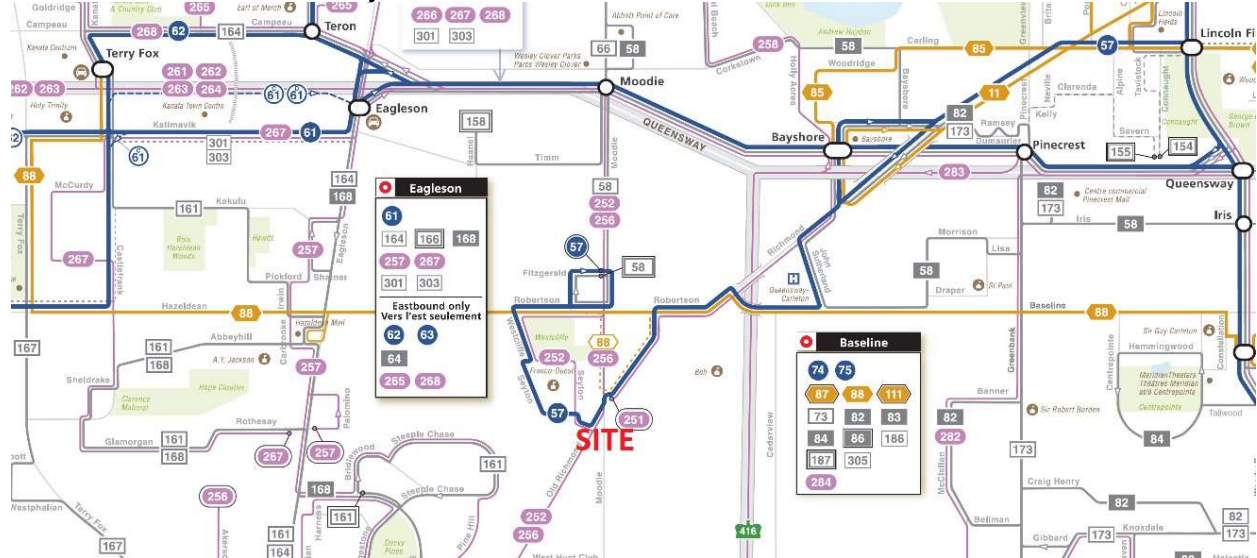
2.2 COMMUNITY CONTEXT

One of the objectives of this project is to provide housing for people who wish to stay in the neighbourhood, close to their family and community. The “campus of care” will have close ties with the existing Mosque in the provision of supportive housing and amenities.

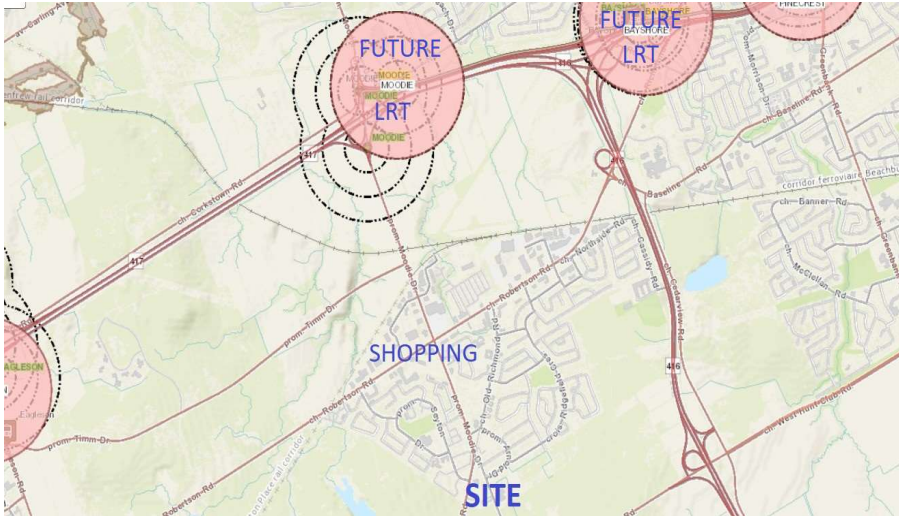
This site offers a potential to assist in the development of a walkable community. There are sidewalks along Old Richmond Road, leading to Bell’s Corner shopping and amenities, which are to the north along Robertson Road (an arterial main street). There are schools, the Aubrey Moodie Park, and other services nearby. The Greenbelt is only 150 meters away, with forest pathways leading to the NCC Stoney Swamp hiking area. The neighbourhood provides year around activity possibilities.

2.3 PUBLIC TRANSPORTATION NETWORK

There is OC Transpo service along Old Richmond Road which goes to the future Transit station at Moodie and at Bayshore.



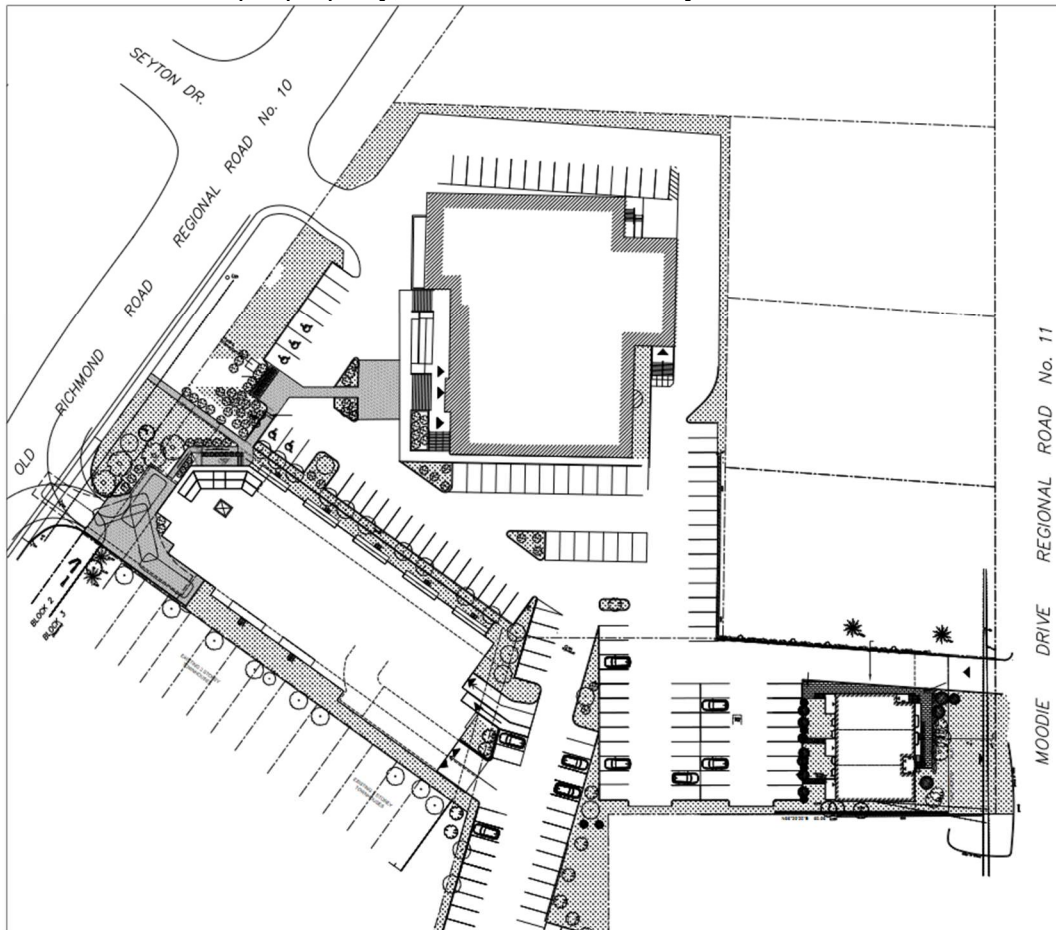
The 57 bus is a regular service bus, 7 days a week, there are 3 other buses although not as regular.



It is a 20-minute walk from the Site to shopping along Robertson Road

3.0 THE PROPOSED DEVELOPMENT

The proposal is to construct the new building in order to achieve the long-term community vision for the Mosque property, and for the community.



Proposed Site Plan

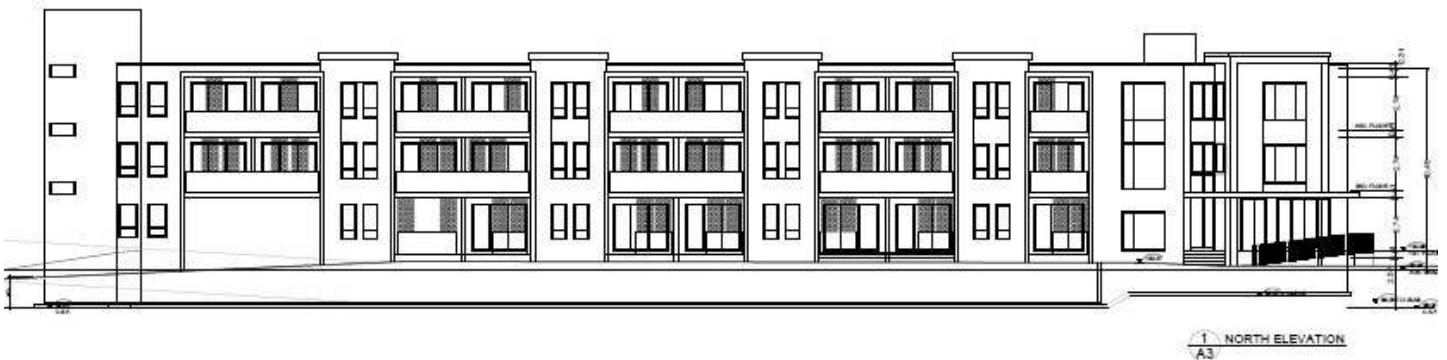
The proposed community apartment building will be on the recently acquired parcel. It will be accessible from the existing entrance to the Mosque, across from Seyton Drive at Old Richmond Road; and

It is proposed to be a three-storey, plus basement, building with 49 units. The term “community care facility” means that there will be a light level of medical care.

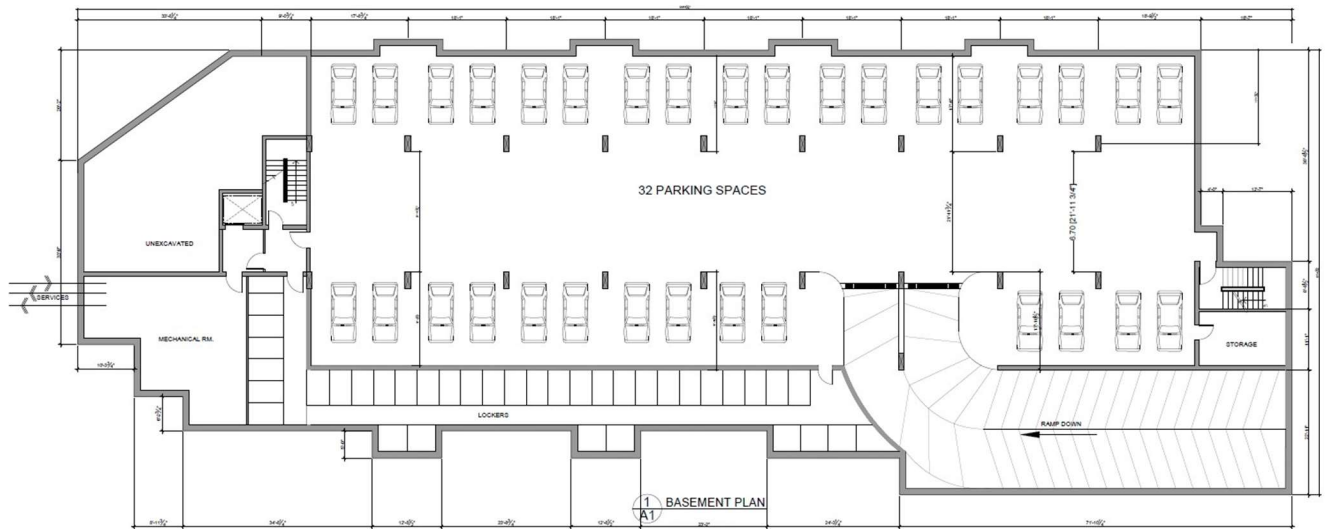
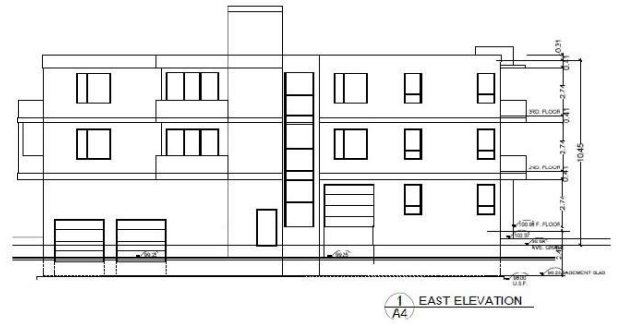
The proposed building is intended to have a strong connection to the Mosque community and to the existing Mosque building. It will share a similar aesthetic and be connected by an interlock pedestrian walkway. Residents of the proposed building will also have full access to the amenity spaces within the Mosque, in addition to the amenities available in the proposed community care facility/apartment building.

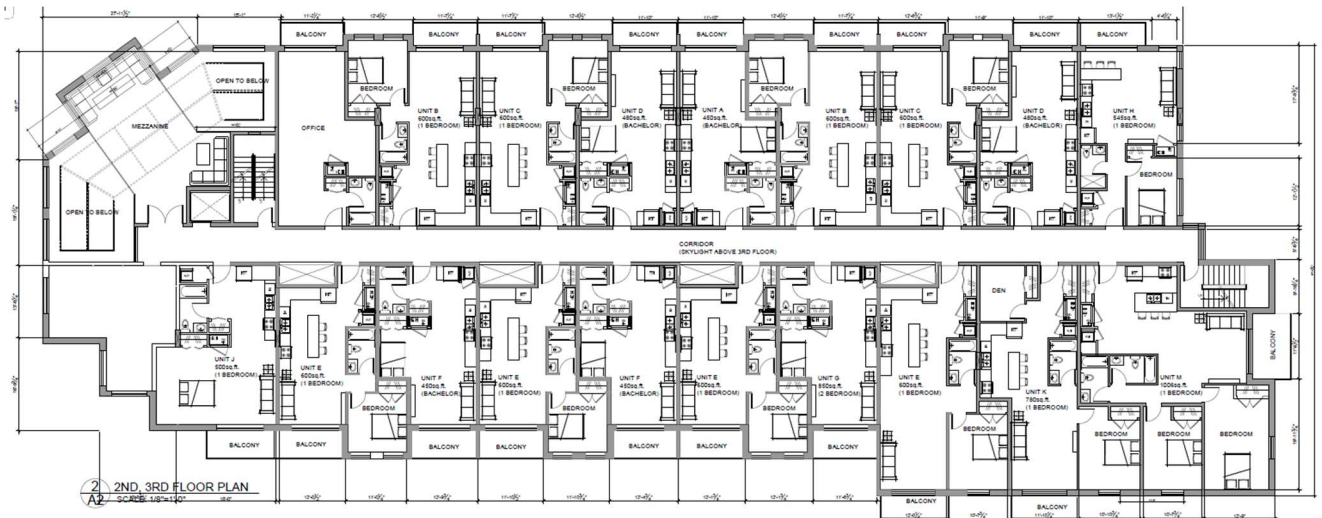
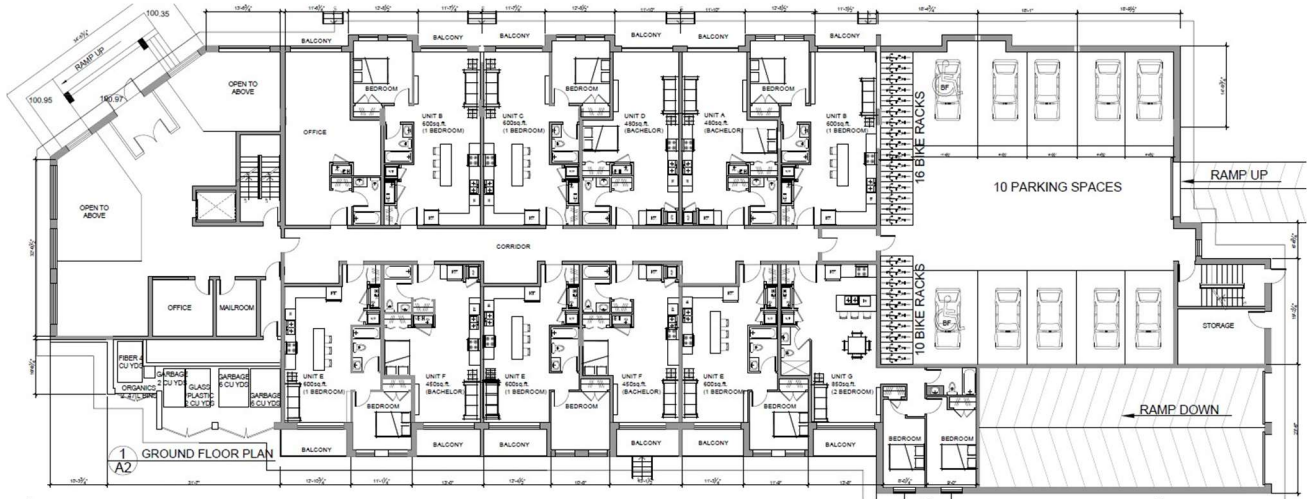
Access to the building and its underground and above ground 42 parking spaces (including 2 wheelchair accessible), will be onto the site from the existing Mosque entrance across from Seyton Drive. There will be a new access for garbage only from Old Richmond Road. This access lane will be paved with interlock and have a gate and has a turnaround area (shown on the Architectural Site Plan drawing). The truck will be private pick up and only come once a week. Having this access will mean that the truck doesn't have to enter at the main entrance of the Mosque and traverse through the property to the back of the new building, causing a distraction for worshippers. Since there will be a gate, the interlock area could be used by residents as an amenity area.

Occupancy of the building will be determined based on need. Although residents will primarily be the elderly, units will also be made available to members of other vulnerable populations. There will be 20 studio units, 26 one bedroom and 3 two-bedroom units; included in these numbers will be 7 barrier-free units located throughout the building.



Zoning By-law Amendment - No.: PC2020-0025
4000 Old Richmond Road & 572 Moodie, Ottawa, ON | Planning Rationale & Design Brief |





4.0 POLICY AND REGULATORY FRAMEWORK

Sections 16(4), 16(5) and 35.2 of the Planning Act encourage inclusionary zoning policies regarding affordable housing units.

4.1 PROVINCIAL POLICY STATEMENT (PPS 2020)

The following is from the PPS:

“1.1.1 Healthy, liveable and safe communities are sustained by:

a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;

b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons),” This is a direct intention of this project.

... “to meet long-term needs;” As well as being affordable, a goal of this project is to create a home for people at risk of being homeless and/or needing assistance.

“e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;” Transit will be further supported through this intensification. The area is accessible by bus and bicycle, which will also reduce carbon emissions.

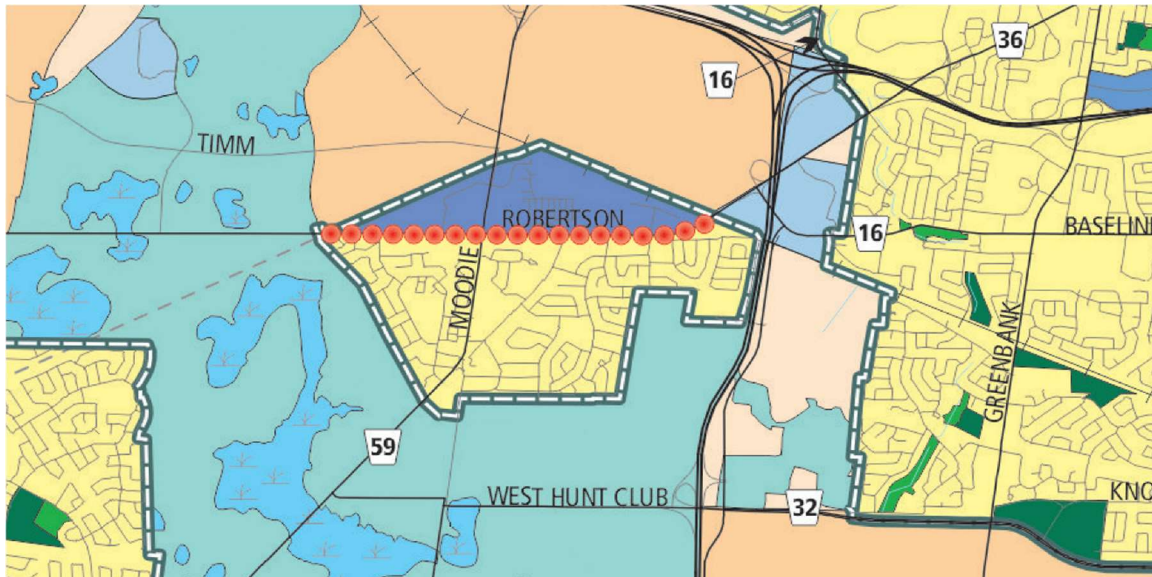
“1.4.1 To provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:

a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development;”

The Provincial Policy Statement promotes intensification, this proposed development is a good example of making proper use of existing infrastructure.

4.2 CITY OF OTTAWA OFFICIAL PLAN

The proposal is consistent with the new Official Plans (OP) and makes efficient use of this land. The property is within the Outer Urban Area. It is close to the Urban Boundary, bordered by the Greenbelt.



The previous Official Plan (By-law 2003-203) outlined a vision of a sustainable, resilient and liveable City. This vision is also articulated in the City's Strategic Plan, which identifies goals including the provision of housing options which are green, healthy, and meet the needs of the whole community. The City also strives for sustainability in connectivity and mobility by making walking, cycling, and transit residents' first choices for transportation.

The Ministry of Municipal Affairs and Housing issued a Notice of Decision to approve the City's New Official Plan, adopted by By-law 2021-386, and has repealed the previous Official Plan (By-law 2003-203). The new official plan outlines a policy framework to guide growth to the year 2046, and to set the stage towards a population of 2 million people.

Section 2 of the new OP outline Big Policy Moves, 4 of which will be encouraged by this project:

1. growth by intensification: which the proposed project will achieve,
2. sustainable transportation: the projects will provide further density, which will encourage improved public transportation,
3. improve sophistication in urban and community design and put this knowledge to the service of good urbanism,
4. environmental, climate and health resiliency are encouraged by this development.

Section 2 also discusses Cross Cutting Issues such as Intensification, Healthy and Inclusive Communities, Gender Equity and Culture in the following sections:

Under 2.2.1 Intensification and Diversifying Housing Options, the goal of "residential growth within the built-up urban area" will be realized through this project.

Under 2.2.3 Energy and Climate Change the goal of "a compact and connected City" is further realized.

Under 2.2.4 Healthy and Inclusive Communities the goals of 1) Encourage development of healthy, walkable, 15-minute neighbourhoods that feature a range of housing options, supporting services and amenities, and 2) Build accessible, inclusive communities, and design for all ages, including children and older adults, will be realized.

Under 2.2.5 Gender and Racial Equity, the goal to meet the housing needs of women will be further realized.

Section 2.3 of this Planning Rationale describes the existing and future public transportation networks. Old Richmond Road is an arterial, and Moodie is a collector. They are functional corridors leading to hubs and shopping areas.

Section 3 and 4 of the OP further sets intensification as a goal, and outlines new 15-minute neighbourhoods and the framework for improved sustainable transportation. Section 4 of the OP also describes the need for adequate, safe and affordable housing, with a diversity of housing options.

The project is in the Outer Urban Transect, as described in 5.3.3(4) in the OP. Heights are encouraged to be Low-rise, a minimum of 2 storeys and maximum of 6 storeys.

The goals of this Transect are realized through this project:

- 1) greater flexibility and diversity of housing options
- 2) affordable housing
- 3) attention to the needs of those households with the lowest 40 per cent of income levels, as well as other vulnerable groups
- 4) Inclusionary Zoning, through access to the shared Mosque amenities.

Over the medium- to long-term, this area will evolve toward an urban (15-minute) model. Development is encouraged by the OP to be low-rise along Minor Corridors, leading towards the rapid transit systems. The City will take opportunities to improve the convenience and level of service for walking, cycling and public transit modes.

Through the OP, the Zoning By-law is directed to provide for a range of dwelling unit sizes including multi-unit dwellings on Corridors. Along Minor Corridors, permitted building heights are not be less than 2 storeys and up to 6 storeys.

There are currently no secondary plans, community plans, or policy plans to further regulate the subject property. In light of the new Official Plan, the proposed intensification on this property is appropriate as it makes the best use of its potential. The unique location of the subject lot provides the opportunity to enhance community living in proximity to the existing Mosque and to amenities along Richmond Road, such as schools and other services, including those at Bells Corners; as well as the Greenbelt.

The City of Ottawa Official Plan supports the community as a place for social connection, physical comfort, and health. It also supports new residential typologies that can help integrate more housing units that suit the scale of development on active roads and that fit in with neighbouring buildings. There is compatible height and density at the townhouse to the south.

The objective of this project is to meet the Official Plan definition of affordable housing, either “market affordable” or “core affordable”: Market-affordable housing is “A dwelling unit for which a household at or below the 60th percentile of household income pays 30 percent or less of its gross income towards shelter costs... or any housing meeting the definition of affordable housing in the Provincial Policy Statement. “ Core-affordable: “A dwelling unit for which a household generally at the 30th percentile of household income pays 30 percent or less of its gross income towards shelter costs for a residential unit with two or fewer bedrooms, and 40 per cent or less of its gross income for three bedrooms”

The New Official Plan supports new housing, particularly for lower income or more vulnerable residents. The project achieves growth by intensification rather than by greenfield development and provides for more complete community and affordable housing options. It encourages good urbanism in this neighborhood. It helps to achieve public health, environmental, climate and energy resiliency through intensification. The cultural intentions of the OP are advanced.

Health is advanced through integrating the 15-minute neighbourhood. This intensification supports amenities and housing supply and sustaining a walkable, local lifestyle. It encourages local services and facilities like schools and daycares and supports active, sustainable transportation, particularly for lower income or more vulnerable residents.

4.3 CITY OF OTTAWA COMPREHENSIVE ZONING BY-LAW 2008-250

At 4000 Old Richmond Road, the existing zoning is R1FF, The proposal is to revise it to R4Z. Note that the neighbouring property to the south is Zoned R4A[1652]. Also note that a new zoning bylaw should come into effect at the end of 2025 and under the current draft of this bylaw,

the zoning will be N2E. Note that the existing Mosque zoning is zoned I1B[407]H(15), and the zoning at 572 Moodie Drive is I1B[2869]. The property at 4000 Richmond Road is outside the Mature Neighbourhood Overlay (By-law 2020-289).

The purpose of the R4 - Residential Fourth Density Zone is to “allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings in no case more than four storeys” and to “allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;”...and to “regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced”. This project realizes this purpose. The zoning parameters are noted in the chart below:

	R4Z ZONING	
	4000 OLD RICHMOND RD SUPPORTIVE RESIDENTIAL FACILITY 49 UNITS	
	REQUIREMENT	PROPOSED
LOT WIDTH	18 M	30.37 M
LOT AREA	450 M ²	2,396 M ²
FRONT YARD SETBACK end note 5	3 M	8.64 M
REAR YARD SETBACK end note 6 & 8	THE MINIMUM REQUIRED REAR YARD SETBACK IS 1M.	2.93 M
INTERIOR SIDE YARD SETBACK end note 6	1.5 M (FOR HEIGHT LESS THAN 11 M), 3 M FOR HEIGHT GREATER THAN 11), 6M AFTER 21M FROM FRONT LOT LINE	2.5 M RELIEF REQUESTED
CORNER SIDE YARD SETBACK	N/A	N/A
MAXIMUM HEIGHT AVERAGE GRADE (100.11NW+99.97SW+100.16SE+99.68SW)/4=99.98	14.5 M	11 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - BALCONIES, MAX. PROJECTION	2 METERS, BUT NO CLOSER THAN 1 METER FROM ANY LOT LINE	0.21 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - CANOPIES AND AWNINGS	A DISTANCE EQUAL TO ½ THE DEPTH OF A FRONT, REAR OR CORNER SIDE YARD BUT NOT CLOSER THAN 0.6 M TO A LOT LINE,	2.43 M
AMENITY AREA	6 M ² PER DWELLING UNIT = 6 X 49 = 294 m ² COMMUNAL AMENITY AREA = A MINIMUM OF 50% OF THE REQUIRED TOTAL AMENITY AREA	353 M ² INCLUDING BALCONIES AND 177.25 SQ.M COMMUNAL (SOUTH SIDE AND REAR = 65% REQ'D COMMUNAL)
SOFT LANDSCAPING, Schedule 342, Section 139(1)	40% OF FRONT YARD, 263.2m ² x 40%= 105.28m ²	107.5m ² = 41%
LANDSCAPING, Section 161(8)	30% OF LOT AREA	947.9 SQ.M. / 2,396=40%
LANDSCAPE BUFFER		NA

The required amount of parking currently for the existing Mosque is 165 cars, based on its original submission, and this will still be provided.

The new apartment building, which is close to meeting the definition of a Retirement Home, requires 70.6 spaces; to meet the number required for an apartment building. 42 are currently provided. If the building was to meet the exact definition of a Retirement Home, it would only need 49 apartments x 0.25 spaces/unit = 12.25 spaces + 9 visitor parking = 21 spaces.

PARKING REQUIREMENTS					
BUILDING	CATEGORY		RATE	REQUIRED	PROVIDED
EXISTING MOSQUE	VEHICLE	REGULAR	10/100m ²	165	166
		ACCESSIBLE	5 (EXISTING)		
	BICYCLE PARKING		10		
LOW RISE APARTMENT RESIDENTIAL AREA C: Suburban Schedule 1A to Zoning By-law no. 2008-250 & Accessibility Design Standards	VEHICLE	TENANT	1.2 PER DWELLING	1.2 X 49 =58.8	35
		VISITOR	0.2 PER DWELLING	0.2 X 49 =9.8	5
		ACCESSIBLE	3	2	2
	TOTAL				70.6
BICYCLE PARKING		.5 PER UNIT	0.5 X 49 =24.5	26	
STACKED TOWNHOUSE	VEHICLE	TENANT	1.2 PER DWELLING	1.2 X 6 =7.2	7
		VISITOR	0.2 PER DWELLING	0.2 X 6 =1.2	1
	TOTAL				8.4
BICYCLE PARKING		.5 PER UNIT	0.5 X 6 =3	4	

Rear Yard Setback, Endnote 6, Additional Zoning Provision:

Where located within Area A of Schedule 342, see Part V, Section 144 – Alternative Yard Setbacks for Low-rise Residential Uses in the Greenbelt for the minimum required rear yard setback.

5.0 DESIGN BRIEF

5.1. COMPATIBILITY WITH OFFICIAL PLAN

The overall goal of the proposal is to create a community that enhances the potential of the location. The project makes good use of urban land and site design based on the Outer Urban transect context.

The project moves towards compliance with the New Official Plan.

It is a 20-minute walk to shopping at Bell's Corners at the intersection of Moodie Dr. and the arterial main street Robertson Road, and it is close to schools.

The project moves towards establishment of street space allocated more to people than to vehicles by adding density. It encourages walking along Moodie and Old Richmond Road. The buildings frame the streets in a move towards a more Urban typology.

By integrating with the existing Mosque building the project supports a vibrant and safe public realm.

The social agenda of the project also follows the intentions of the New Official Plan: *"attention to the needs of those households with the lowest 40 per cent of income levels, as well as other vulnerable groups... The City recognizes that many individuals ... may rely on long-term housing other than the traditional dwelling unit. The City shall enable the provision of housing options for such individuals*

4.2.4 3) The City may assist non-profit housing providers by including site-specific zoning amendments for such providers' lands as part of periodic omnibus or anomaly zoning amendments...

4.5.3 Promote partnerships through leadership, community engagement and incentives...

2) The city may work with faith groups in order to find approaches to the adaptive re-use of their places of worship that that preserve and honour their cultural heritage value"

This proposal reflects the new OP design guidelines.

5.2. URBAN DESIGN GUIDELINES FOR LOW-RISE INFILL HOUSING

The Urban Design Guidelines refer to Section 2.5.1 of the Official Plan, and quotes these objectives:

- To enhance the sense of community by creating and maintaining places with their own distinct identity*
- To define quality public and private spaces through development*
- To create places that are safe, accessible and are easy to get to, and move through*
- To ensure that new development respects the character of existing areas*
- The development of vacant or underutilised lots within previously developed areas;*
- Infill development;*

The lot fronting Old Richmond Road has its frontage facing almost directly west and therefore the proposed mass of the building has a little shading impact on yards to the north, west or east, since those areas are either a road or parking lot. The massing of the existing buildings to the south are a similar height. The proposed walkway leading up to the entrance level creates an outdoor community living area and a pedestrian friendly and welcoming front. This main

entrance area functions as place to rest and oversee the street life. The proposal offers 26 visitor bicycle parking spaces.

5.3 ZONING PROVISIONS

For 4000 Old Richmond Road: after meeting with the City of Ottawa Planning staff, it was their opinion that 'Apartment Dwelling, Low Rise' would most accurately capture the proposed use as the units are self-contained 'dwelling units', no rooming units are proposed, and no in-house care is being provided.

The rezoning of a nearby property towards the north, adjacent to the Mosque, indicates that the City's intention is for higher density in this area. There are also higher densities to the south.



5.4. REQUESTS FOR RELIEF

Relief is required for from 71 parking spaces to 42, for a total relief from 29 parking spaces. See section 4.3 of this report, which notes that if this is officially a “retirement home”, which it is close to meeting the definition of, it would only need 21 spaces, half the number that are being provided. Many of the people living in the building will not have cars.

6.0 SUMMARY OF TECHNICAL STUDIES, REPORTS AND PLANS

6.1 SITE SERVICING AND STORMWATER MANAGEMENT REPORT

The Site Servicing and Stormwater Management Report was prepared by T.L. Mak Engineering consultants Ltd. Issues in relation to site servicing, stormwater services, or existing utility infrastructure have been addressed in the revised submission.

6.2 ROADWAY TRAFFIC NOISE ASSESSMENT STUDY

A detailed Roadway Traffic Noise Assessment Study was conducted by Gradient Wind Engineering for the purpose of assessing exterior noise levels generated by local roadway traffic. The noise levels exceed 55 dBA at the west façade of the proposed apartment building at 4000 Old Richmond Road, and during the day at Moodie. Noise mitigation measures will be required at some exterior walls and windows, as well as clauses in leasing agreements.

6.3 GEOTECHNICAL ASSESSMENT

EXP Services Inc. prepared a Geotechnical Report that found that the subject site is suitable for the proposed development. The proposed buildings are recommended to be founded on either bedrock or engineered fill. They are not to bear partly on bedrock and partly on engineered fill unless a transition zone or construction joints are provided.

6.4 PHASE 1 ENVIRONMENTAL SITE ASSESSMENT

A Phase 1 Environmental Site Assessment prepared by Exp Services Inc. found that no environmental concerns were identified with respect to the current use or past of the surrounding lands. Based on the findings of this assessment, a Phase II – Environmental Site Assessment will not be required.

6.5 LIST OF SUPPORTING PLANS AND STUDIES

For the zoning and site plan applications pertaining to this proposed development, and as per the study and plan identification list, the following documents were submitted to the City:

- Site Plan Control Application Form;
- Survey Plan, Fairhall Moffatt & Woodland Ltd.
- Site Plan, dated January 17, 2025, Susan D. Smith Architect
- Architectural Building Elevation Drawings, dated January 17, 2025, Susan D. Smith Architect
- Architectural Floor Plan Drawings, dated January 17, 2025, Susan D. Smith Architect
- Planning & Design Brief, dated December 20, 2024 Susan D. Smith Architect

- Proposed Site Grading and Servicing Plan (Dwg. No. 819-106, G-1 Rev. 4) – T.L. Mak Engineering Consultants Ltd
- Proposed Grading and Servicing Plan (Dwg. No. 819-106, G-2 Rev. 1) – For 572 Moodie Drive, T.L. Mak Engineering Consultants Ltd
- Proposed Rooftop Storm Water Management Plan (Dwg. No. 819-106, SWM-1 Rev. 2), T.L. Mak Engineering Consultants Ltd
- Proposed Erosion and Sediment Control Plan (Dwg. No. 819-106, ESC-1 Rev. 2), T.L. Mak Engineering Consultants Ltd
- Storm Drainage Area Plan (Dwg. No. 819-106, D-1 Rev. 2) – For 4000 Old Richmond Road, T.L. Mak Engineering Consultants Ltd
- Storm Drainage Area Plan (Dwg. No. 819-106, D-2 Rev. 1) – For 572 Moodie Drive, T.L. Mak Engineering Consultants Ltd
- Proposed Site Servicing Plan (Dwg. No. 819-106, S-1 Rev. 2), T.L. Mak Engineering Consultants Ltd
- Storm Drainage Report (Report No. R-819-106) dated December 2024, T.L. Mak Engineering Consultants Ltd
- Serviceability Report (Report No. R-819-106A) dated December 2024, T.L. Mak Engineering Consultants Ltd.
- Landscape Plan, James B. Lennox & Associates Inc.
- Noise/Vibration Study, GradientWind Engineers & Scientists
- Geotechnical Study, Exp.
- Phase I Environmental Site Assessment, Exp.
- To come: CD containing PDF copies of all submission material listed above (one disc)

7.0 PUBLIC CONSULTATION STRATEGY

The proposed development of an affordable housing building at 4000 Old Richmond Road was initially discussed with Mayor Jim Watson and College Ward Councillor Rich Chiarelli on June 30, 2018 during their visit at Jami Omar's annual community BBQ event. During that meeting, the planned initiative to develop the site was also discussed with the leadership and members of the neighboring community associations such as Arabetha Park, Westcliffe and Lynwood Village.

A working strategy formation meeting was held on March 4, 2019 with the then chair of Planning committee Jan Harder along with the staff of Susan Smith Architects and the president of the association, Anver Malam. The planning chair provided excellent insight into the process and encouraged the president to proceed, given the scarcity of affordable housing and unmet needs of the community elders. The proposed development was also discussed in detail with City planning staff; a high-level meeting was held with the City Planner Colette Gorni. In turn the staff provided clear guidance on the process and set the expectation on various studies that may be required as part of the application submission.

Having confirmed encouraging support from the Planning Committee Chair, the team was directed to organize a meeting with the senior staff of the Housing unit and was asked to discuss the proposed concept. A meeting was held on November 21, 2019 at 100 Constellation Drive offices with the city staff member, Salma Hasan, her senior manager, Susan Smith Architect's team and the owner's representative Anver Malam, to explore options available for undertaking development of the affordable housing. Before that,

A pre-application meeting with City Planning staff along with other respective stake holders was held on February 04, 2020. In this meeting exact requirements were laid out by each representative department and a list of design documentation and required studies were presented to the architect team and owner representative. This was been documented in the minutes of the meeting.

Community consultation is an on-going process. A meeting was held between Jami Omar and Anglican Diocese of Ottawa (Christ Church Bell's Corners), who are building a similar affordable housing project at 3861 Old Richmond Road, to understand the lessons learned. As part of the original development of Jami Omar (site plan approved December 24, 2005) the neighborhood community associations and members are well versed with the activities of the mosque. Through the mosque's frequent outreach programs, there is a strong relationship between the mosque and adjacent residents. The neighboring communities fully participate in the Mosque's quarterly blood drives, annual BBQs, interfaith dialogues, neighborhood safety issues and children's programs. During the Covid-19 lock down, Jami Omar volunteers reached out to the community for all kinds of support ranging from organizing vaccine clinics to delivering food to the needy.

After the first second of comments are received from the Planning process, and addressed, the Mosque will again reach out to the Community for a public meeting.

In light of the strong and proven relationship with the neighboring residents and community associations, we do not anticipate any objection or concerns.

8.0 CONCLUSION

We believe that the proposed design is compatible with the scale and use of this neighbourhood and complements the surrounding residential buildings. The proposed development represents an opportunity for intensification within this neighbourhood in a manner which is consistent with the existing development. The proposed development is in keeping with the design guidelines as it enhances the streetscape, respects the character of the existing built forms, and provides a strong emphasis on pedestrian access and orientation to the street. We met with the City Planner, Colette Gorni at a pre-consultation meeting, held with the City of Ottawa Planning Staff on February 4, 2020. Follow-up comments and the study and plan submission list were provided. The proposed development has been revised slightly since the time of the first submission and has addressed the design comments provided.

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