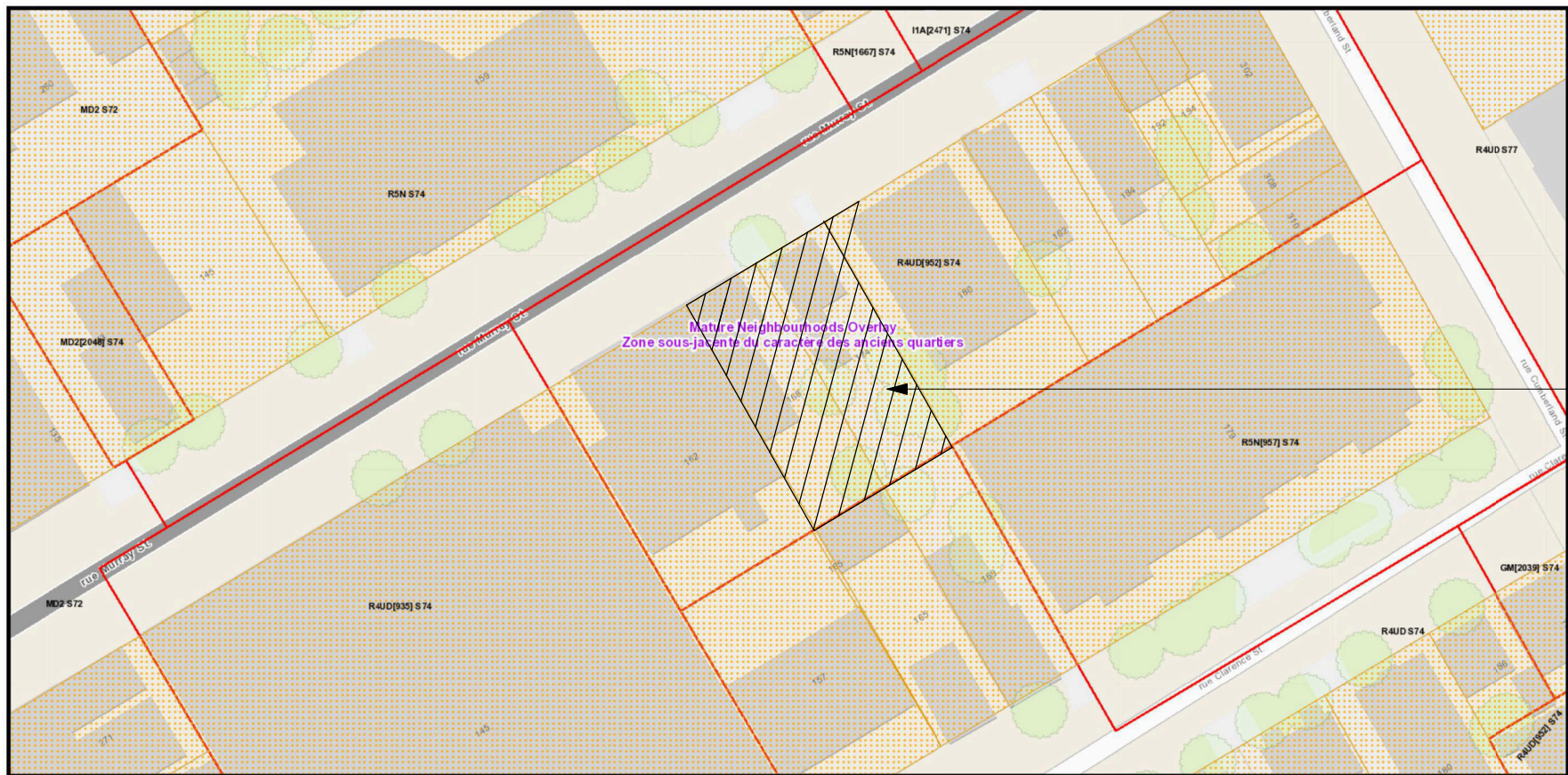


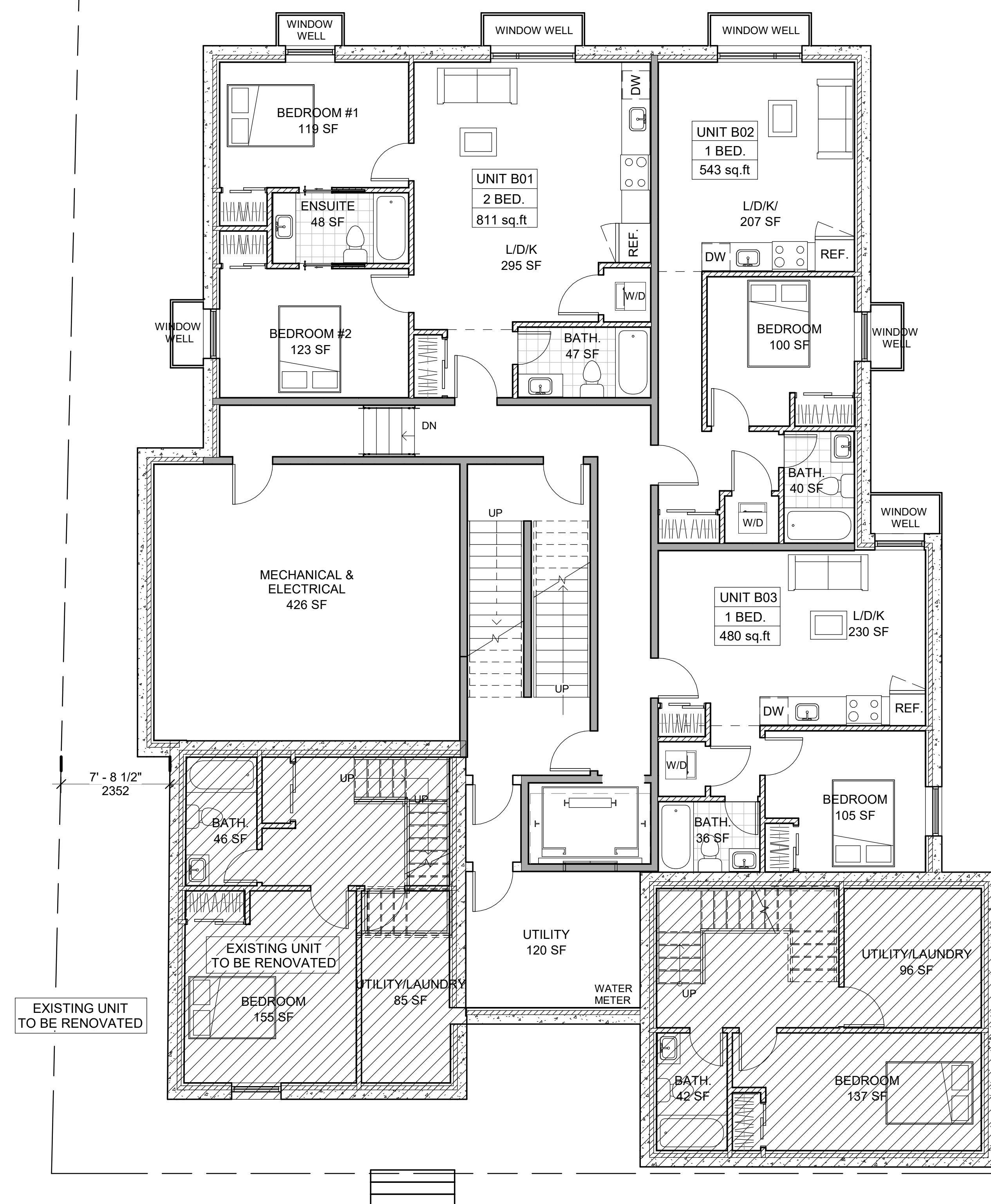
1 SITE PLAN
SCALE:1/100

168-174 MURRAY ST.			
SITE PLAN OF SURVEY LOT 23 REGISTERED PLAN 42482, CITY OF OTTAWA		SURVEY INFO TAKEN FROM LOT 23 REGISTERED PLAN 42482 CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. COMPLETED on JANUARY 7th, 2021	
ZONING: R4UD[952] S74, HERITAGE OVERLAY, MATURE NEIGHBOURHOODS OVERLAY, AREA Z ON SCHEDULE 1A, SCHEDULE 342 DWELLING TYPE: 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS			
ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	450 m²	654.2 m²	
B) MINIMUM LOT WIDTH	15 m	20.46 m	
C) MINIMUM LOT DEPTH	N/A	32.32 m	
D) MINIMUM FRONT YARD SET BACK	1.5m	EXISTING BUILDING & 3.721 m	
E) MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m	1.2 m	MINOR VARIANCE
F) MINIMUM REAR YARD SET BACK	Min. 9.69 m & must be 163.5 m2 in area	7.916 m & 158.77 m2 in area	MINOR VARIANCE
G) MAXIMUM BUILDING HEIGHT	168 Murray 5.8 metres (to a depth of 9.14 m from front lot line) 9.3 metres (rear) 174 Murray 7.0 metres (to a depth of 9.14 m from front lot line) 10.5 metres (rear)	13.38 m	
H) FRONT FAÇADE FENESTRATION	must comprise at least 25% windows	26.17%	
I) VEHICLE PARKING (RESIDENTS)	0	0	
VEHICLE PARKING (VISITOR)	20 units x 0.1=2	0	MINOR VARIANCE
VEHICLE PARKING (TOTAL)	2	0	
J) BIKE SPACES	20x0.5=10	22 (STACKED) INDOOR	
K) AMENITY AREA	6.0 x 20 units = 120m² 50% of 120m² = 60m² required as communal	157 m² @ BACK	
L) FRONT YARD, SOFTSCAPING PERCENTAGE	40%	28.8%	MINOR VARIANCE
M) REAR YARD, SOFTSCAPING PERCENTAGE	50%	75.7%	
BUILDING AREAS			
BASEMENT BUILDING AREA (NEW)	280 m²	PROPOSED SITE DEVELOPMENT INFO.	GARBAGE REQUIREMENT
GROUND FLOOR BUILDING AREA (NEW) BUILDING AREA (EXISTING)	280 m² 97 m²	PROPOSED STOREYS LOT COVERAGE	GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED IN THE BASEMENT AND REMOVED PRIVATELY DURING COLLECTION
SECOND FLOOR BUILDING AREA (NEW) BUILDING AREA (EXISTING)	280 m² 97 m²	SOFT LANDSCAPING HARD LANDSCAPING	
THIRD FLOOR BUILDING AREA (NEW)	269 m²	STAIR & LANDING	SNOW REMOVAL REQUIREMENT
FOURTH FLOOR BUILDING AREA (NEW)	269 m²		
		1 BED	2 BED
EXISTING BUILDING (RENOVATED)	0	0	2
PROPOSED ADDITION	13	5	0
TOTAL	13	5	2
		3 BED	TOTAL
			20
REQUIRED 2+ BEDROOM		5	5
PROPOSED 2+ BEDROOM		5	5
AVERAGE GRADE: CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES AVERAGE GRADE : 58.48m (58.20m + 58.34m + 58.85m + 58.53m) /4		GARBAGE REQUIREMENT GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED ON THE GROUND FLOOR AND REMOVED PRIVATELY DURING COLLECTION SNOW REMOVAL REQUIREMENT PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER	

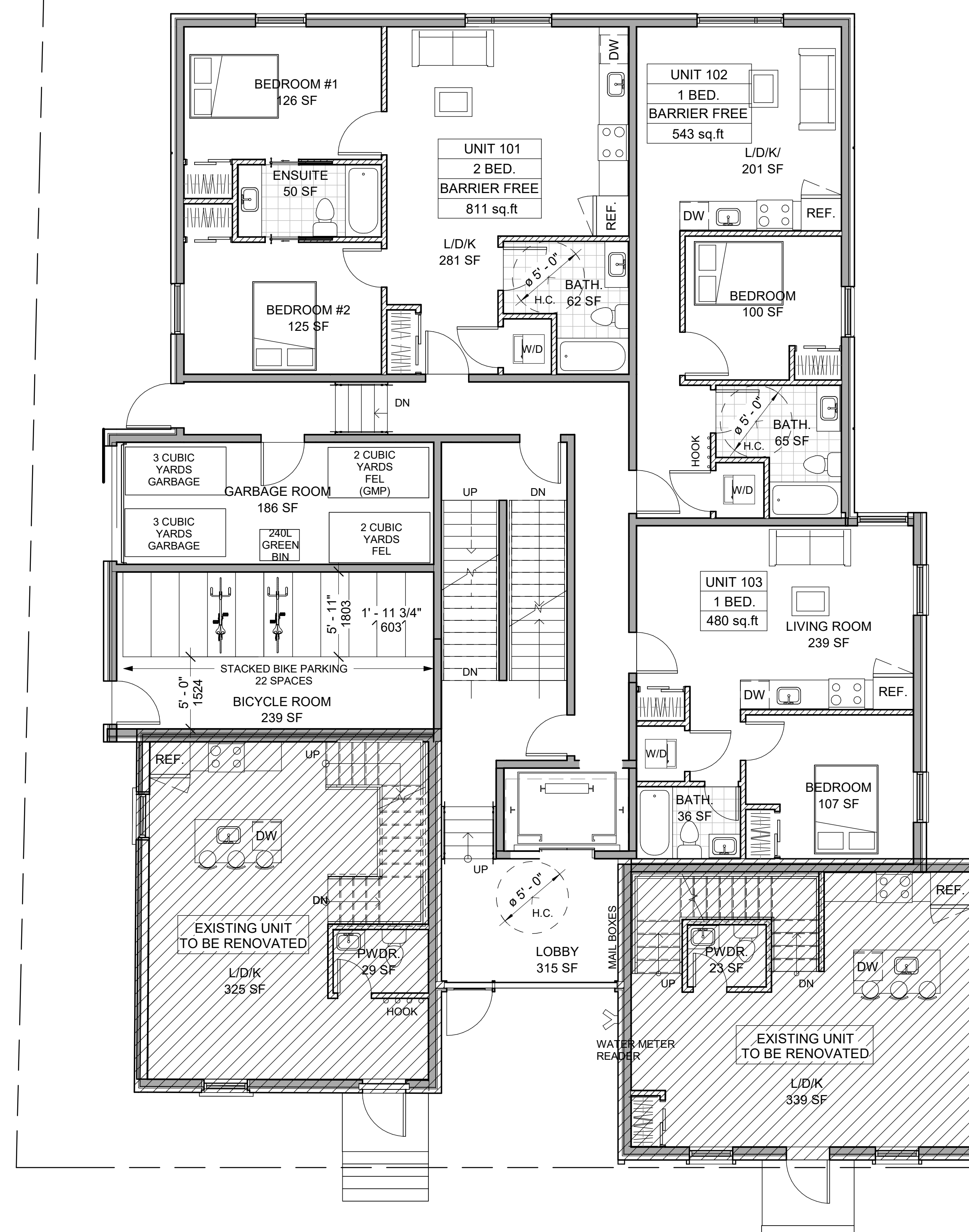
LEGEND	
	NEW TREE
	EX. TREE TO BE REMOVED
	PROPOSED BUILDING
	EXISTING BUILDING TO REMAIN
	PROPOSED / EXISTING ENTRY / EXIT
	PROPERTY LINE
	DENOTES HARD LANDSCAPING
	DENOTES SOFT LANDSCAPING



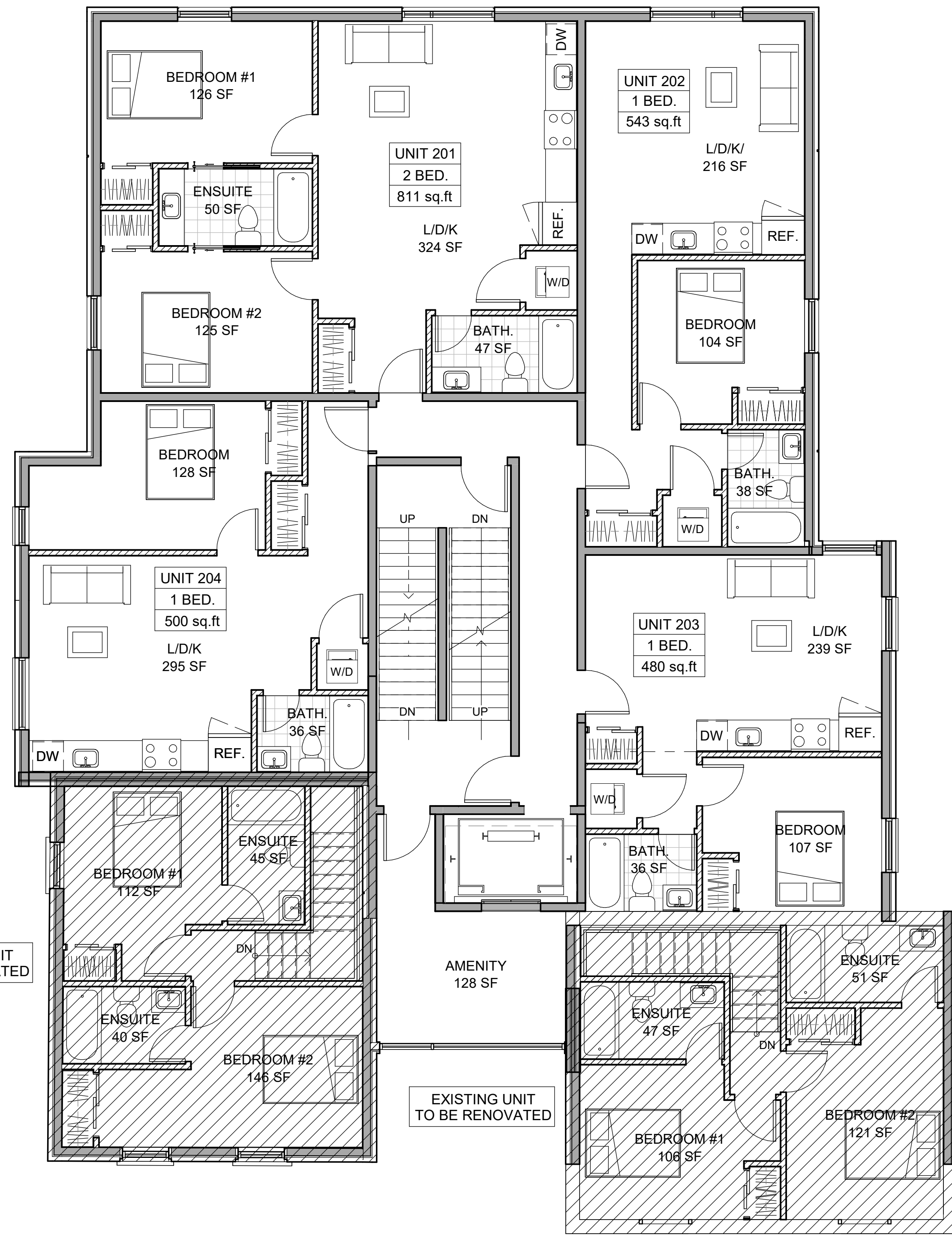
LOT LOCATION

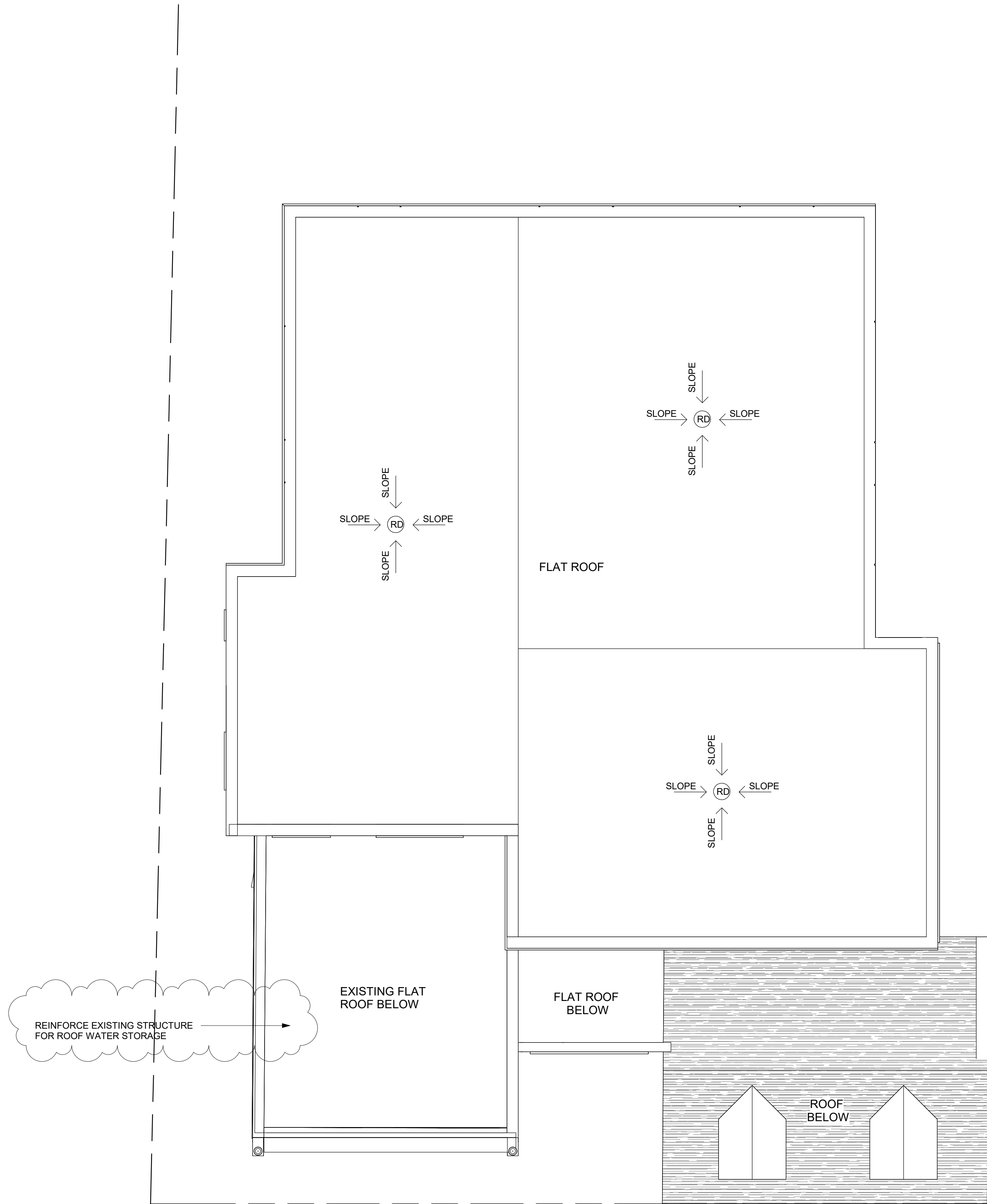


2 BASEMENT
3/16" = 1'-0"



1 GROUND FLOOR
3/16" = 1'-0"





1 ROOF
3/16" = 1'-0"

168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS

CONSULTANTS		
STRUCTURAL -		
MECHANICAL -		
ELECTRICAL -		
MDY		
9		
8		
7		
6		
5		
4		
3		
2		
1	ISSUED FOR SPA	07/04/23
NO	REVISION/ISSUE	DATE
PROJECT:		
168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 9M8		

FLOOR PLANS	
DRAWN BY:	SHEET:
DATE: MAY 11, 2021	A4
SCALE: AS NOTED	

