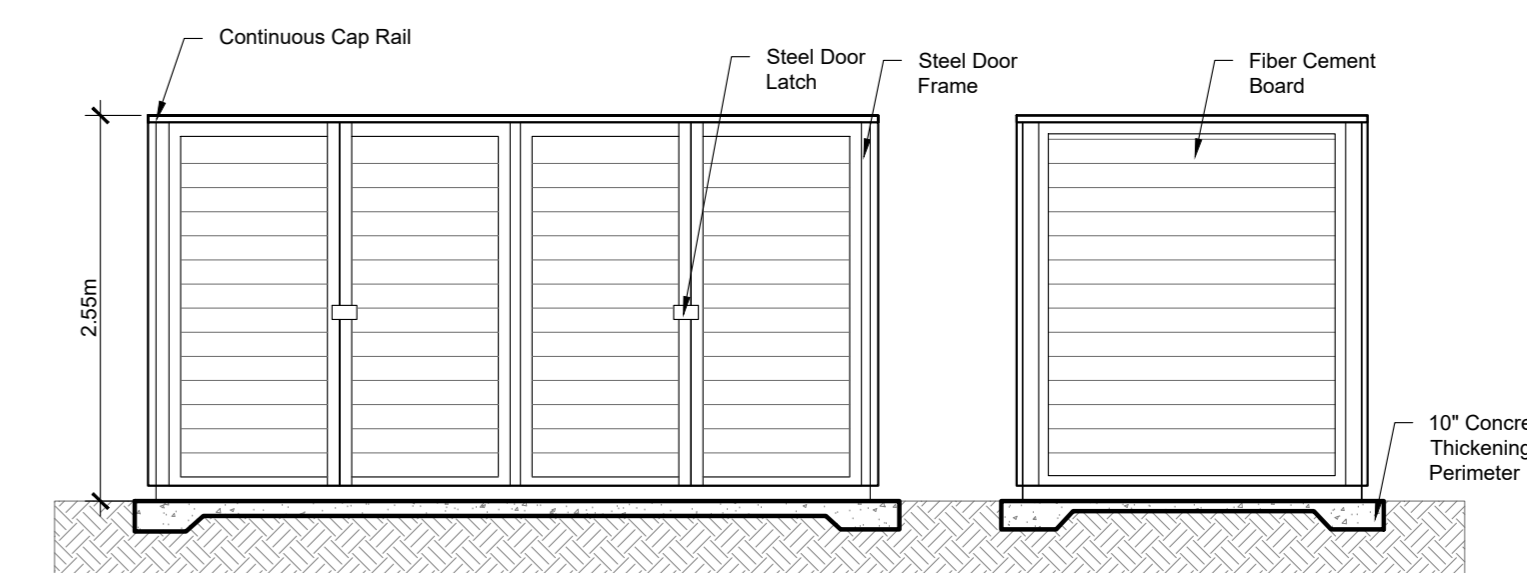
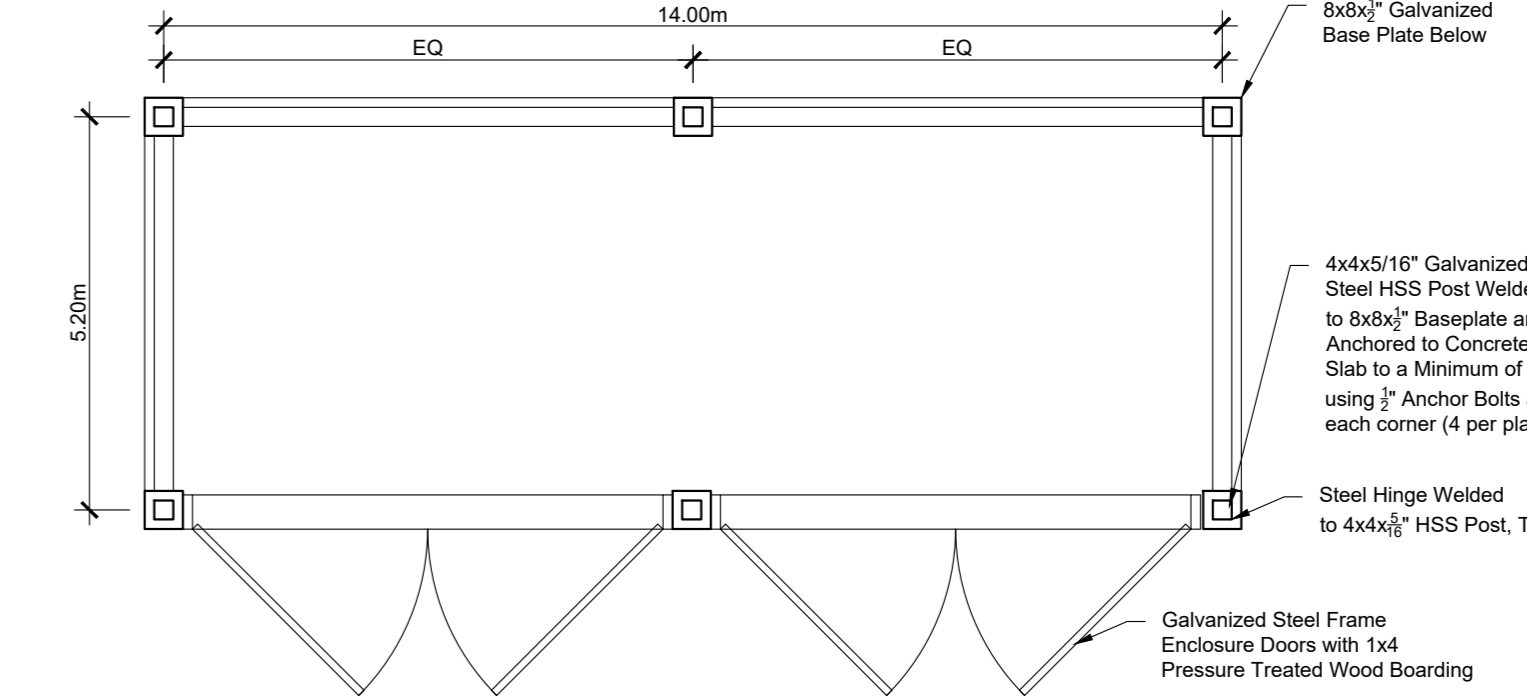
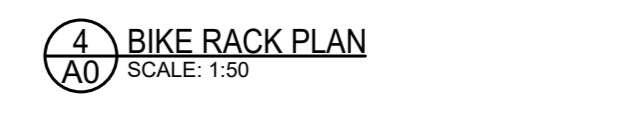
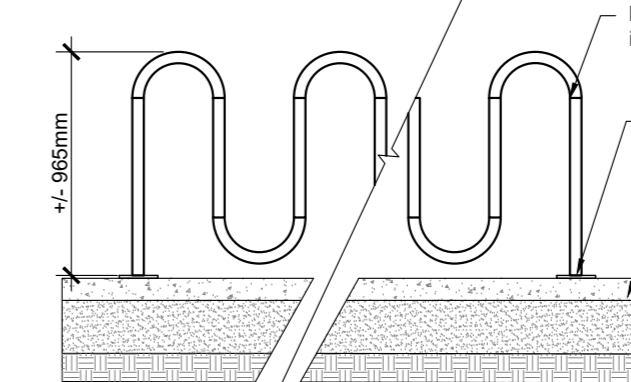
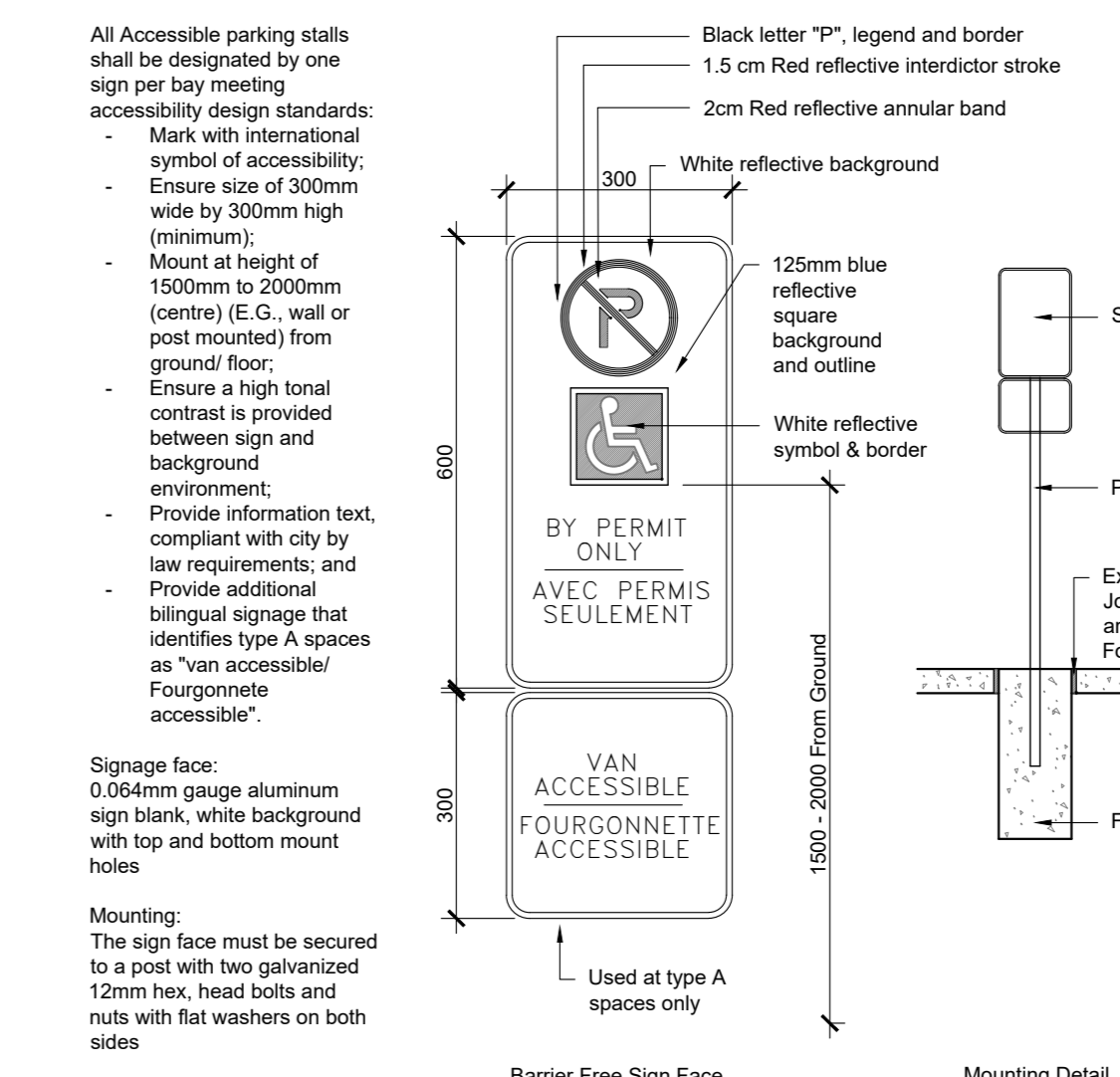
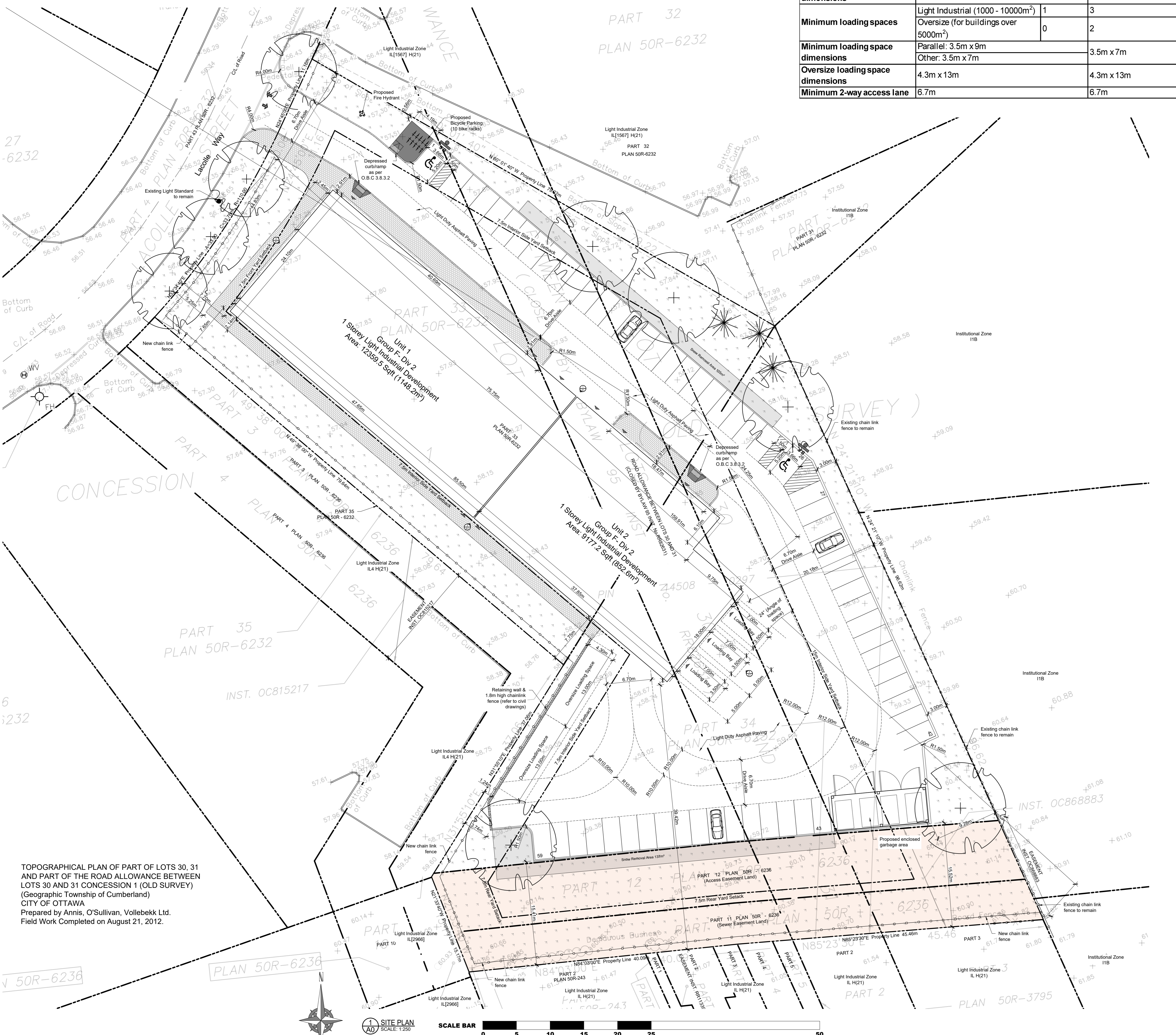
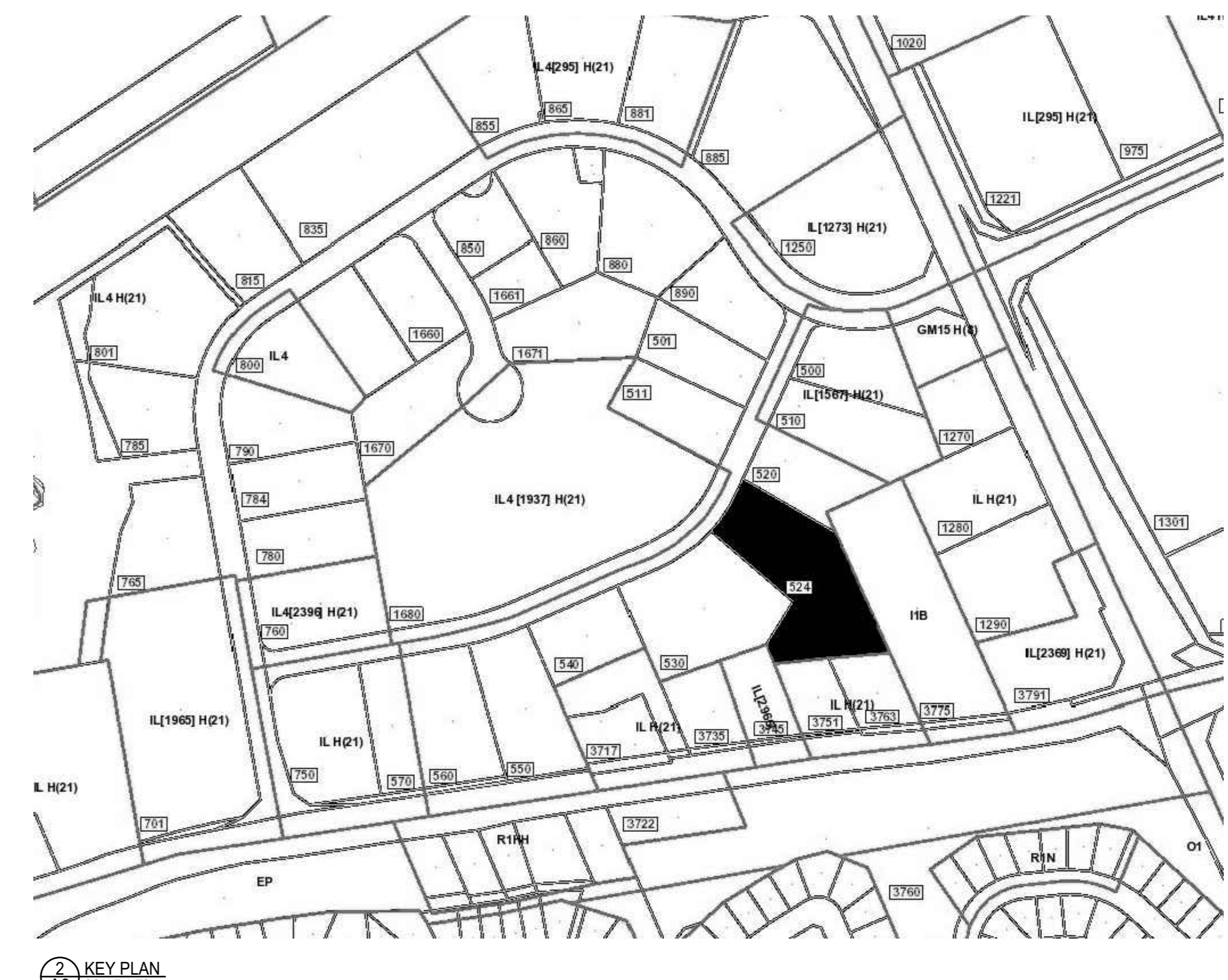




Building Analysis	
Building Area:	
Ground Floor Area:	2000.8m ² (21537 sqft)
Mezzanine Floor Area:	241.18m ² (2596 sqft)
Gross Floor Area:	2241.98m ² (24132.47 sqft)
O.B.C. Requirements	
	3.2.2.70
Classification:	Group F, Div2, up to 4 Storeys
No. of Storeys:	1
No. of Facing Streets:	No
Sprinkler System:	3200m ²
Maximum Area:	Combustible or Noncombustible Construction

Mechanism	Provision	Provided
Minimum lot area	2000m ²	8520m ²
Minimum lot width	n/a	44.83m
Maximum lot coverage	65%	23.48%
Minimum front yard setback	7.5m	7.7m
Minimum corner side yard setback	7.5m	n/a
Minimum interior side yard setback	Where abutting Institutional Zone: 15m Otherwise 7.5m	20.18m Abutting IL Zone: 7.65m
Minimum rear yard setback	Where abutting Institutional Zone: 15m Otherwise 7.5m	n/a Abutting IL Zone: 39.42m
Maximum floor space index	2	0.26
Maximum building height	21m	7m
Minimum width of landscaped area	Where abutting street: 3m Where abutting Institutional Zone: 3m Otherwise: n/a	5.25m 3m Abutting IL Zone: 0.56m
Minimum required parking	Light Industrial (Area C on Schedule 1A): 0.8 per 100m ² Accessible	18 (2241.98m ²) 1 2
Minimum loading spaces	Light Industrial (2000 - 4999m ²) Office (350 - 999m ²) Oversized (0 - 5000m ²)	1 0 1
Minimum bicycle parking	Light industrial: 1 per 1500m ² Office: 1 per 250m ²	1 10
Minimum parking space dimensions	2.6 m x 5.2m	2.6m x 5.2m
Minimum loading spaces dimensions	Light Industrial (1000 - 10000m ²) Oversize (for buildings over 5000m ²)	1 0
Minimum loading space dimensions	Parallel: 3.5m x 9m Other: 3.5m x 7m	3 2
Oversize loading space dimensions	4.3m x 13m	4.3m x 13m
Minimum 2-way access lane	6.7m	6.7m



GENERAL NOTES:

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- All work shall comply with the Ontario Building Code and the requirements of all authorities having jurisdiction.
- This drawing is the exclusive property of Ignite Architecture Inc. copyright reserved.

Note:
This Drawings shall be used only for the Site Plan Application, it is not to be used for Permit or Construction purposes.



LEGEND:

Item	Description
[Symbol]	Sodded Areas (Landscape Design by Others)
[Symbol]	Tactile Attention Indicator as per O.B.C. 3.8.3.18
[Symbol]	Concrete Pad
[Symbol]	Permeable Pavers
[Symbol]	Two way traffic
[Symbol]	Entrance to Building
[Symbol]	Fire Route Sign as per City Standard
[Symbol]	Barrier Free Parking Sign

DRAWING REVISIONS

No.	Issued for:	Date:
1	Issued for Coordination	12 Sept 2024
2	Issued for Site Plan Application	24 Sept 2024
3	Issued for Coordination	13 Nov 2024
4	Issued for Coordination	29 Nov 2024
5	Re-issued for Site Plan Application	16 Dec 2024

SITE ADDRESS:
524 Lacolle Way
Ottawa, ON K4A 0N9

OWNER INFORMATION:
Patrice Houle Holdings Inc.
2360 Old Highway 17
Rockland, ON K4K 1K7

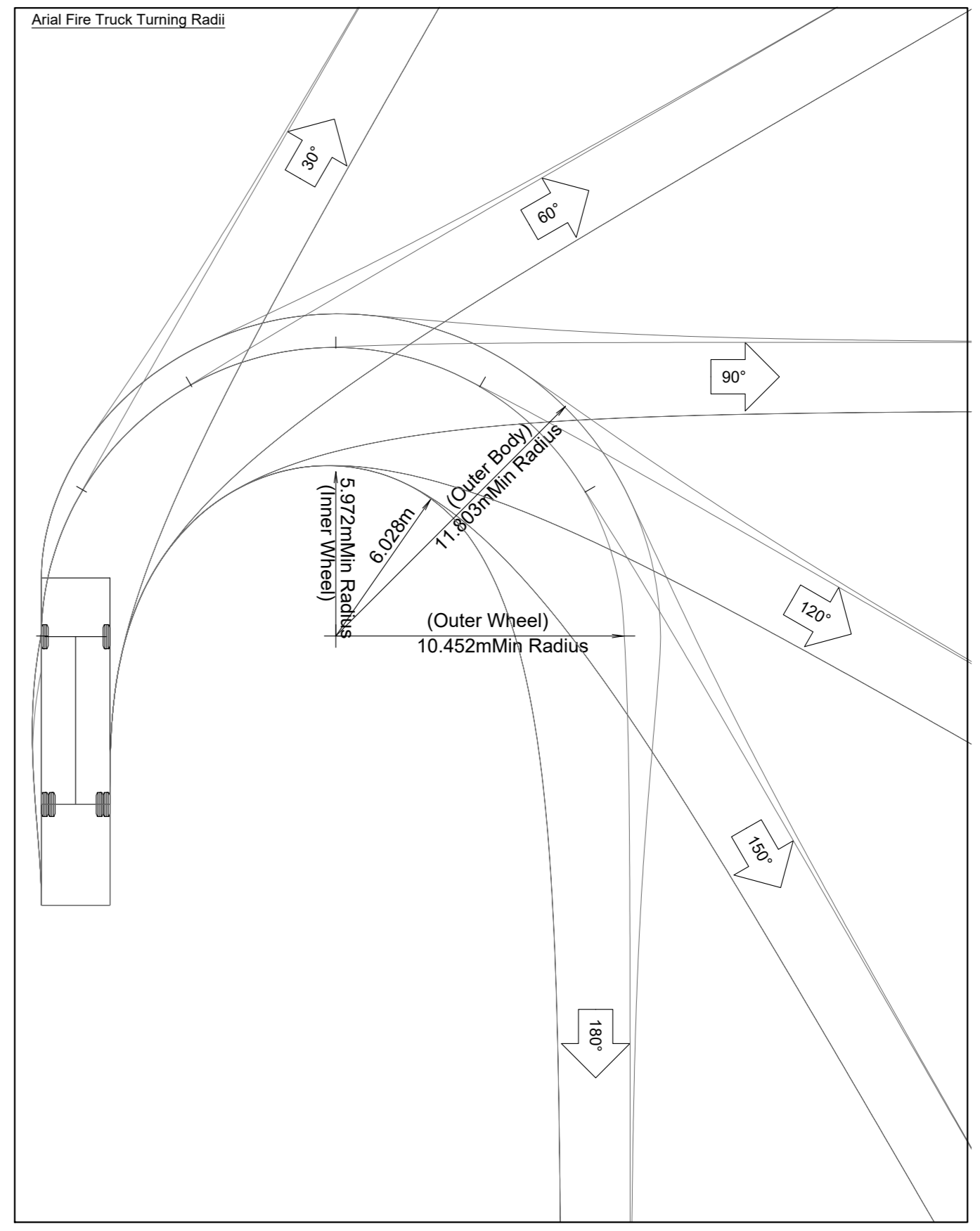
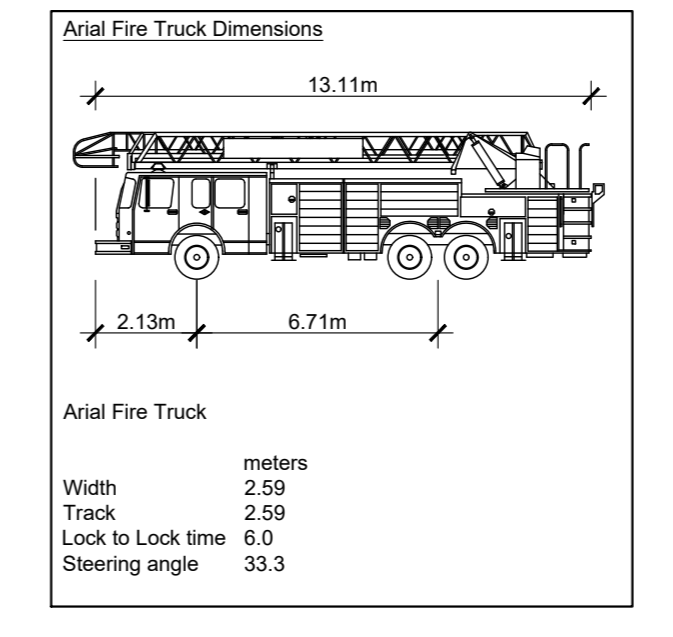
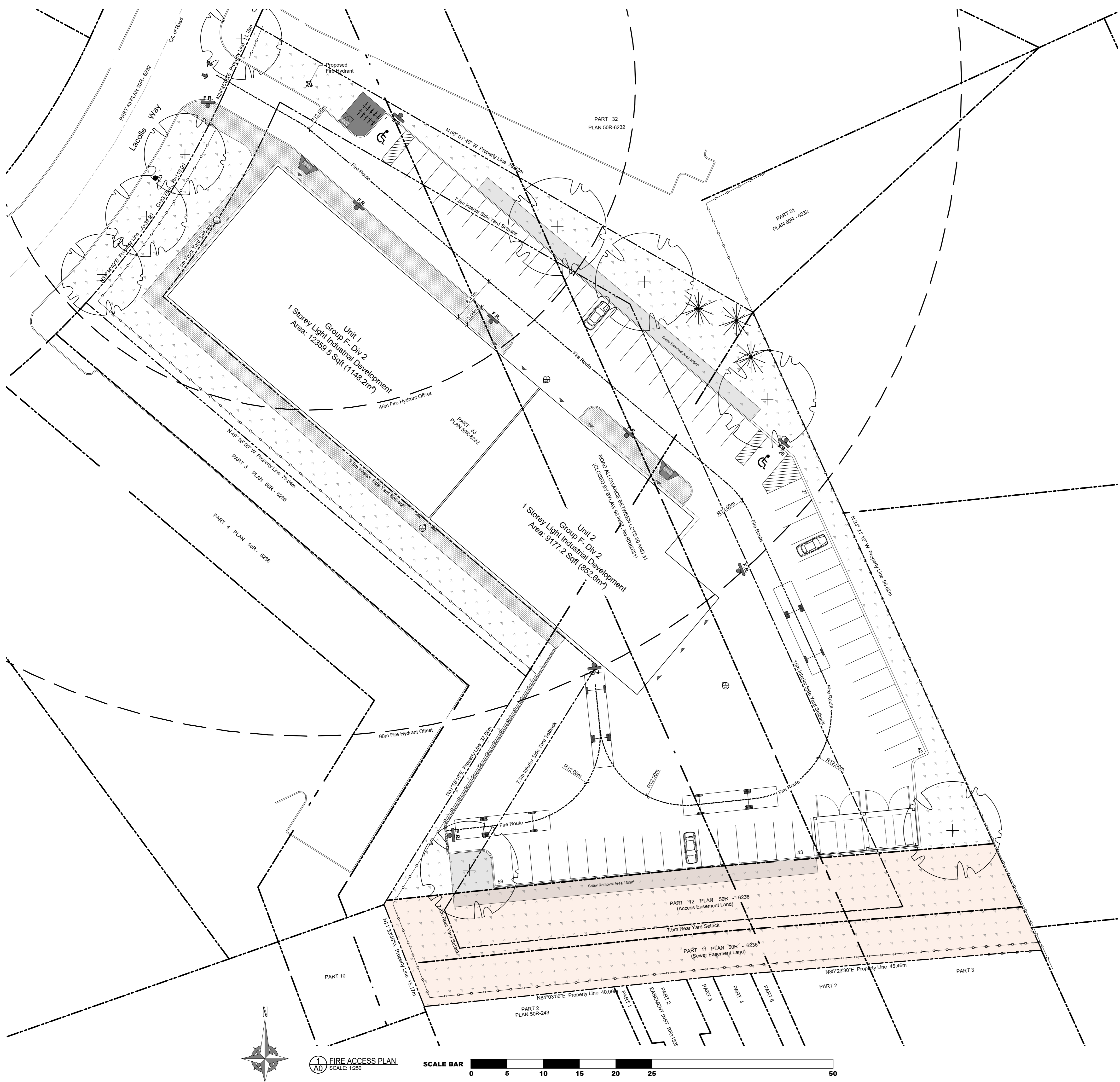
ARCHITECTS:
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533 Landswood Way
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Phone: 613-912-1832
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ENGINEERING & INSPECTION
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www.lrj.ca (613) 942-3634

SURVEYORS:
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
Professional Engineers
1000 Bank Street, Ottawa, ON
Phone: (613) 462-2000 / Fax: (613) 462-2020

DRAWING TITLE:
SITE PLAN

PROJECT: 2412
DWG NO: A0

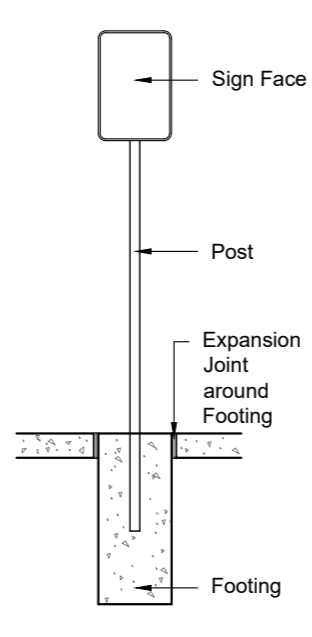


As per BYLAW 2003-499, Schedule B, Fire Routes, a sign prohibiting parking in a fire route shall:

- Be not less than 45cm in height and not less than 30cm in width.
- Show the markings and message that the area is a fire route where parking is prohibited and include double arrows, except at the end of a fire route where single arrows shall be included.
- Include in black letters of a min height of 4cm, the English language message "Fire Route" and the French language message "Routes Des Pompiers" below the message "Fire Route".
- Have the design as truly illustrated.
- Be located no more than 25.0m apart unless otherwise specifically approved.
- Have the lower edge of each sign be between 2.0m and 2.5m above grade.

Signage face: 0.064mm gauge aluminum sign blank, white background with top and bottom round holes.

Mounting: The sign face must be secured to a post with two galvanized 12mm hex, head bolts and nuts with flat washers on both sides.



Fire Route Sign Face

Mounting Detail



1 NORTH - EAST ELEVATION - LACOLLE WAY
SCALE: NTS



2 NORTH - WEST ELEVATION - LACOLLE WAY
SCALE: NTS



3 SOUTH - EAST ELEVATION
SCALE: NTS



4 SOUTH - WEST ELEVATION
SCALE: NTS

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SEAL:



LEGEND:

Item	Description
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[Symbol]	Concrete Pad
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Rockland, ON K4K 1K7

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Email: nicole@ignitearchitecture.ca

ENGINEERS

LRJ
ENGINEERING & ENGINEERS
5430 Carleton Place
P.O. Box 204
Rockland, Ontario
Phone: (613) 443-2847 Fax: (613) 443-2820

SURVEYORS

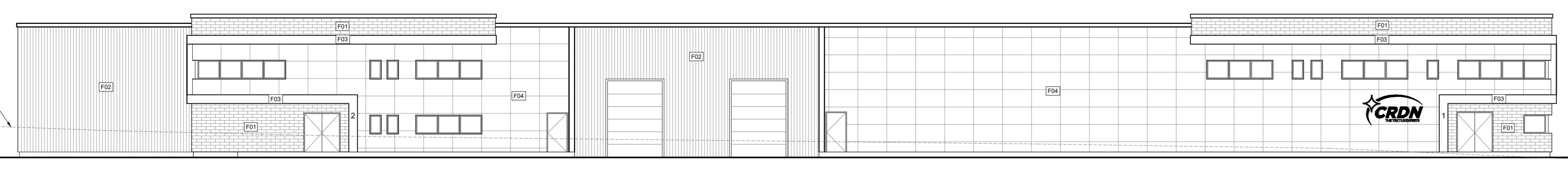
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
P.O. Box 204
Rockland, Ontario
Phone: (613) 443-2847 Fax: (613) 443-2820

DRAWING TITLE:

ELEVATIONS, PERSPECTIVES & FIRE ACCESS ROUTE

PROJECT: DWG NO:

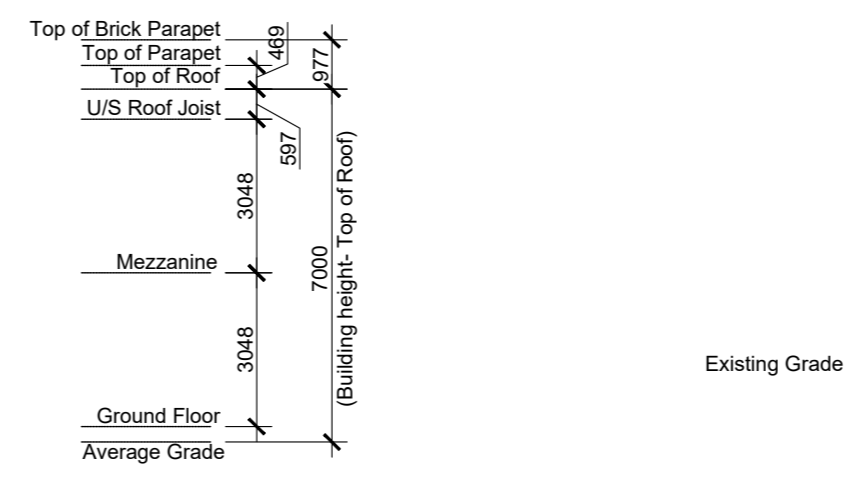
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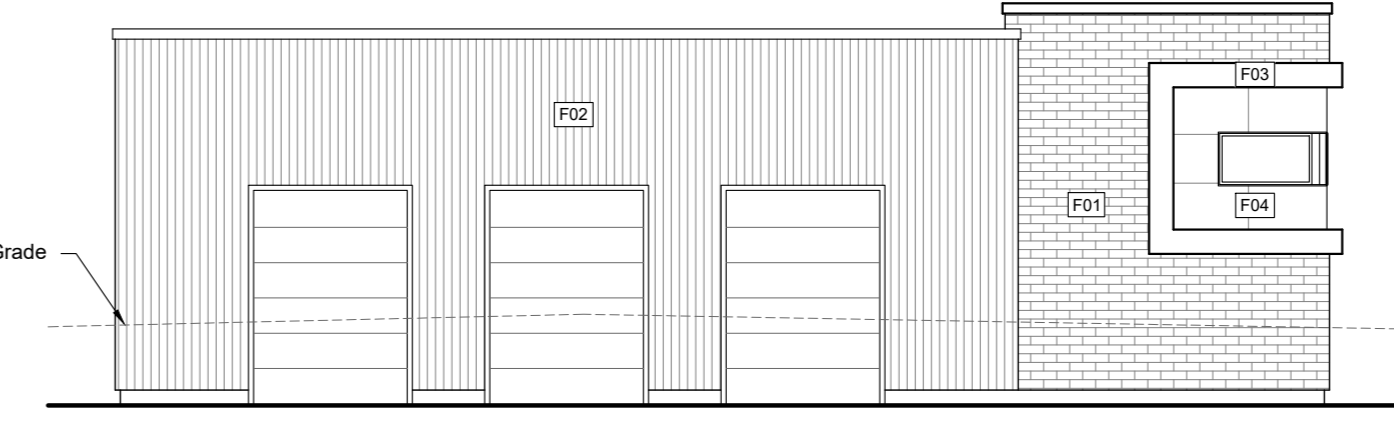
5 EAST ELEVATION
SCALE: 1:100



6 WEST ELEVATION
SCALE: 1:100



7 NORTH ELEVATION - LACOLLE WAY
SCALE: 1:100



8 SOUTH ELEVATION
SCALE: 1:100

- F01 PERMACON ARCHITECTURAL BRICK
- F02 ALUMINUM SIDING
- F03 ALUMINUM PANELS - URETHANE COATING
- F04 JAMES HARDIE FIBRE CEMENT PANELS - HARDIE PANEL.

