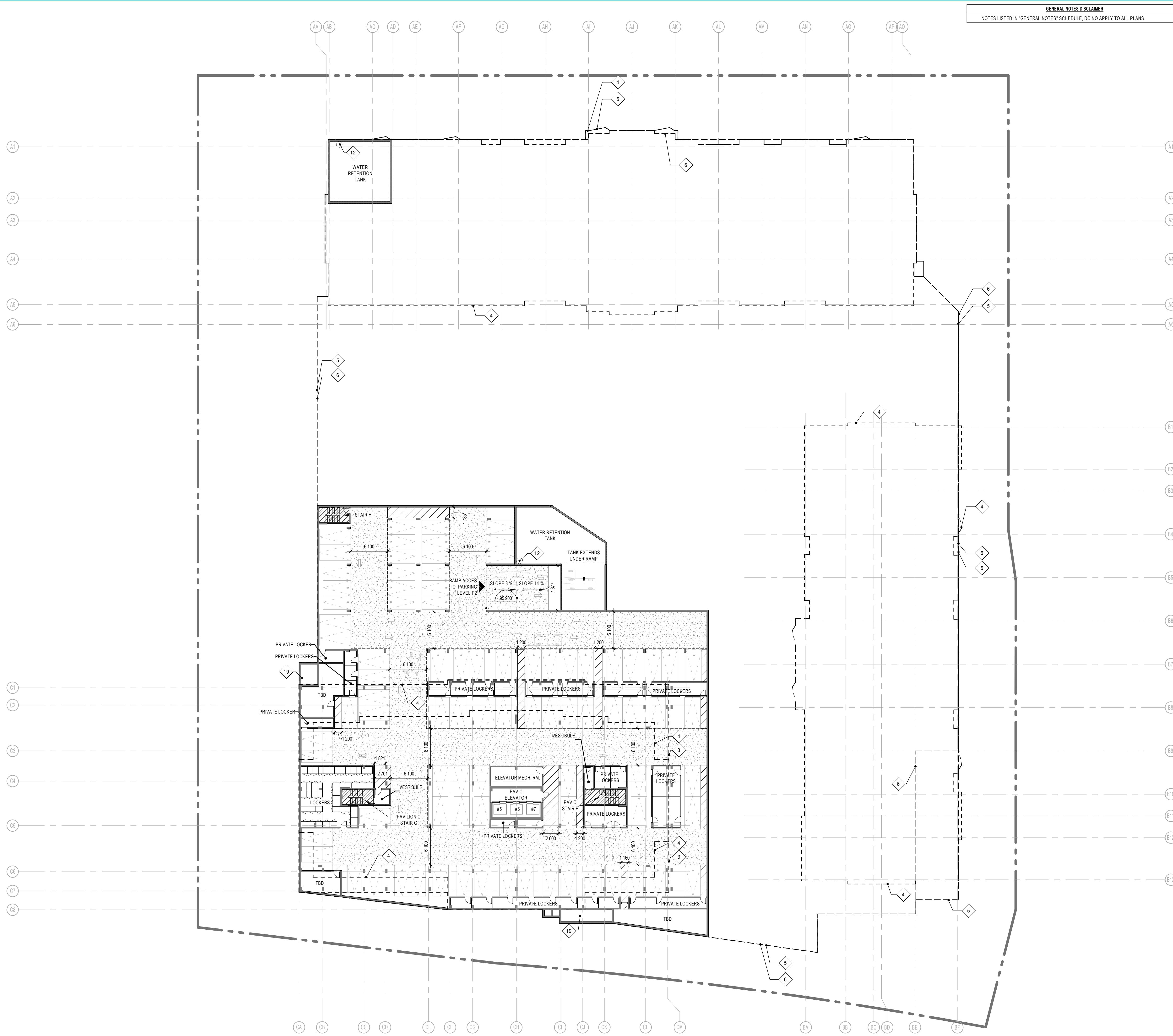


Autodesk Docs://11186\_RENE'S COURT/RENE'S COURTIENE'S COURT\_11186\_ARC\_PARK\_R22.MT



**GENERAL NOTES DISCLAIMER**  
NOTES LISTED IN "GENERAL NOTES" SCHEDULE, DO NOT APPLY TO ALL PLANS.

Type	DESCRIPTION
Note 1	RETAINING WALL (REFER TO CIVIL)
Note 2	HYDRO TRANSFORMER
Note 3	PAV C PODIUM OUTLINE ABOVE
Note 4	BUILDING OUTLINE ABOVE
Note 5	PARKING LEVEL P1 OUTLINE
Note 6	PARKING LEVEL P2 OUTLINE
Note 7	PARKING LEVEL P3 OUTLINE
Note 8	HYDRO POLE & OVERHEAD LINE
Note 9	HYDRO OTTAWA TOWER ON CONCRETE PAD
Note 10	METAL STAIRS & PATHWAY TOWARDS ADJACENT BLOCK WILL BE PROVIDED AT LATER STAGE IN THE FUTURE.
Note 11	BOLLARD
Note 12	WATER TANK OUTLINE BELOW & ACCESS HATCH W/ LADDER
Note 13	BIKE RACK (FRONT LOADING) SET BACK 1800 (MIN) FROM PATHWAY
Note 14	OUTLINE OF POOL
Note 15	MANHOLE / CATCH BASIN (REFER TO CIVIL)
Note 16	TRENCH DRAIN
Note 17	CONCRETE CURB (REFER STRUCT. ENG.)
Note 18	FIRE HYDRANT
Note 19	MECHANICAL SHAFT
Note 20	GARAGE DOOR - DOOR HEIGHT (2.1 MIN REQ.)
Note 21	GUARD RAIL (EXTERIOR AT PODIUM PARAPETS & RETAINING WALLS)
Note 22	SIAMSESE CONNECTION
Note 23	OIL GRIT SEPARATOR
Note 24	TRANSFER BEAM
Note 25	VEHICLE CIRCULATION ON PODIUM ABOVE
Note 26	DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)
Note 27	GROUND FLOOR BUILDING OUTLINE
Note 28	TACTILE WALKING SURFACE INDICATOR

**LINE TYPE & ACCESS LEGEND**

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LIMIT
- SETBACK LINE FOR HEIGHT LIMITS
- TRUNK SEWER
- P1 SLOPE SLAB (REFER TO CIVIL)
- MOUNTABLE CURB (REFER TO CIVIL)
- VEHICULAR ENTRY
- ACCESS TO BUILDING
- ACCESS TO COMMERCIAL
- EXITS
- FIRE ROUTE (ON PODIUM)
- NEIGHBOUR 330 PROPERTY LINE ON LIVERY STREET
- SWALE (REFER TO CIVIL)
- CIRCULATION ARROW

**SURFACE LEGEND**

- PAVERS STACKED PATTERN (UPPER TERRACE)
- PAVERS MODULAR PATTERN (PODIUM & GRADE)
- CONCRETE FINISH
- LIGHT DUTY ASPHALT PAVEMENT (REFER TO CIVIL)
- HEAVY ASPHALT DUTY PAVEMENT (REFER TO CIVIL)
- WOONERF PAVERS
- STONE BALLAST ON ROOF
- LANDSCAPING
- EXISTING BUILDINGS
- DEPRESSED CURB (REFER TO CIVIL)
- BARRIER FREE UNLOADING

**PLAN SYMBOL LEGEND**

- RAILING OR GUARDRAIL TYPE
- GENERAL NOTES
- WINDOW OR CURTAIN WALL TYPE
- WALL TYPE
- ROOF TYPE
- DOOR NUMBER
- ROOM NUMBER
- EXTERIOR MATERIAL TYPE
- CIVIL DRAINS

**ROOF ASSEMBLIES**  
REFER TO ASSEMBLIES SCHEDULE A800 FOR ROOF TYPES

**BIKE RACK LEGEND**

- F.M.S. - FLOOR MOUNTED SINGLE - 600 x 1800
- F.M.D. - FLOOR MOUNTED DOUBLE - 600 x 1800
- W.M.S. - WALL MOUNTED SINGLE - 500 x 1500

	Count
P1 PARKING LEVEL PAV A	
LC-Bicycle Rack - F.M.D.	61
LC-Bicycle Rack - F.M.S.	4
LC-Bicycle Rack - No Rack	61
LC-Bicycle Rack - W.M.S.	126
<b>GRAND TOTAL:</b>	<b>252</b>

	Count
P3 PARKING LEVEL PAV B & C	
Single Tier Locker	41
P2 PARKING LEVEL PAV B & C	
Single Tier Locker	336
P1 PARKING LEVEL PAV A	
Single Tier Locker	128
<b>GRAND TOTAL:</b>	<b>504</b>

	Count
P3 PARKING LEVEL PAV B & C	
Private Locker	51
P2 PARKING LEVEL PAV B & C	
Private Locker	110
P1 PARKING LEVEL PAV A	
Private Locker	66
<b>GRAND TOTAL:</b>	<b>227</b>

**PARKING LEGEND**

- BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
- BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
- TYPICAL PARKING FOR VISITORS 5.2m X 2.6m (min.)
- COMMERCIAL BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
- TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
- SMALL CAR PARKING SPACE 4.6m X 2.4m (min.)
- COMMERCIAL TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
- ZONE WITH A CLEAR HEIGHT OF 2300mm min.
- PEDESTRIAN TRAFFIC
- DRIVING AISLE IN GARAGE.
- ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND THUS CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL SERVICES NOT SERVICING THE EXIT

	COUNT
P3 PARKING LEVEL PAV B & C	
STANDARD SMALL: 2400x4600	19
STANDARD: 2600x5200	66
P2 PARKING LEVEL PAV B & C	
STANDARD SMALL: 2400x4600	39
STANDARD: 2600x5200	268
P1 PARKING LEVEL PAV A	
BARRIER FREE PARKING: 2400mmx5200mm	8
BARRIER FREE PARKING: 3400mmx5200mm	7
STANDARD SMALL: 2400x4600	28
STANDARD: 2600x5200	108
STANDARD: 2600x5200 - VISITORS	101
GROUND FLOOR LEVEL PAV B	
BARRIER FREE PARKING: 2400mmx5200mm - VISITORS COMMERCIAL	6
STANDARD COMMERCIAL: 2600x5200 - VISITORS COMMERCIAL	3
<b>GRAND TOTAL:</b>	<b>651</b>

**NOTES GÉNÉRALES - General Notes**

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. The dimensions on these documents must be read and not measured.

**ARCHITECTES Architect**  
**NEUF architect(e)s** SENCRL  
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6  
T 514 847 1117 NEUFarchitectes.com

**ARCHITECTE PAYSAGER Landscape Architect**  
**Gino J. Aiello Landscape Architect**  
110 Denison Street Unit #9 Ottawa K1Z 1C2  
T 813 852 1343

**CIVIL Civil**  
**NOVATECH**  
240 Michael Coopers Drive, Suite 200, Ottawa, ON, K2M1P6  
T 613 224 9643

**INGÉNIEUR MÉCANIQUE Mechanical Engineer**  
**NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN**  
555 Leggat Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3  
T 613 224 2761 Fax 613 951 0586

**INGÉNIEUR EN STRUCTURE Structural Engineer**  
**CIMA+**  
740, rue Notre-Dame O., Montréal, QC H3C 3X6  
T 514 337 2462

**URBANISTE Urban Planner**  
**FOTENN**  
386 Cooper St. Suite 300, Ottawa ON, K2P 2H7  
T 613 730 5709

**SCEAU / Seal**



**NEUF ARCHITECT(E)S**

NEUF ARCHITECTES SENCRL

**CLIENT Client**

**LÉPINE**  
206-555 Leggat Dr., Tower A, Ottawa, ON K2K 2X3  
T 613 591 9090 F 613 591 9095

**COMPANY NAME**  
FERNBANK APARTMENTS INC.

**RENÉS COURT**  
EMPLACEMENT Location NO PROJET No. 11186  
5000 Robert Grant Avenue OTTAWA

DATE d'ouverture du projet / project start date (aa.mm.jj) 17.10.20  
NO RELEASE DATE (aa-mm-jj)

1.A. ISSUED FOR PHASE 1 PRE-CONSULTATION 2023-08-09  
1.B. ISSUED FOR PHASE 3 PRE-CONSULTATION 2023-10-27

DESSIN PAR Drawn by C.I. & A.W. VÉRIFIÉ PAR Checked by K.P.  
DATE (aa.mm.jj) 24/02/26 ÉCHELLE Scale As indicated  
TITRE DU DESSIN Drawing Title

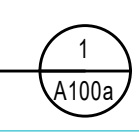
**FLOOR PLAN - P3 LEVEL PARKING**

PREVIOUS REVISION: 1.1  
CURRENT REVISION: 1.2  
REVISION Revision NO. DESSIN Dwg Number

**1.2 A100a**

**P3 PARKING LEVEL**

1:300



GRAPHIC SCALE: 1:300