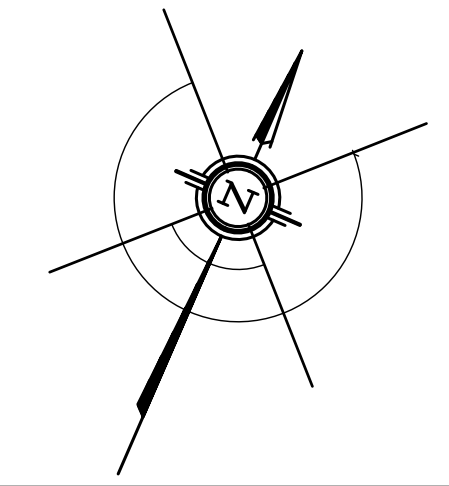


client:
**JAMIATUL MUSLEMEEN
 OF OTTAWA CARLETON**
 3990 OLD RICHMOND
 ROAD

project:
**PROPOSED
 RESIDENTIAL BUILDING**
 4000 OLD RICHMOND
 ROAD

R4Z ZONING		
4000 OLD RICHMOND RD SUPPORTIVE RESIDENTIAL FACILITY 49 UNITS		
	REQUIREMENT	PROPOSED
LOT WIDTH	18 M	30.37 M
LOT AREA	450 M ²	2,396 M ²
FRONT YARD SETBACK end note 5	3 M	8.64 M
REAR YARD SETBACK end note 6 & 8	THE MINIMUM REQUIRED REAR YARD SETBACK IS 1M.	2.93 M
INTERIOR SIDE YARD SETBACK end note 6	1.5 M (FOR HEIGHT LESS THAN 11 M), 3 M FOR HEIGHT GREATER THAN 11), 6M AFTER 21M FROM FRONT LOT LINE	2.5 M RELIEF REQUESTED
CORNER SIDE YARD SETBACK	N/A	N/A
MAXIMUM HEIGHT AVERAGE GRADE (100.11NW+99.97SW+100.16SE+99.68SW)/4=99.98	14.5 M	11 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - BALCONIES, MAX. PROJECTION	2 METERS, BUT NO CLOSER THAN 1 METER FROM ANY LOT LINE	0.21 M
PERMITTED PROJECTIONS INTO REQUIRED YARDS - CANOPIES AND AWNINGS	A DISTANCE EQUAL TO 1/2 THE DEPTH OF A FRONT, REAR OR CORNER SIDE YARD BUT NOT CLOSER THAN 0.6 M TO A LOT LINE.	2.43 M
AMENITY AREA	6 M ² PER DWELLING UNIT = 6 X 49 = 294 M ² COMMUNAL AMENITY AREA = A MINIMUM OF 50% OF THE REQUIRED TOTAL AMENITY AREA	353 M ² INCLUDING BALCONIES AND 177.25 SQ.M COMMUNAL (SOUTH SIDE AND REAR = 65% REQ'D COMMUNAL)
SOFT LANDSCAPING, Schedule 342, Section 139(1)	40% OF FRONT YARD, 263.2m ² x 40%= 105.28m ²	107.5m ² = 41%
LANDSCAPING, Section 161(8)	30% OF LOT AREA	947.9 SQ.M / 2,396=40%
LANDSCAPE BUFFER		NA



SUSAN D. SMITH ARCHITECT
 941 MERIVALE RD,
 OTTAWA, ON, K1Z 6A1
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NO.	REVISION	DATE
05	ISSUED FOR REVIEW	07/11/2024
04	ISSUED FOR REVIEW	08/21/2023
03	ISSUED FOR ZONING AMENDMENT	03/08/2022
02	ISSUED FOR COORDINATION	11/05/2021
01	ISSUED FOR PRELIMINARY DESIGN REVIEW	10/22/2020

NOTE:
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PARKING REQUIREMENTS					
BUILDING	CATEGORY	RATE	REQUIRED	PROVIDED	
EXISTING MOSQUE	VEHICLE	REGULAR	10/100m ²	165	166
		ACCESSIBLE		5 (EXISTING)	
	BICYCLE PARKING			10	
LOW RISE APARTMENT RESIDENTIAL AREA C: Suburban Zoning By-law no. 2008-250 & Accessibility Design Standards	VEHICLE	TENANT	1.2 PER DWELLING	1.2 X 49 = 58.8	35
		VISITOR	0.2 PER DWELLING	0.2 X 49 = 9.8	5
		ACCESSIBLE	3	2	2
	TOTAL			70.6	42
BICYCLE PARKING		5 PER UNIT	0.5 X 49 = 24.5	26	
STACKED TOWNHOUSE	VEHICLE	TENANT	1.2 PER DWELLING	1.2 X 6 = 7.2	7
		VISITOR	0.2 PER DWELLING	0.2 X 6 = 1.2	1
		TOTAL		8.4	8
	BICYCLE PARKING		5 PER UNIT	0.5 X 6 = 3	4

PROJECT TITLE:
**ZONING AMENDMENT
 4000 OLD RICHMOND ROAD**

DRAWING TITLE:
**SITE PLAN
 ZONING INFORMATION**

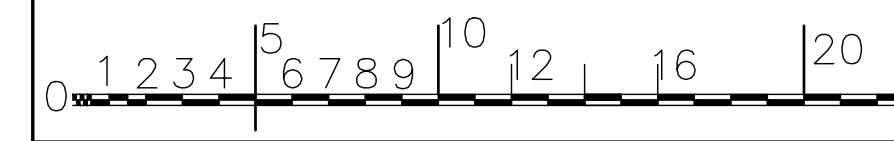
PROJECT START DATE:
 APRIL, 2019

AS NOTED
 DRAWN BY:
 ZK & SS
 JOB No.:
 1917

REVIEWED BY:
 SHEET No.:

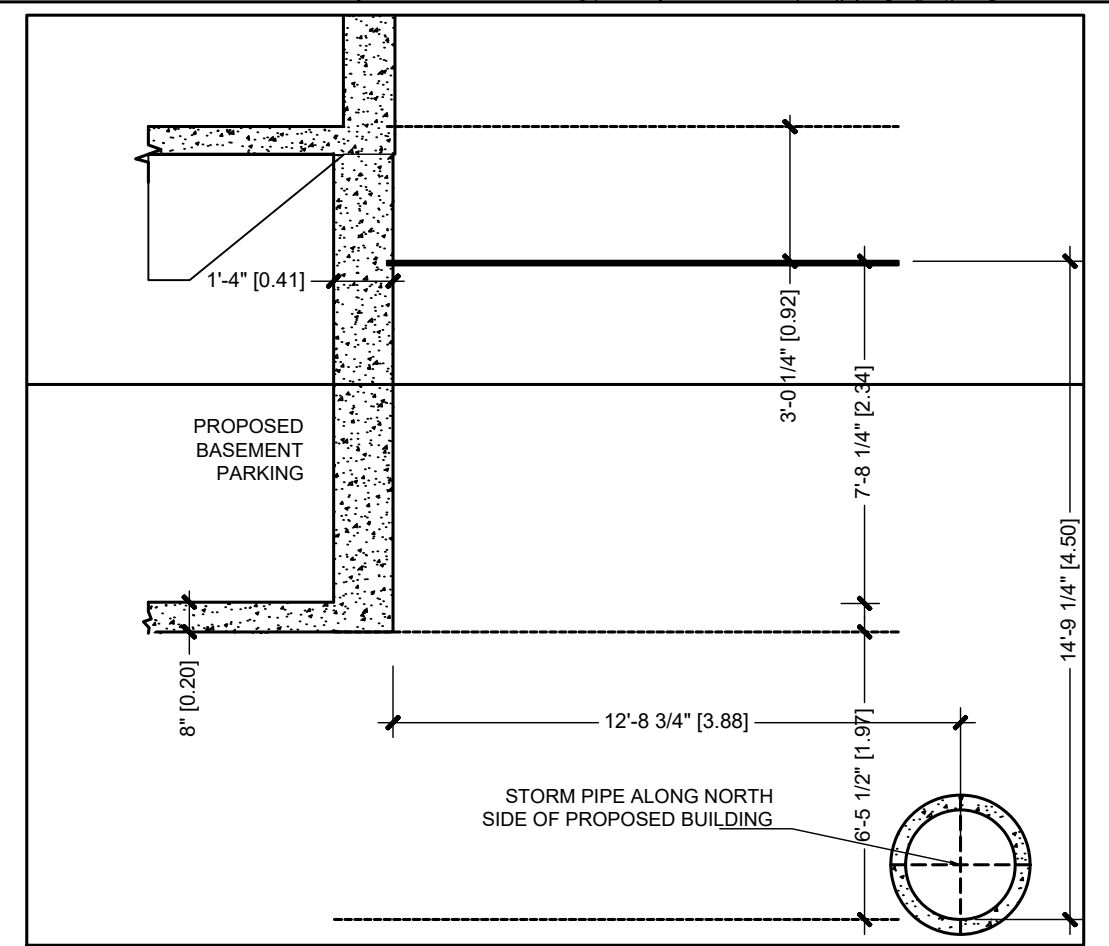
LEGAL DESCRIPTION
 TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOTS 32 AND 33
 CONCESSION 5 (Rideau Front) TOWNSHIP OF NEPEAN
 NOW IN CITY OF OTTAWA
 SURVEY INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM
 SURVEY DRAWING PREPARED BY: PAUL A. RIDDELL LTD.
 ONTARIO AND CANADA LAND SURVEYORS. PHONE 1-613-225-6518

2 SITE PLAN
 SP 1:200



A. Jamri Omar Mosque 3990 Old Richmond Rd
B. 4000 Old Richmond Rd
C. 572 Moodie Dr.

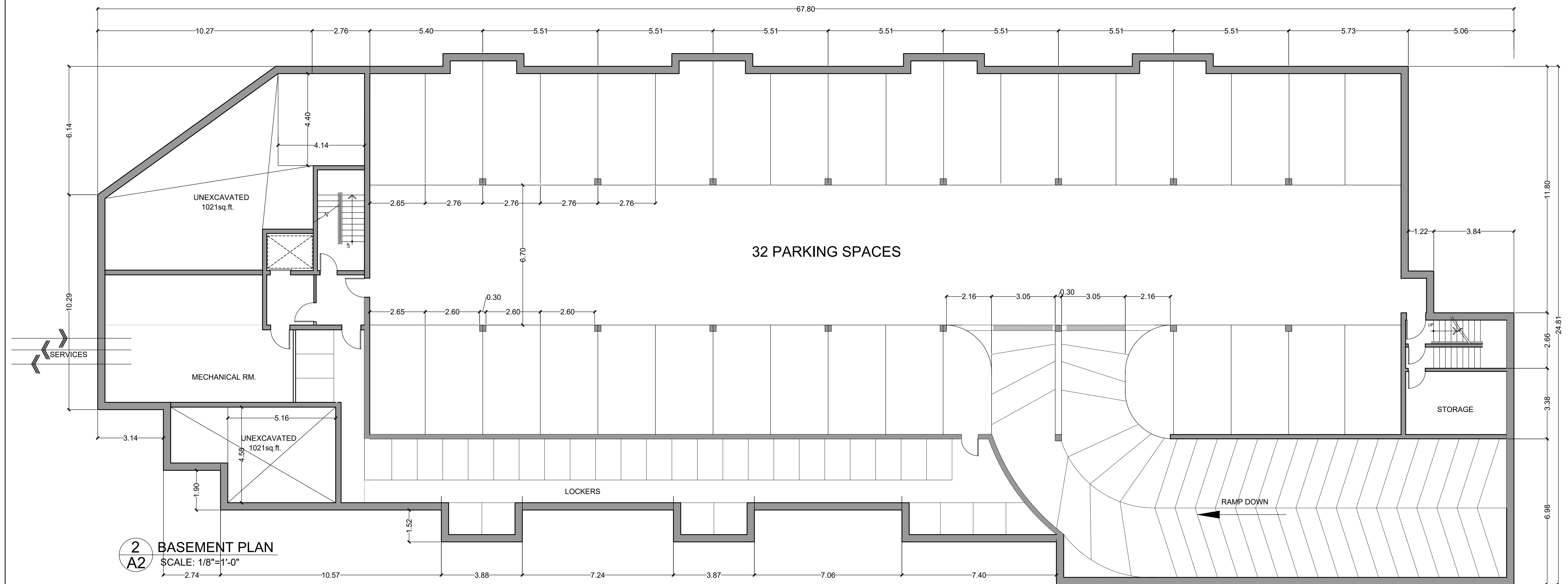
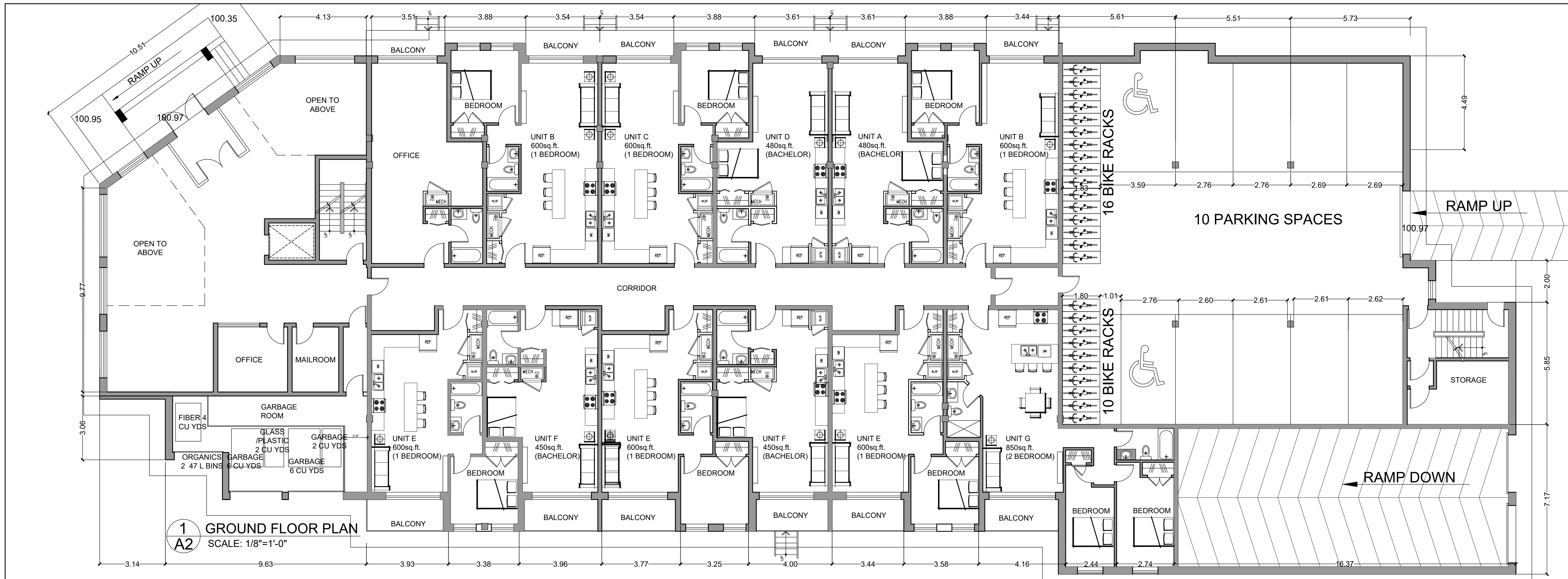
0 LOCATION MAP
 SP Scale: NTS



3 SECTION AT GARAGE
 SP Scale: 1:50

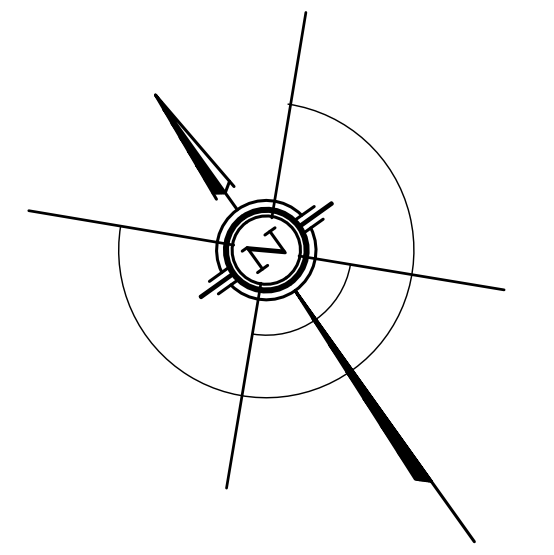
FLOOR	UNIT TYPE	TWO BEDROOM UNIT	ONE BEDROOM UNIT	BACHELOR UNIT	LIVING AREA
1ST FLOOR		1	6	4	646.9 m ² / 6963.5 ft ²
2ND FLOOR		1	10	8	1105.8 m ² / 11902.7 ft ²
3RD FLOOR		1	10	8	1105.8 m ² / 11902.7 ft ²
TOTAL : 49		3	26	20	2858.5 m ² / 30768.9 ft ²

SP



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10		
09		
08		
07		
06	REISSUED FOR ZONING AMENDMENT	01/17/2025
05	ISSUED FOR REVIEW	10/17/2024
04	ISSUED FOR REVIEW	01/26/2024
03	ISSUED FOR ZONING AMENDMENT	03/08/2022
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01	ISSUED FOR PRELIMINARY DESIGN REVIEW	10/22/2020
NO.	REVISION	DATE

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PROJECT TITLE:
ZONING AMENDMENT
4000 OLD RICHMOND ROAD

DRAWING TITLE:
FLOOR PLANS

PROJECT START DATE:
APRIL, 2019

AS NOTED

REVIEWED BY:

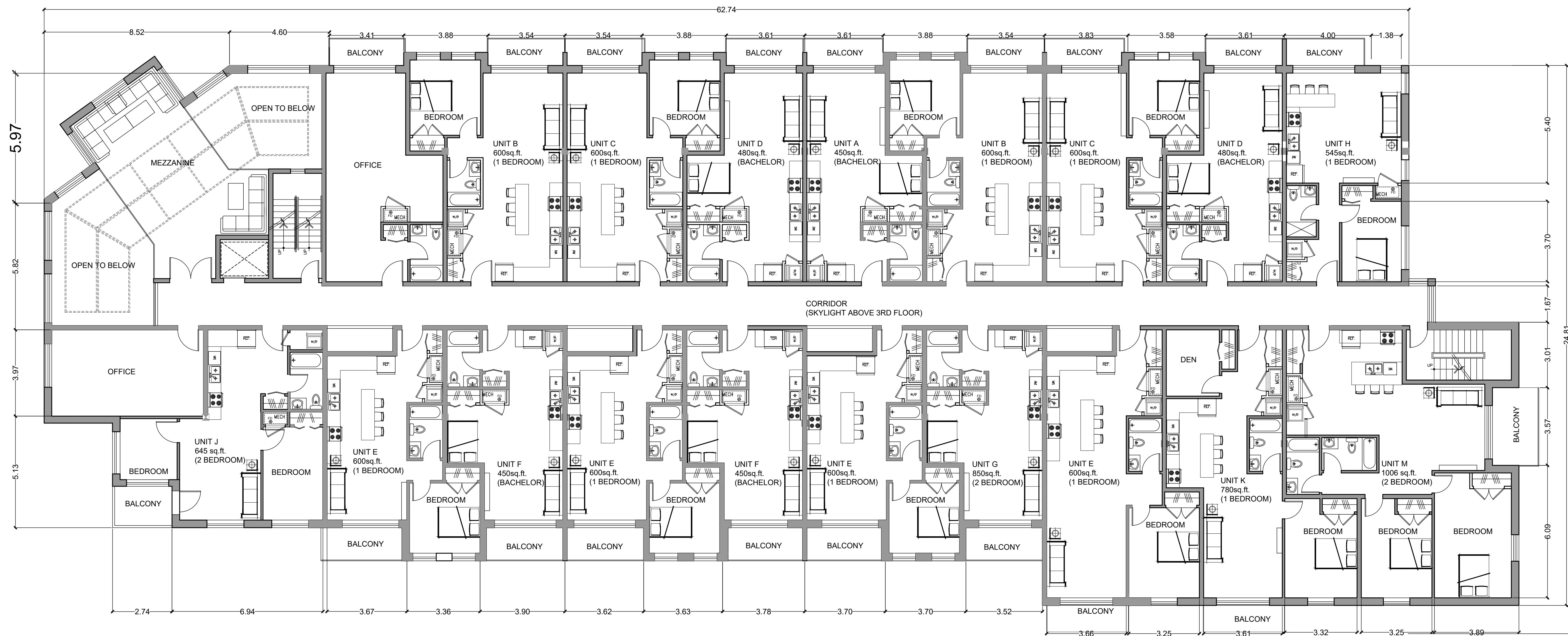
DRAWN BY:
ZK & SS

JOB No.:
1917

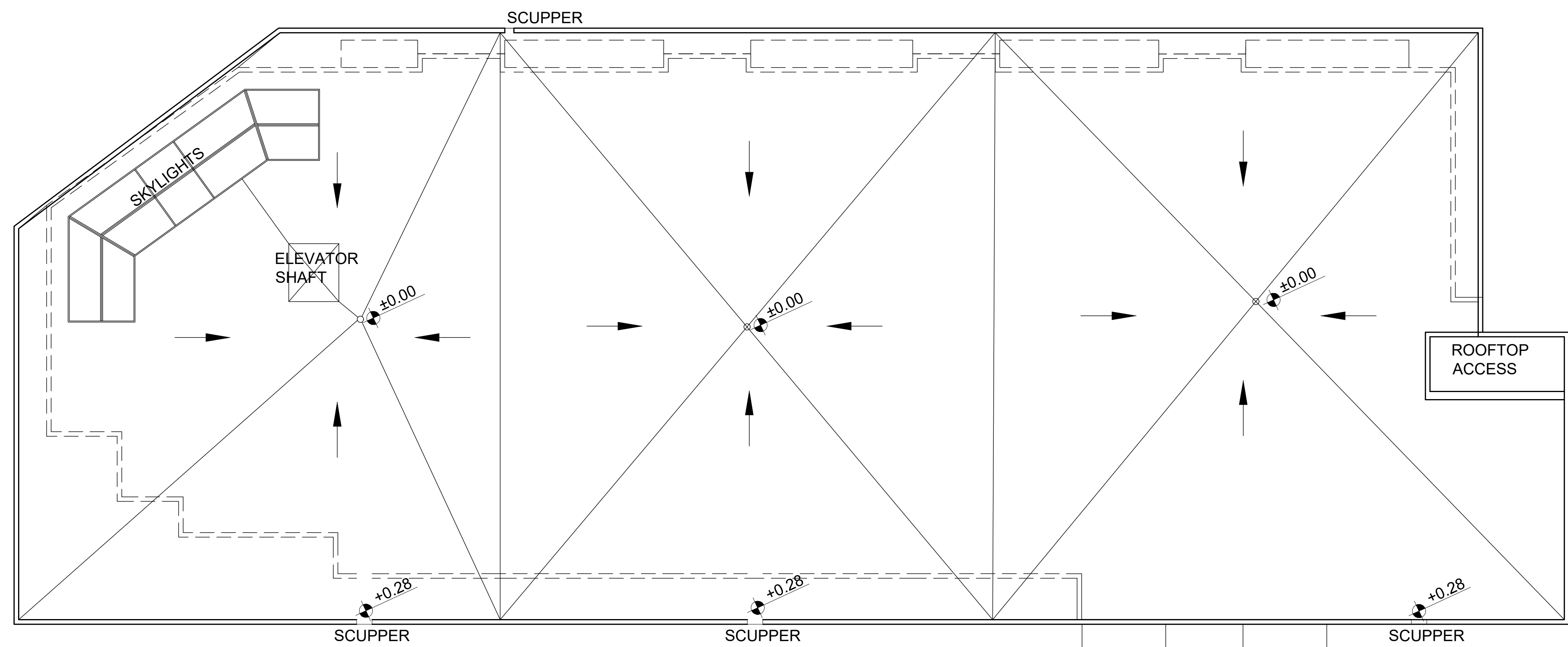
SHEET No.:

A1

D07-12-21-0234



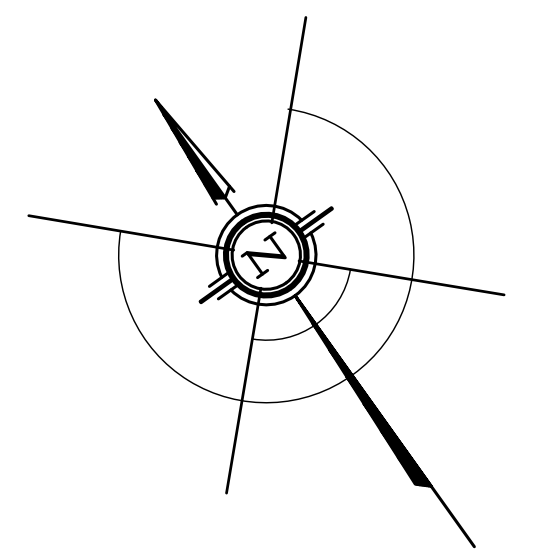
1 2ND, 3RD FLOOR PLAN
A2 SCALE: 1/8"=1'-0"



2 ROOF PLAN
A2 SCALE: 1/8"=1'-0"

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PROJECT TITLE:
 ZONING AMENDMENT
 4000 OLD RICHMOND ROAD

DRAWING TITLE:
FLOOR PLANS

PROJECT START DATE:
 APRIL, 2019

DRAWN BY:
 ZK & SS

AS NOTED

JOB No.:
 1917

REVIEWED BY:

SHEET No.:

A2

D07-12-21-0234

client
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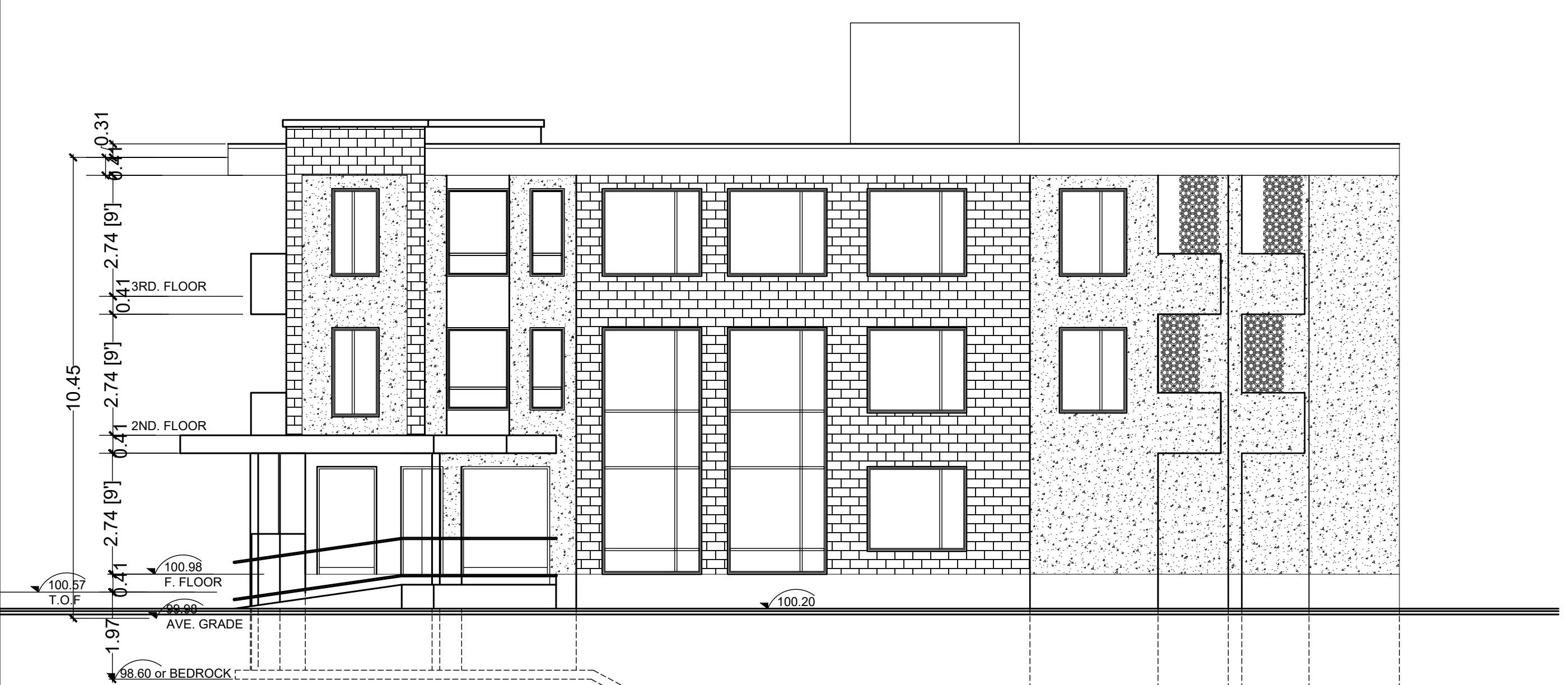
project
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 RESIDENTIAL BUILDING
 4000 OLD RICHMOND
 ROAD



1 NORTH ELEVATION
 A3 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
 A3 SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
 A3 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
 A3 SCALE: 1/8"=1'-0"

10		
09		
08		
07		
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PROJECT TITLE:
 ZONING AMENDMENT
 4000 OLD RICHMOND ROAD

DRAWING TITLE:
 ELEVATIONS

PROJECT START DATE:
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DRAWN BY:
 ZK & SS

AS NOTED
 1917

REVIEWED BY:

SHEET No.:

A3

D07-17-21-0234