

640 COMPASS STREET,
OTTAWA, ONTARIO

(SITE PLAN: SP-1, MARCH 2022)

PRELIMINARY CONSTRUCTION MANAGEMENT PLAN

Presented to:

Ms. Fairouz Wahab P. Eng.
Director of Planning & Engineering

Richcraft
2280 St. Laurent Blvd. Suite 201
Ottawa, Ontario
K1G 4K1
613.739.7111 x 150 / fwahab@richcraft.com

January 13th, 2025



**Castleglenn
Consultants**

Engineers, Project Managers & Planners


Project No. 7359-A

CASTLEGLENN CONSULTANTS INC.

THIRD PARTY DISCLAIMER

This plan has been prepared by Castleglenn Consultants Inc. (“CGI”) for the benefit of the Client to whom it is addressed. The information and data contained herein represents CGI’s best professional judgment in light of the knowledge and information available to CGI at the time of preparation. Except as required by law, this plan and the information and data contained herein are to be treated as confidential and may be used and relied upon only by the Client, its officers and employees. CGI denies any liability whatsoever to other parties who may obtain access to this study for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this study or any of its contents without the express written consent of CGI and the Client.

The following Construction Management Plan (CMP) has been produced, reviewed, and is respectfully submitted for consideration to whom it has been addressed.

A handwritten signature in blue ink is written over a circular professional engineer seal. The seal is for A.E. Gordon, a Licensed Professional Engineer in the Province of Ontario. The seal features a stylized 'E' in the center and the text 'LICENSED PROFESSIONAL ENGINEER' at the top and 'PROVINCE OF ONTARIO' at the bottom.

Mr. Arthur Gordon B.A., P.Eng
Principal Engineer
Castleglenn Consultants Inc.
Authorized Representative of the Applicant:
Richcraft Homes

Introduction

This Preliminary Construction Management Plan (CMP) is intended to address the City of Ottawa's requirements under Bylaw 2003-445 to identify all impacts to all modes of transportation and all elements in the public right of way during the anticipated construction of the proposed 640 Compass Street development in the City of Ottawa. The CMP is required before site plan approval and prior to issuance of a building permit.

Figure 1 illustrates the site which is bounded by Brian Coburn Blvd on the north, Compass Street on the west, the backyards of the 3 residential townhouse dwellings along Axis Way (348-to-372 Axis Way) on the south and the vacant property know as 6371 Renaud Road to the east.



Figure 1: Location of 640 Compass Site

The Proposed Development

Figure 2 illustrates a plan view of the proposed development extracted from the site plan. When completed the development will consist of 6 residential townhouse blocks that will be municipally serviced located around the perimeter of the site, with an amenity area in the central portion of the site. At finished grades, the proposed townhouse blocks will be surrounded by landscaped areas, asphalt paved access lanes and parking areas, and sidewalks.

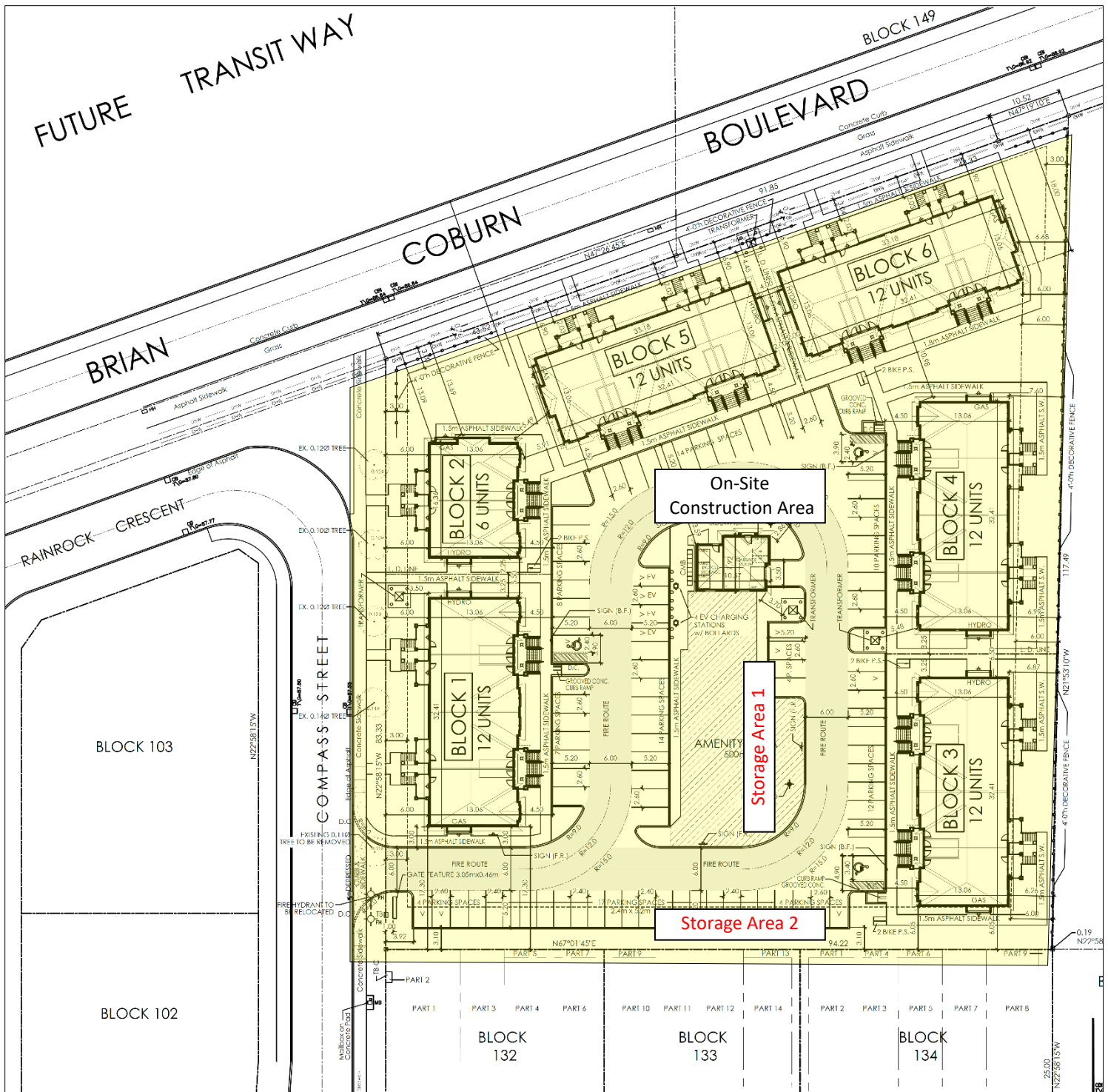


Figure 2: Extract of Site Plan: 640 Compass Street

- There are no bus routes that would be impacted by the proposed servicing connections along Compass Street.
- There are no bike lanes that would be impacted by construction activities.

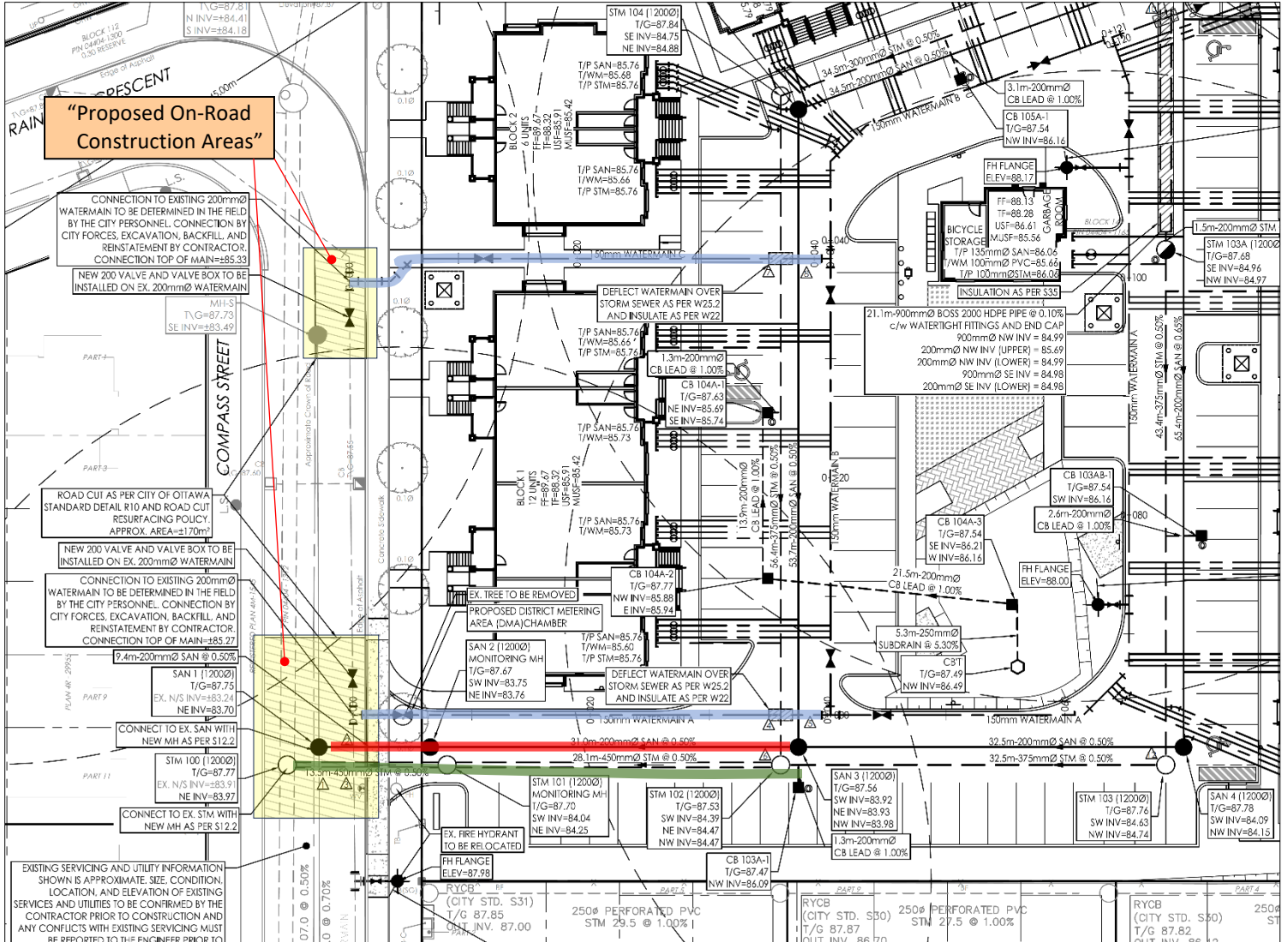


Figure 3: Extract of Servicing Plan

Application Submission 2: Check-List

- Traffic Control Plan:** Prior to the commencement of construction, a traffic control plan would be prepared ready for implementation and put into effect as servicing connections are established and the roadworks reinstated. All necessary encroachments on municipal rights-of-way will be coordinated with City of Ottawa staff (By-law Services).
- On-Street Parking: East Side of Compass Avenue:** Consideration should be given to temporarily designating the east side of Compass Avenue nearest the construction

access/site as a loading/unloading area to facilitate loading/unloading of materials and avoid unnecessary conflicts with parked motor-vehicles during construction.

- ❑ *Planned Pedestrian Detour:* The existing sidewalk along the east side of Compass Avenue would be closed in the vicinity of the planned servicing connections. Pedestrian traffic along the east side of Compass Street would be detoured to the existing sidewalk on the west side of Compass Street while the servicing connections are established, and reinstatement of roadworks takes place.
- ❑ *Temporary Fencing:* It is understood that temporary fencing across the entrance to site will be required and along any open holes or areas of excavation and where any temporary barrier may be required to accommodate health and safety requirements and secure construction materials.
- ❑ *Roadway Surface Maintenance:* Given the single access point to/from the construction site, the driveway access is to be stabilized with aggregate and if warranted install mud mats to prevent construction vehicles from tracking mud/debris/dirt onto Compass Street that could create a hazard to motorists and pedestrians. The contractor is responsible for keeping public roads free and clean from mud and debris.
- ❑ *Anticipated Ingress/Egress:* The exhibit below illustrates the turning movements associated with a heavy construction vehicle entering and leaving the proposed construction site. The most likely route taken to approach the site would be by way of Brian Coburn Blvd, to Fern Cassey, to Axis Way onto Compass Street.

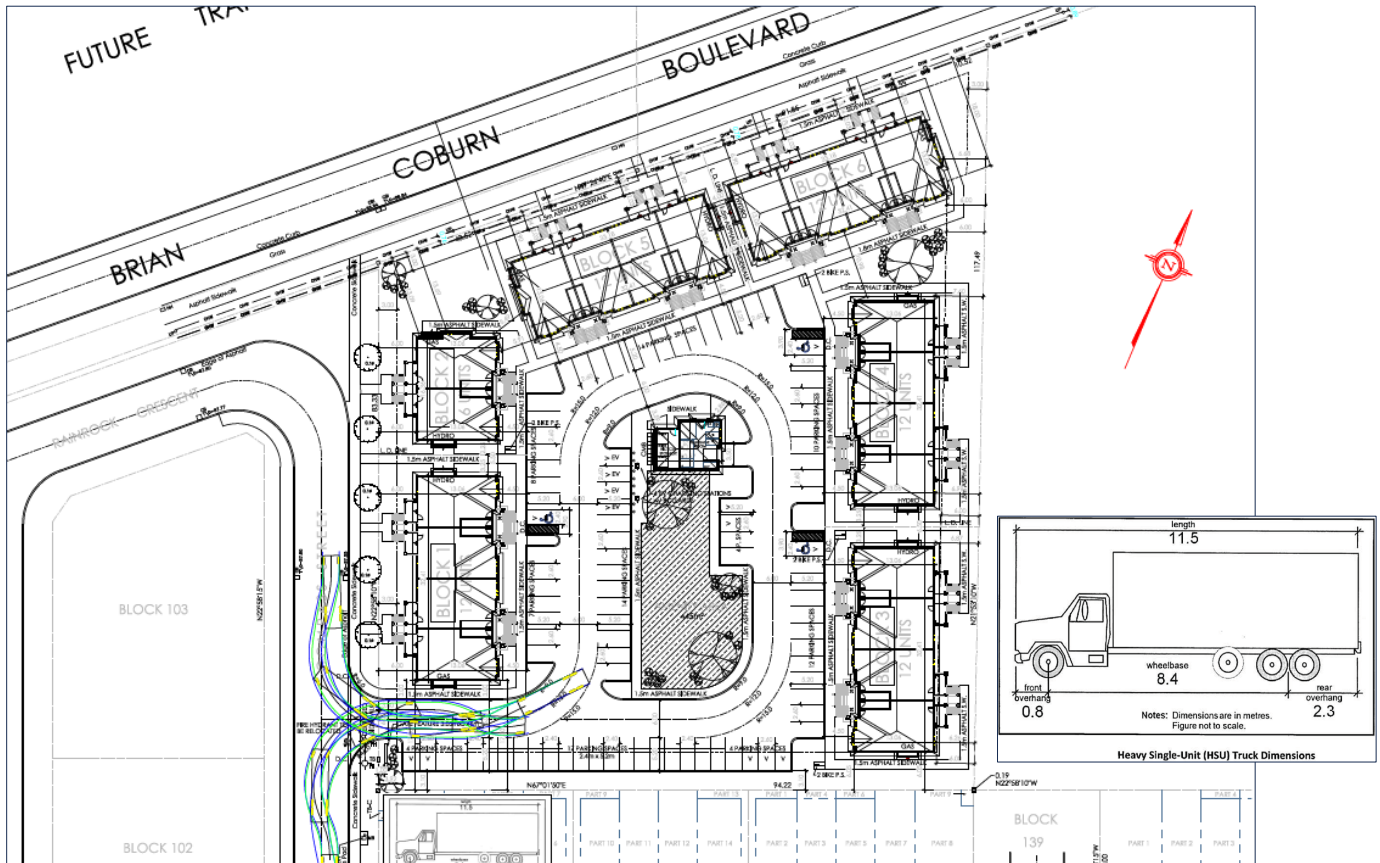


Figure 4: Turning Movements at Access to Site

Safety

□ *Safety Measures:*

- Richcraft’s Construction Managers will be responsible for providing, upon request from the City, Richcraft’s safety manual and policy in addition to a site-specific safety plan for the 60 Compass Street project.
- Richcraft will perform regular safety inspections to ensure that all contractors are following safety policies, procedures, and regulations.

Key Contacts:

- Owner: Richcraft Homes
- Project Management Firm: Richcraft Homes
- Construction Management Firm: Richcraft Homes
- Emergency Contact: Mr. Jesse Ross, Land Development Servicing Manager
(613) 739-7611 (Ext. 154) jross@richcraft.com