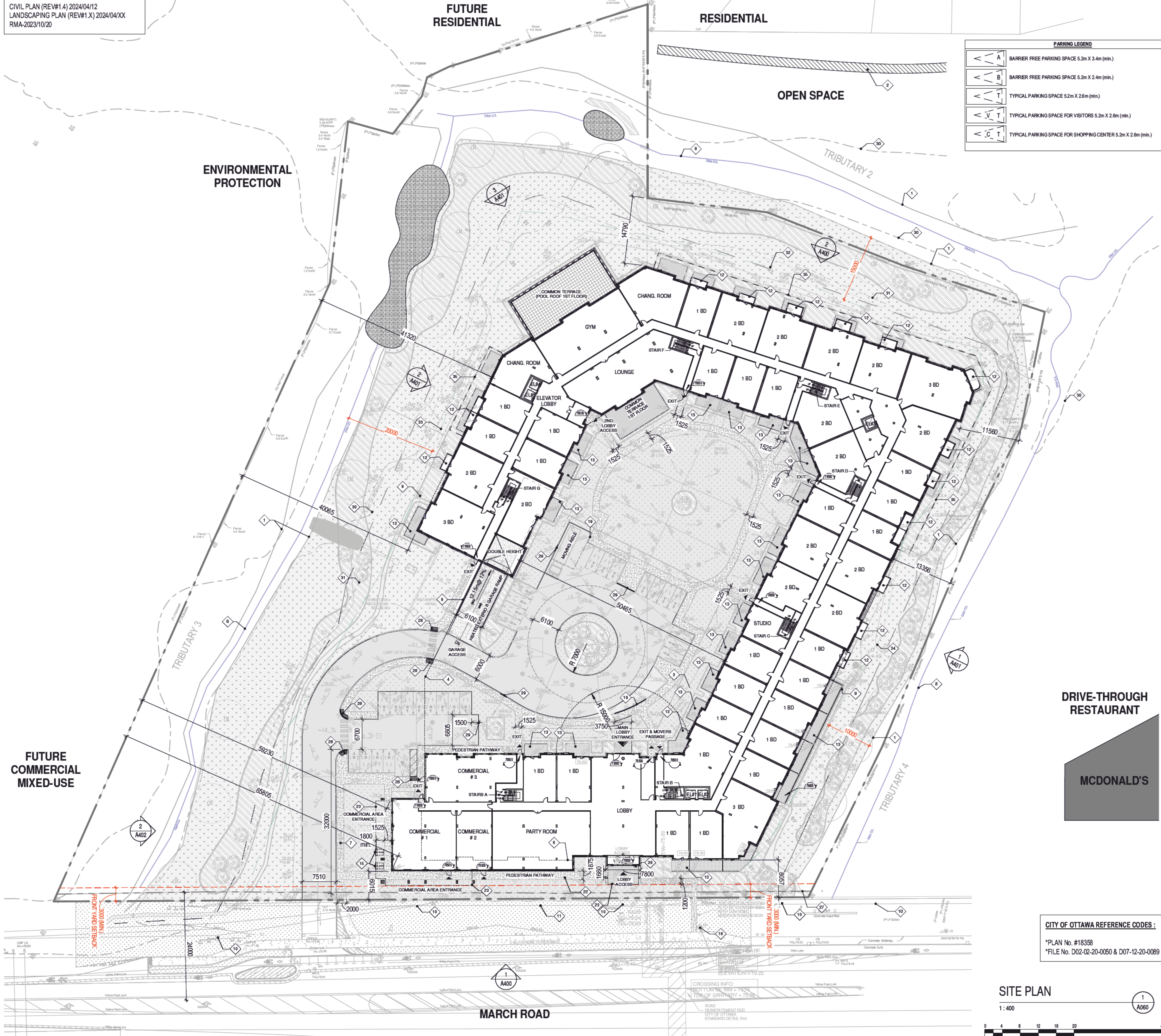


CIVIL PLAN (REV#1.4) 2024/04/12  
 LANDSCAPING PLAN (REV#1.X) 2024/04/XX  
 RMA-2023/10/20



**PARKING LEGEND**

	A BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
	B BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
	T TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
	V TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
	C TYPICAL PARKING SPACE FOR SHOPPING CENTER 5.2m X 2.6m (min.)

**NOTES LIST**

#	NOTE	DESCRIPTION
1	TOP OF SLOPE	
2	EXISTING MUNICIPAL SEWER	
3	EXISTING UTILITY POLE TO BE REMOVED	
4	UNDERGROUND PARKING P1 OUTLINE	
5	GROUND FLOOR OUTLINE	
6	2ND FLOOR - OUTLINE	
7	NEW SEWER	
8	WATER COURSE CENTERLINE	
9	RETAINING WALL	
10	EXISTING UTILITY POLE	
11	OVERHEAD WIRES	
12	PRIVATE BALCONY	
13	PRIVATE TERRACE	
14	BIKE RACK	
15	EXISTING FRENCH DRAIN	
16	P2 LEVEL - OUTLINE	
17	DEPRESSED CURB (REFER TO CIVIL)	
18	P1 LEVEL - OUTLINE	
19	COMMERCIAL TERRACE	
20	CANOPY PROFILE	
21	WATER TANK ACCESS	
22	PRE DEPARTMENT CONNECTION	
23	THE ROAD WEIR/WEIRBAYS	
24	TACTILE SURFACE INDICATORS REQUIRED DEPRESSED CURBS (TYPICAL REFER TO CIVIL)	
25	DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)	
26	1/100 FLOODPLAIN - MCA	
27	MEANDER BELT LIMIT	
28	15m FROM TOP OF SLOPE	
29	10m FROM CENTERLINE OF WATERCOURSE	
30	10m FROM TOP OF SLOPE	
31	ERTEC EXCLUSION FENCE PER ERS	

**LINE TYPE LEGEND**

	PROPERTY LINE
	REQUIRED SETBACKS

**SURFACE LEGEND**

	PAVING (ON-SLAB) LARGE PATO TILES
	CONCRETE PAVING
	STONE BALLAST ROOF
	TURF
	NATIVE SOIL / SEED MIX 1
	SEED MIX 2
	HEAVY DUTY PAVEMENT
	EXISTING BUILDING
	BARRIER FREE UNLOADING SPACE

**SITE STATISTICS**

LOT AREA	27 156 m <sup>2</sup>
FOOTPRINT	7 293 m <sup>2</sup>
CONSTRUCTION AREA ABOVE GROUND	44 758 m <sup>2</sup>
CONSTRUCTION AREA UNDERGROUND (BUILDING & PARKING)	30 352 m <sup>2</sup>
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	75 110 m <sup>2</sup>

**SITE STATISTICS AS PER ZONING BY-LAW**

GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	40 128 m <sup>2</sup>
RESIDENTIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	39 627 m <sup>2</sup>
COMMERCIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	501 m <sup>2</sup>

**910 MARCH ROAD - NUMBER OF UNITS**

FLOOR LEVEL	13 UNITS	42 UNITS
P1 PARKING LEVEL		
1ST FLOOR LEVEL - GROSS AREA		
2ND FLOOR LEVEL - GROSS AREA		
3RD FLOOR LEVEL - GROSS AREA		
4TH FLOOR LEVEL - GROSS AREA		
5TH FLOOR LEVEL - GROSS AREA		
6TH FLOOR LEVEL - GROSS AREA		
7TH FLOOR LEVEL - GROSS AREA		
8TH FLOOR LEVEL - GROSS AREA		
9TH FLOOR LEVEL - GROSS AREA		
TOTAL	390 UNITS	

**NUMBER OF PARKING SPACES**

1 Residents (parking space / dwelling unit)	390
Dwelling units in a mixed-use building, Area C or D	
0.2 Visitors (parking space / dwelling unit)	79
Commercial parking (3.4 X 100SQM REQ)	18
*THIS IS THE COUNT OF EXTERIOR PARKING	
<b>TOTAL PARKING REQUIRED</b>	<b>487 (MIN REQ)</b>
<b>TOTAL PARKING PROVIDED</b>	<b>568 (PROVIDED)</b>
INCLUDED BARRIER FREE PARKING	
MINIMUM BARRIER FREE PARKING REQUIRED	12
12 SPACES REQUIRED (6 TYPE A & 6 TYPE B)	

**910 MARCH ROAD**

CITY OTTAWA ZONING BY-LAW 2008-250  
 GM(XXX) H(32)  
 PROPOSED MID-RISE MIXED-USE DEVELOPMENT

ZONING PROVISION	REQUIRED	PROPOSED
GENERAL MIXED-USE ZONE PROVISIONS		
PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL
FRONT YARD SETBACK (MIN / MAX)	3 m	6 m
REAR YARD SETBACK (MIN)	7.5 m WHERE ABUTTING A RESIDENTIAL ZONE	> 7.5 m
INTERIOR SIDE YARD SETBACK (MIN)	5 m FOR MIXED USE BUILDING ABUTTING A RESIDENTIAL ZONE NO MINIMUM IN OTHER CASES	> 5 m
FLOOR SPACE INDEX (MAX)	2	11.5 m / 40 m
BUILDING HEIGHT (MAX)	32 m	32 m
LANDSCAPED AREA (MIN WIDTH ABUTTING A STREET)	3 m	6.01 m

**PARKING PROVISIONS (AREA C & AREA D)**

BICYCLE PARKING SPACES - RESIDENTIAL (MIN)	0.5 PER DWELLING UNIT	195
BICYCLE PARKING SPACES - NON-RESIDENTIAL (MIN)	1 PER 250 m <sup>2</sup> GFA RETAIL = 3	3
TOTAL PRIVATE AMENITY AREA (MIN)	6 m <sup>2</sup> PER DWELLING UNIT = 2 346 m <sup>2</sup>	2 346 m <sup>2</sup>
COMMUNAL AMENITY AREA (MIN)	50% OF REQUIRED TOTAL AMENITY ARE	1173 m <sup>2</sup>
WATERCOURSE SETBACK (MIN)	15 m TO TOP OF SLOPE 15 m FOR TRIBUTARIES 3 (NORTH) - 20 m TO CENTERLINE OF WATERCOURSE; 10 m FOR TRIBUTARY 4 (SOUTH); 10 m TO TOP OF SLOPE	15 m TO TOP OF SLOPE 15 m FOR TRIBUTARIES 3 (NORTH) 20 m TO CENTERLINE OF WATERCOURSE; 10 m FOR TRIBUTARY 4 (SOUTH) 10 m TO TOP OF SLOPE



**CITY OF OTTAWA REFERENCE CODES :**  
 \*PLAN No. #18358  
 \*FILE No. D02-02-20-0050 & D07-12-20-0089



**NOTES GÉNÉRALES / General Notes**

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**COMPANY NAME**  
**910 MARCH ROAD**

EMPLACEMENT Location NO PROJET No.  
**910 MARCH ROAD 12712.00**

DATE d'ouverture du projet / project start day (du.m.j)	2021.04.12
NO RELEASE	DATE (aa-mm-jj)
0	2023.01.28
1.A	2023.03.29
1.B	2023.03.22
1.7	2024.04.12

DESIGNÉ PAR Drawn by VÉRIFIÉ PAR Checked by  
 Z.S. K.P.  
 DATE (aa.mm.jj) ÉCHELLE Scale  
 24/04/12 As indicated

TITRE DU DESSIN Drawing Title  
**1ST FLOOR SITE PLAN**

PREVIOUS REVISION: 1.6  
 CURRENT REVISION: 1.7  
 REVISION Revision NO. DESSIN Dwg Number  
**1.7 A060**