





SITE PLAN OF SURVEY LOT 23 REGISTERED PLAN 42482, CITY OF OTTAWA

SURVEY INFO TAKEN FROM LOT 23 REGISTERED PLAN 42482 CITY OF OTTAWA

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. COMPLETED on JANUARY 7th, 2021 ZONING PAUDIO521 STA HERITAGE OVERIAY MATURE NEIGHROURHOODS OVERIAY AREA ZON

ZONING MECHANISMS	REQUIREMENT		PROVIDE	ED	NC	DTES	
A) MINIMUM LOT AREA	450 m²		654.2 ι	m²			
B) MINIMUM LOT WIDTH	15 m		20.46	m			
C) MINIMUM LOT DEPTH	N/A		32.32	m			
D) MINIMUM FRONT YARD SET BACK	1.5m		EXISTING &	BUILDING			
			3.721 m				
E) MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m		1.2 m		MIN	OR VARIANCE	
F) MINIMUM REAR YARD SET BACK	Min. 9.69 m & must be 163.5 m2 in a	area	7.916 m & 158.77 m2 in area		MIN	OR VARIANCE	
G) MAXIMUM BUILDING HEIGHT	168 Murray5.8 metres (to a dep9.14 m from front lo9.3 metres (rear)174 Murray7.0 metres (to a dep9.14 m from front lo10.5 metres (rear)	ot line) pth of	13.38 m				
H) FRONT FAÇADE FENESTRATION	must comprise at leas 25% windows	st					
) VEHICULE PARKING (RESIDENTS)	0		0				
VEHICULE PARKING (VISITOR)	20 units x 0.1=2	2	0		MIN	OR VARIANCE	
VEHICULE PARKING (TOTAL)	2						
J) BIKE SPACES	20x0.5=10		22 (ST/ INDOO	ACKED) R)		
K) AMENITY AREA	6.0 x 20 units = 12 50% of 120m² = 6 required as comm	0m²	157 m² @ I	BACK			
L) FRONT YARD, SOFTSCAPING PERCENTAGE	40%		28.8%			OR VARIANCE	
M) REAR YARD, SOFTSCAPING PERCENTAGE	50%		75.7%				
BUILDING AREAS							
BASEMENT BUILDING AREA (NEW) 280 m ²	PROPOSED SITE DEVELOPMENT IN	IFO.		GARBAGE REQUIREMENT			
GROUND FLOOR BUILDING AREA (NEW) 280 m ²	PROPOSED STOREYS		4		OSTING O BE STORED IN THE		
BUILDING AREA (EXISTING) 97 m ²	LOT COVERAGE			D REMOVED			
SECOND FLOOR BUILDING AREA (NEW) 280 m ²	SOFT LANDSCAPI	NG	25.6%		ECTION		
BUILDING AREA (EXISTING) 97 m ²	HARD LANDSCAP	ING	16.6%	SNOW	REMOVA	L REQUIREMENT	
THIRD FLOOR BUILDING AREA (NEW) 269 m ²	STAIR & LANDING		0.5%	-			
FOURTH FLOOR BUILDING AREA (NEW) 269 m ²							
	1 BED		2 BED	3	BED	TOTAL	
EXISTING BUILDING (RENOVATED)	0		0	2		2	
PROPOSED ADDITION	13		5	0		18	
OTAL	13		5	2		20	
			5	5			
QUIRED 2+ BEDROOM 5 DPOSED 2+ BEDROOM 5		5					
				_			
VERAGE GRADE: CALCULATED FROM EXISTING ELEVATION DISTANCE EQUAL TO THE MINIMUM FRO REAR YARD SETBACKS, AT THE INTERIOR PROPERTY LINES	ONT YARD &		GARBAG ARE TO	BÉ STOREI	LING AND	COMPOSTING GROUND FLOOR URING COLLECTIC	
AVERAGE GRADE: 58.48m (58.20m + 58.	34m + 58.85m + 58.53n	n) /4	PROPER THE REM	IOVAL AND	R WILL BE	ENT RESPONSIBLE FOI E OF SNOW FOR UT THE WINTER	



LEGEND	
o	NEW TREE
$\left(\begin{array}{c} \end{array}\right)$	EX. TREE TO BE REMOVED
	PROPOSED BUILDING
	EXISTING BUILDING TO REMAIN
	PROPOSED / EXISTING ENTRY / EXIT
	PROPERTY LINE
	DENOTES HARD LANDSCAPING
	DENOTES SOFT LANDSCAPING

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-	0	0	F	२		

- LOT LOCATION

RA REDLINE ARCHITECTURE

REDLINE ARCHITECTURE INC. Tel: 613-612-2232 info@redlinearchitecture.ca www.redlinearchitecture.ca

RESPONSIBILITIES: DO NOT SCALE DRAWINGS

ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER

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GENERAL NOTES:



ISTING SS S 74 MURRAY Addition to exist Storey buildings MURR \sim 4 STOREN TWO $\overline{}$ 168-

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PROJE		8-174 MI	JRRAY S	ST.
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SITE PLAN				
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DATE: MAY 11, 2021 SCALE: AS NOTED





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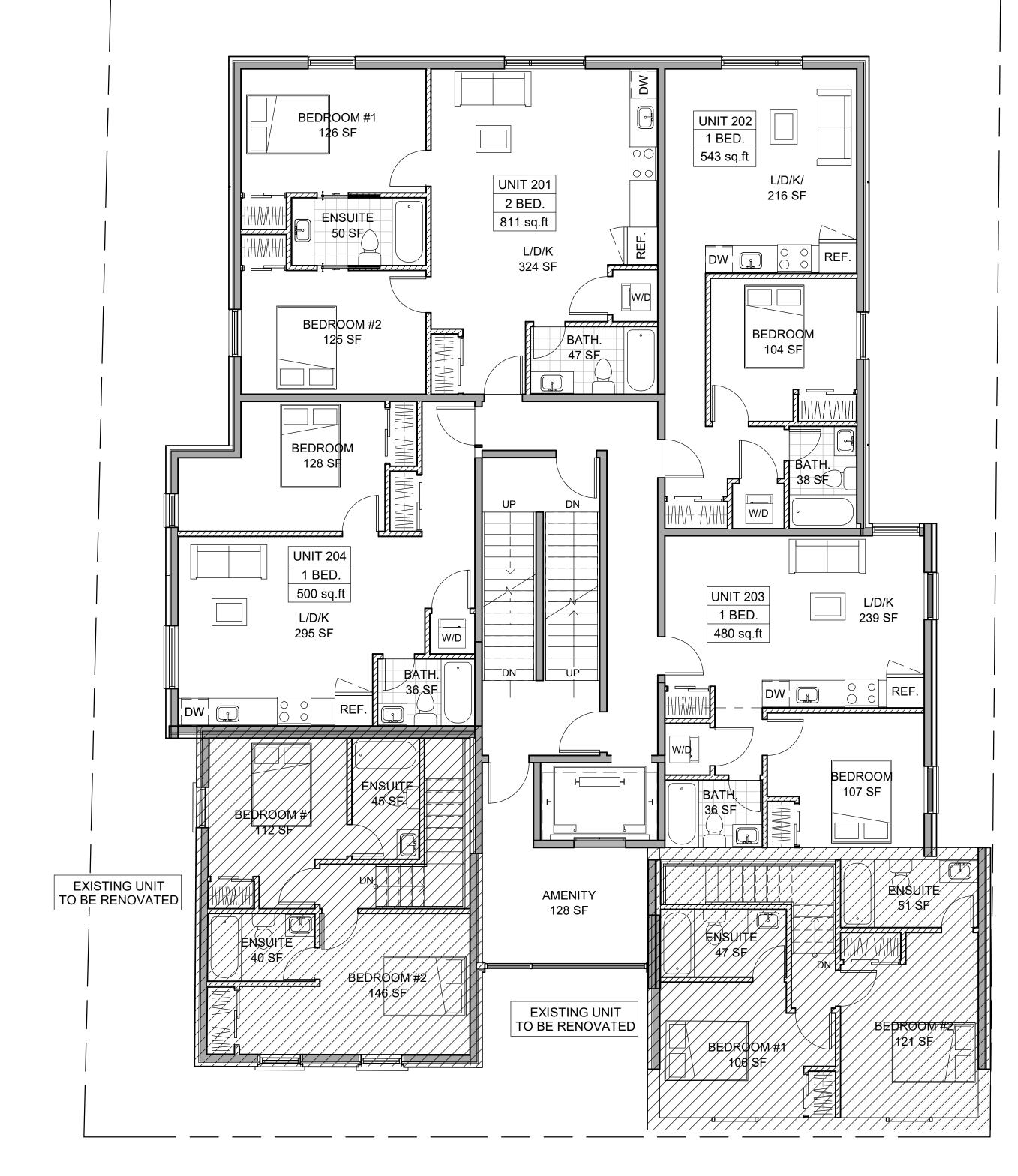
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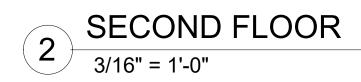
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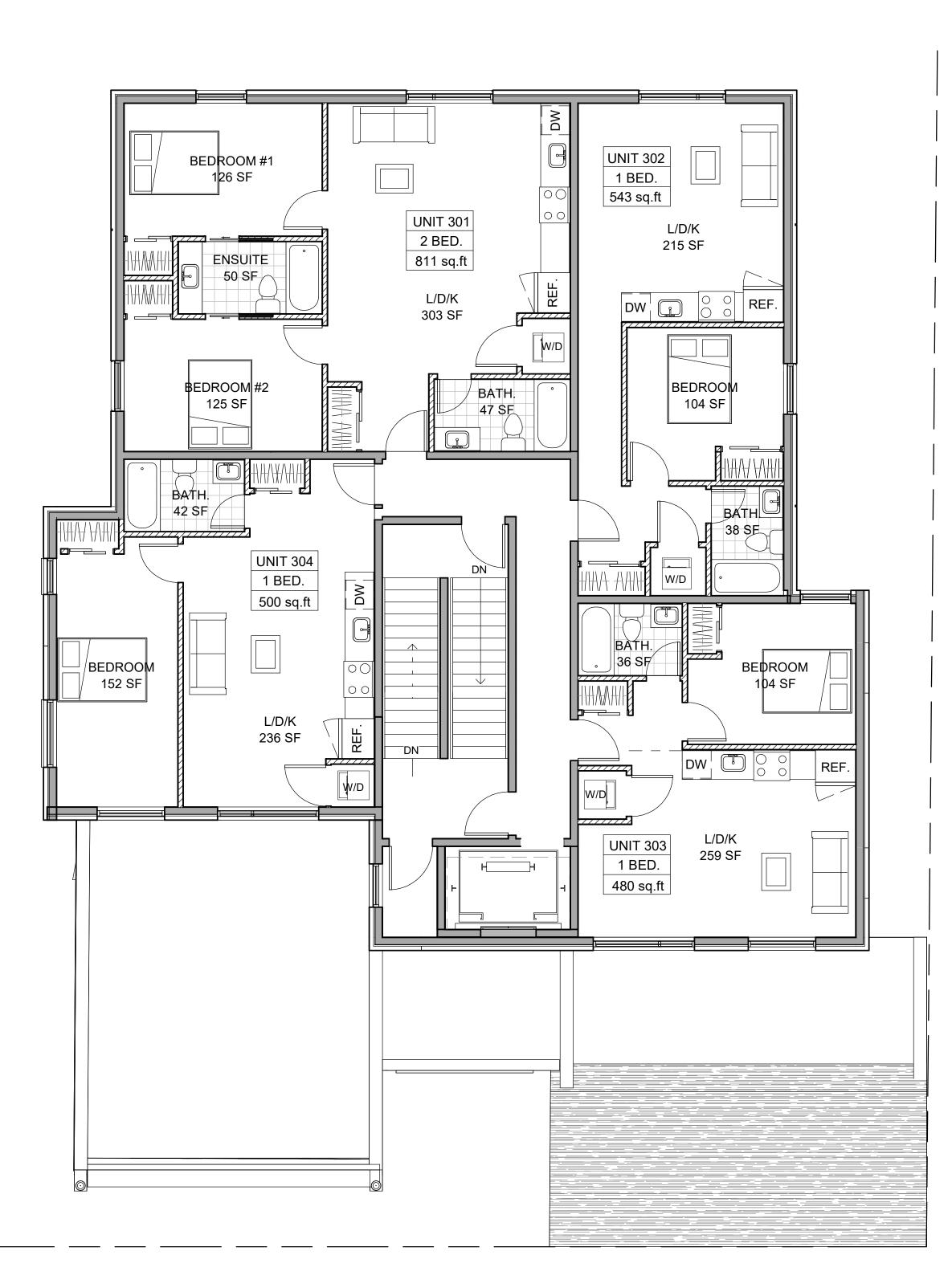
4 STOREY ADDITION TO TWO STOREY BUIL 168-174 MURRAY OTTAWA, ON K1N				
MECHANICAL - ELECTRICAL - 9 8 7 6 5 4 3 2 1 ISSUED FOR SPA NO. REVISION/ISSUE PROJECT: 168-174 MURRAY 0TTAWA, ON K1N				
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168-174 MURF 4 STOREY ADDITION TO TWO STOREY BUIL 168-174 MURRAY OTTAWA, ON K1N		DATE		
	168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST.			
FLOOR PLANS				

DRAWN BY: DATE::MAY 11, 2021 SCALE: AS NOTED

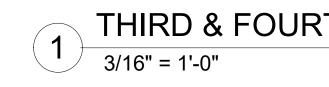












THIRD & FOURTH FLOORS

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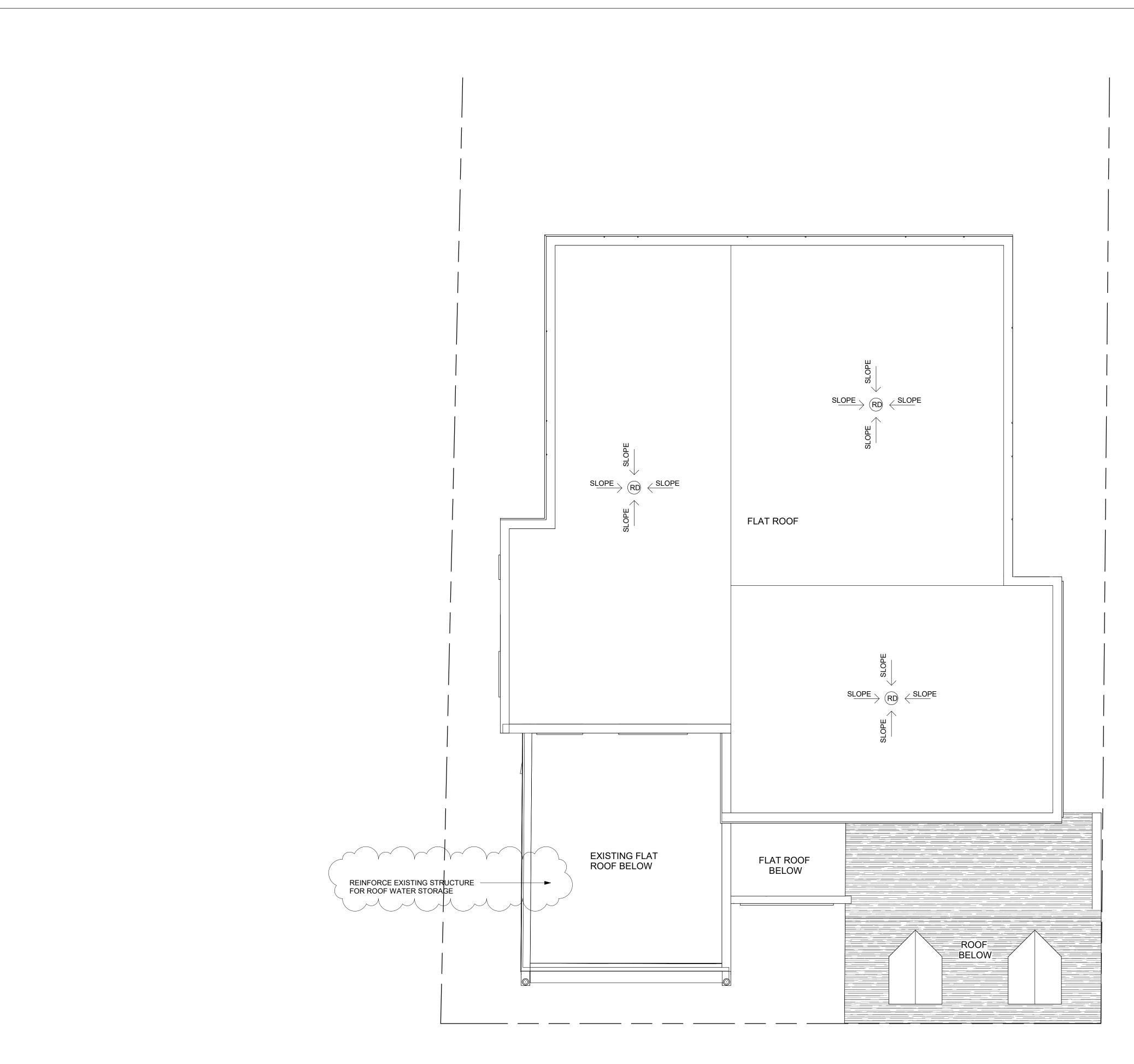
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PROJECT: 168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 5M8			
	FLOOR PLANS		

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1 ROOF 3/16" = 1'-0"

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GENERAL NOTES:



168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS

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