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Greystone Village – Phase 5
295 - 355 Deschâtelets Avenue

Urban Design Brief

October 2024

Revised: November 2024

Prepared for: eQ Homes Inc.

Engineering excellence.

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Greystone Village – Phase 5

Forecourt Blocks

295 - 355 Deschâtelets Avenue

Ottawa, Ontario

Urban Design Brief

in support of

**Minor Zoning By-law Amendment
and Site Plan Control Applications**

Prepared For:

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Prepared By:

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Ref: R-2024-099

November 29, 2024

City of Ottawa
Planning, Real Estate and Economic Development Department
110 Laurier Avenue West, 4th Floor
Ottawa, ON, K1P 1J1

**Attention: Jack Smith, Planner II, Development Review, Central
Ann O'Connor, Planner III, Development Review, Central**

**Reference: Minor Zoning By-law Amendment and Site Plan Control Applications
Greystone Village – 295 and 355 Deschâtelets Avenue
Our File No.: 114025-5**

The following Urban Design Brief has been prepared in support of Minor Zoning By-law Amendment and Site Plan Control applications to facilitate the development of the property at 295-355 Deschâtelets Avenue (the "Subject Property").

This Urban Design Brief examines the location and context of the Subject Property, the applicable planning policy and regulatory framework and provides justification in support of the proposed building design. The Urban Design Brief concludes with recommendations for the site-specific Zoning By-law Amendment required to facilitate the proposed development on the Subject Property.

Should you have any questions regarding any aspect of these applications please feel free to contact me at your earliest convenience.

Yours truly,

NOVATECH



Jeffrey Kelly, MCIP RPP
Project Manager | Planning & Development

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1.0 SECTION 1

1.1 Application Submission

1.1.1 Introduction

This Design Brief has been prepared in support of Minor Zoning By-law Amendment and Site Plan Control applications to permit development of semi-detached and townhouse dwellings on the property municipally known as 295-355 Deschâtelets Avenue (the “Subject Property”). The proposed development comprises a total of 30 principal dwelling units on the Subject Property on two separate blocks (Block 28 and Block 29). Block 28 will contain a total of 8 semi-detached and 8 townhouse dwelling units. Block 29 will contain a total of 10 semi-detached and 4 townhouse dwelling units. Motor vehicle parking is provided for the proposed development off Des Oblats Avenue and Deschâtelets Avenue via internal car courts between the proposed buildings. Each building is designed with frontage along the perimeter of the Subject Property providing access to the public realm. Walkways provide direct access to dwelling units from Des Oblats Avenue, Deschâtelets Avenue, the grand allée and forecourt park. The proposed development will require modifications to site grading, drainage and landscaping on the property.

The Subject Property is within the Inner Urban Transect and is designated Neighbourhood on Schedule B2 of the City of Ottawa Official Plan. The Subject Property is located within the Evolving Neighbourhood Overlay. The Subject Property is designated Neighbourhood Low-Rise on Schedule A of the Old Ottawa East Secondary Plan. The Subject Property is located within the Evolving Neighbourhood Overlay. The Subject Property is zoned Residential Third Density, Subzone Q, Urban Exception 2306 (R3Q [2306]) and is located within the Mature Neighbourhoods Overlay in the City of Ottawa’s Zoning By-law 2008-250.

1.1.2 Project Description (Design Intent)

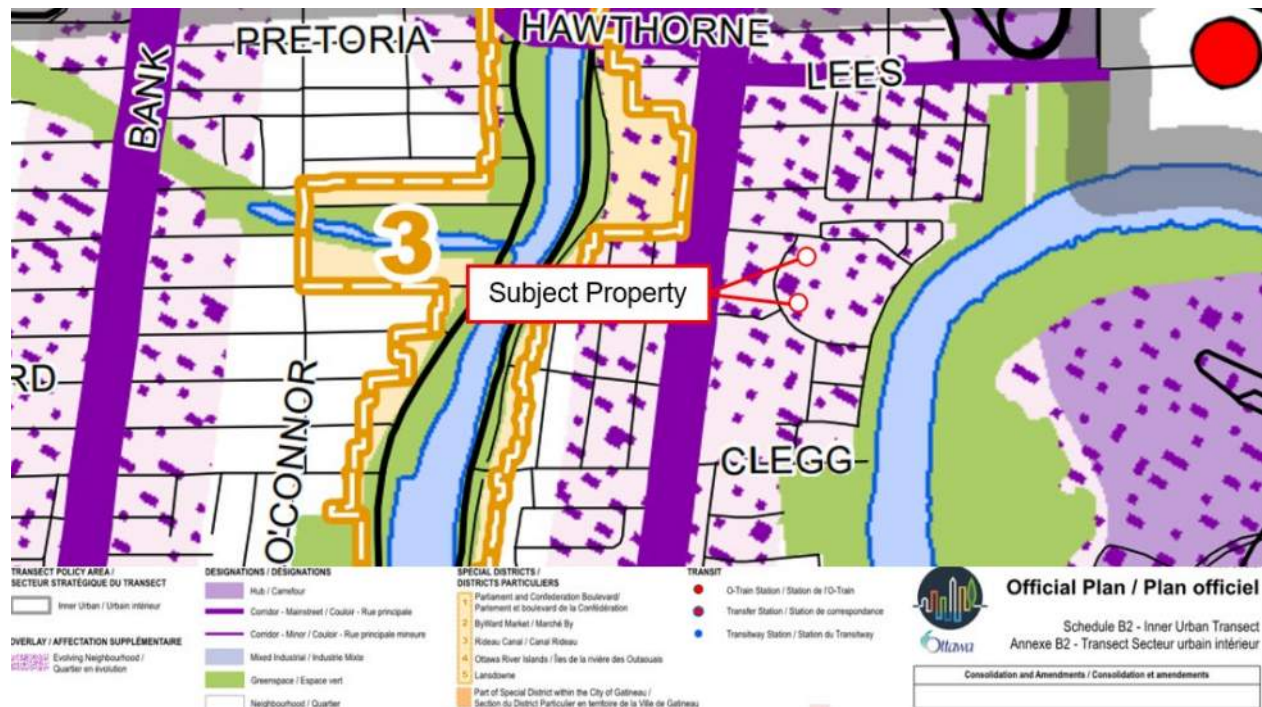
The Forecourt development seeks to celebrate and maintain the historical semi-circular nature of Deschâtelets Avenue and the Forecourt Park fronting the Deschâtelets building. The individual housing blocks, landscaping and walkways within the development are arrayed along and take cues from this curve. Each are oriented towards the center of the Deschâtelets building, preserving restoring and enhancing the semi-circular landscape and of the Forecourt Park.

The development activates along the entire perimeter of the property and provides unique experiences along each Deschâtelets Avenue, the Grand Allée, and the Forecourt Park. Along Deschâtelets Avenue, newly planted street trees animate the foreground of the streetscape, while 8 dwelling units fronting on the street define a built street edge and enclose the park beyond. In between these units, the shared car courts act as permeations in the built form, preserving views of the Deschâtelets building along Deschâtelets Avenue. Visual and physical connections to the park and perimeter walkways are enhanced and maintained. Along the Grand allée, dividing the two sites, the design of the six fronting townhome units are intended to speak to the formal landscape of the Forecourt Plaza and are provided front-door access from the perimeter walkways. Great care was taken when configuring the footprint of these blocks to accommodate the critical root zones of the heritage trees near the intersection of the Grand allée with the Forecourt Park. Within the Forecourt Park, the 16 fronting units of the two blocks each face the center of the Deschâtelets building and play homage to the site’s Forecourt semi circular historical significance. In addition, stone portal archways supporting second floor balconies of every block define each entrance and are orientated in a semi-circular arrangement to compliment the curvature of the site.

1.2 Response to City Documents

1.2.1 Scope

Figure 1: Official Plan Schedule B2 Excerpt



The Subject Property is designated “Neighbourhood” and “Evolving Neighbourhood Overlay” in the Inner Urban Transect on Schedule B2 of the Official Plan (see Figure 1).

Section 5.2 of the Official Plan sets out general policies and guidance for proposed development within the Inner Urban Transect.

Section 5.2.4, Policy 1 of the Official Plan states that:

“1) Neighbourhoods located in the Inner Urban area and within a short walking distance of Hubs and Corridors shall accommodate residential growth to meet the Growth Management Framework as outlined in Subsection 3.2, Table 3b. The Zoning By-law shall implement the density thresholds in a manner which adheres to the built form requirements as described in Subsection 5.6.1, as applicable and that:

- a) *Allows and supports a wide variety of housing types with a focus on missing-middle housing, which may include new housing types that are currently not contemplated in this Plan;*
- b) *The application of Zoning By-law development standards to be applied as one lot for zoning purposes to support missing middle housing;*
- c) *Provides for a low-rise built form, by requiring in Zoning a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, will allow a built height of up to 4 storeys to permit higher-density low-rise residential development;*

- d) *Provides an emphasis on regulating the maximum built form envelope that frames the public right of way rather than unit count or lot configuration; and*
- e) *In appropriate locations, to support the production of missing middle housing, lower density typologies may be prohibited.”*

The Subject Property is designated Neighbourhood on Schedule B2 of the Official Plan. Main Street is designated as a Mainstreet Corridor and is located within 200 metres walking distance of the Subject Property. The proposed semi-detached and townhouse dwellings are an example of missing middle housing that will be developed as a planned unit development oriented to front on and frame Des Oblats Avenue, Deschâtelets Avenue the grand allée and forecourt park. The proposed land use and built form on the Subject Property would be supported by policies of the Official Plan.

Section 5.6.1.1, Policy 1 of the Official Plan states that:

“1) The Evolving Overlay will apply to areas that are in a location or at stage of evolution that create the opportunity to achieve an urban form in terms of use, density, built form and site design. These areas are proximate to the boundaries of Hubs and Corridors as shown in the B-series of schedules of this Plan. The Evolving Overlay will be applied generally to the properties that have a lot line along a Minor Corridor; lands 150 meters from the boundary of a Hub or Mainstreet designation; and to lands within a 400-metre radius of a rapid transit station. The Overlay is intended to provide opportunities that allow the City to reach the goals of its Growth Management Framework for intensification through the Zoning By-law, by providing:

- a) *Guidance for a gradual change in character based on proximity to Hubs and Corridors,*
- b) *Allowance for new building forms and typologies, such as missing middle housing;*
- c) *Direction to built form and site design that support an evolution towards more urban built form patterns and applicable transportation mode share goals; and*
- d) *Direction to govern the evaluation of development.*

The Subject Property is suitable for intensification being located within 200 metres from the Main Street Corridor. The proposed development of semi-detached and townhouse dwellings on the Subject Property is consistent with City objectives to establish a more urban community character and to create opportunities for infill and intensification within walking distance of bus stops providing connections to rapid transit and active transportation routes in the Inner Urban Transect.

1.3 Responses to Comments from Pre-Application Consultations

The following section provides detailed responses to comments regarding Urban Design provided at pre-application consultation meetings that took place on September 19th, 2023 and May 29, 2024.

| Urban Design Comments | Response |
|---|---|
| <i>Views of car courts - prevent looking like back of house. We recommend the design of these spaces work to reflect a similar quality that the outer building faces will have.</i> | The car court facing elevations of all blocks were designed to the same level of care and quality as the outer building faces in terms of aesthetic and material selections. Feature copper panel and bay windows are utilized on car court facing elevations to animate the courts. |
| <i>Narrow space between A2 & C – this tight and awkward space may limit the quality of material and amount of glazing opportunity possible. We recommend connecting the massing if possible.</i> | This space is invaluable for locating utility metering equipment and mechanical exhausts so that they are out of view from the street. The space additionally lends itself to house required garbage and recycling enclosures so that they are out of sight. The existence of the gap also allows A2 and C blocks to have windows on three sides, rather than two, on the third floors. |
| <i>Outdoor amenity location? How to design to provide positive public/private relationship. We recommend raising the outdoor patios by two of three risers to further differentiate.</i> | Outdoor amenity location has been provided in the form of second floor balconies at all units, and ground floor terraces at A and C units. The ground floor terraces are between one and three risers above adjacent grade and feature a landscape buffer, separating them from circulation beyond. Additionally, these terraces feature sizable stone piers on public facing sides and create a opaque elements which provide additional privacy. |
| <i>The previous curved forms illustrated in the master plan have now been lost. We recommend additional design features along the curved park edge to further reinforce the intention of a curved inner built form using low walls, architectural features or other 3-dimensional elements.</i> | While no longer a curved building, the individual structures have been arranged along the curve of Deschâtelets and feature radially arranged perforations through the massing to increase connectivity to the interior park and to frame views of the Deschâtelets building. Street trees along Deschâtelets further support the curvature along the street front. Feature stone piers have been added to support second floor balconies facing Deschâtelets and the forecourt park. The stone piers create a rhythm which reinforces the curvature of the site. Additionally, all landscape paths and planting areas are arrayed around the center of the semicircular forecourt and utilize the curvature of the site to guide their form. |

1.4 Context Plan

Figure 2. Surrounding Context



The Subject Property is located within the Old Ottawa East neighbourhood. Immediately to the north of the Subject Property is a Des Oblats Avenue. To the north across Des Oblats Avenue, the majority of lands are comprised of low-rise residential buildings. Several parks, places of worship, schools and community centres are located further to the north, south and west of the Subject Property (see Figure 2). To the east of the Subject Property is the heritage designated forecourt park and Deschâtelets Building. To the west of the Subject Property are recently constructed mid-rise residential buildings and the grand allée connecting to Main Street. Further to the west along Main Street, a broad range of uses including residential, institutional, places of worship, commercial and retail characterize the corridor. St. Paul University is located to the south of the Subject Property. The University of Ottawa Lees Campus is located to the northeast of the Subject Property along the Rideau River.

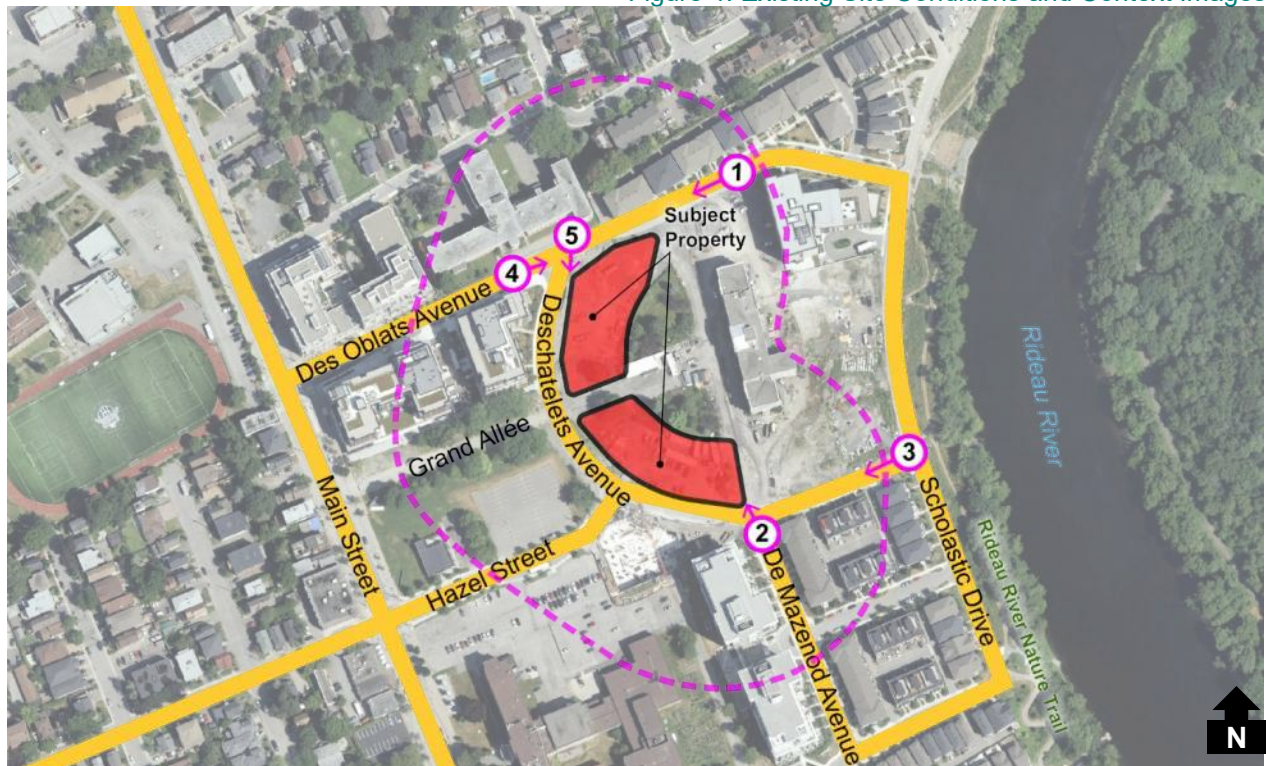
Figure 3. Context (100m Radius)



Immediately to the east of the Subject Property is the forecourt park and Deschâtelets Building (see Figure 3). Further to the east is the Rideau River Nature Trail and Rideau River. To the south of the Subject Property is Hazel Street. To the west along Main Street are a mix of retail, restaurant, and commercial uses, schools, recreational uses and places of worship. North and south of the Subject Property is predominantly characterized by a mix of low to mid-rise residential uses.

The Greystone Village neighbourhood is pedestrian and cyclist-oriented and has direct connections throughout the community to a range of local transit options. Bus transportation routes are located along Hazel Street, Des Oblats Avenue and Main Street. The Subject Property is located within a 15 minute walk of the Lees O-Train station providing access to rapid transit within walking distance of the Subject Property.

Figure 4. Existing Site Conditions and Context Images



Existing Architectural Context

The architectural context of buildings located to the north of the Subject Property across Des Oblats Avenue are low rise and are generally oriented to the street. A low to mid-rise built form context is present along Deschâtelets Avenue to the east and west of the Subject Property.

The local streets within the surrounding neighbourhood comprise an existing low to mid-rise residential forms with single detached, semi-detached, and townhouses. Several multi unit mid-rise residential building forms have been recently constructed. Buildings located within 100m radius of the Subject Property are consistent with the form and scale of the proposed development.

The proposed development is designed with an appropriate scale and architectural style to fit within the low to mid-rise context with well-designed, contemporary building materials and architectural features.

Please see Figure 4 and the images attached below for reference.



Image 1: Recently Constructed Low to mid-rise development along Des Oblats Avenue (looking west)



Image 2: Recently Constructed Multi-Unit, Mid-rise and Low-rise residential along De Mazenod Avenue



Image 3: Recently constructed Low-rise residential further east along Deschâtelets Avenue



Image 4: Low to Mid-rise residential uses along Des Oblats Avenue (looking east toward Subject Property)



Image 5: Mid-rise development at Des Oblats Avenue and Deschâtelets Avenue intersection (looking south)

2.0 SECTION 2

Section 4.6 of the Official Plan sets out direction for urban design throughout the City. This Design Brief draws from the policies of the relevant sections of the Official Plan.

The following section provides a review of relevant policies regarding the proposed building design and provides design justification in support of the development of a mix of semi-detached and townhouse dwellings on the Subject Property.

2.1 Views

Figure 5. Aerial View from forecourt park Looking West



Figure 6. Townhouse View from Grand Allée Looking North



Figure 7. View from Forecourt Park Looking North



2.2 Grading

Grading is not an issue on the Subject Property. The planned topography has a minor slope of 0.5m along the west property line and a minor slope of 0.5m along the east property line from north to south. There is a slope of 1.4m running along the front property line for a length of approximately 250 metres abutting Des Oblats Avenue, Deschâtelets Avenue and the forecourt park.

2.3 Streetscape (Public Realm)

Figure 8. Streetscape view looking South from Des Oblates Avenue



The proposed development responds to the existing and planned scale envisioned for the surrounding context through an appropriate setback and façade design for each building along the perimeter of each block resulting in a continuous frontage that frames the street, improves pedestrian access and interfaces well with the public realm (see Figure 8). A landscaped private walkway lines the grand allée and forecourt park providing connection to internal car courts and front door access to dwelling units fronting on the parks. A range of three-storey semi-detached and townhouse buildings provide an appropriate scale of development that is compatible with existing low to mid-rise buildings to the north, east, west and south of the Subject Property.

2.4 Relationship to Public Realm

Please refer to Section 2.5 – Plans and Elevations (Building Design) for further descriptions regarding the relationship between the proposed building and the public realm along Des Oblats Avenue, Deschâtelets Avenue and the forecourt park.

2.5 Plans and Elevations (Building Design)

Figure 9. Streetscape View Front Elevation



The Official Plan includes policies to improve the quality and safety of the public realm and proposed development on sites throughout the City. Policies 3 and 4 of Section 4.6.5 state that:

“3) Development shall minimize conflict between vehicles and pedestrians and improve the attractiveness of the public realm by internalizing all servicing, loading areas, mechanical equipment and utilities into the design of the building, and by accommodating space on the site for trees, where possible. Shared service areas, and accesses should be used to limit interruptions along sidewalks. Where underground parking is not viable, surface parking must be visually screened from the public realm.”

and;

“4) Development shall demonstrate universal accessibility, in accordance with the City’s Accessibility Design Standards. Designing universally accessible places ensures that the built environment addresses the needs of diverse users and provides a healthy, equitable and inclusive environment.”

All semi detached and townhouse dwellings on the site are single family homes complete with porches, landings and steps (see Figure 9). Landscaped private walkways provide access to principal entrances for private dwellings facing the grand allée or forecourt park. Each walkway is 1.2m wide to emphasize its private use. Direct, barrier-free pedestrian connections around the Subject Property are provided by the public sidewalk along Des Oblats Avenue and Deschâtelets Avenue and through a planned extension of the grand allée into the forecourt park. Individual garages for each dwelling unit are provided via shared internal car courts accessed off Des Oblats Avenue and Deschâtelets Avenue. Bicycle parking is provided in garages accordingly. Access is provided from Des Oblats Avenue and Deschâtelets Avenue to entrances and landscaped private

walkways. Providing consolidated vehicle access points to the property that are separated from principal entrances reduces potential conflicts and improves the safety, accessibility, and movement of pedestrians to and from the Subject Property.

The Official Plan recognizes the importance that building design can have on ensuring intensification remains compatible with the existing context.

Built Form Context & Building Materials

Policy 7 of Section 4.6.6 states that:

“6) Low-rise buildings shall be designed to respond to context, and transect area policies, and shall include areas for soft landscaping, main entrances at-grade, front porches or balconies, where appropriate. Buildings shall integrate architecturally to complement the surrounding context.”

Greystone village has experienced a transition to higher density, low to mid-rise built forms surrounding the Subject Property. The level of density proposed on the Subject Property is intended to complement the heritage designated forecourt of the Deschâtelets building with a low-rise built form. The proposed development of a variety of semi-detached and townhouse dwellings is designed to complement the existing character of the neighbourhood and buildings surrounding the Subject Property and to provide an appropriate scale in transition to recently constructed higher density, mid-rise development to the west across Deschâtelets Avenue.

The proposed development is designed to complement existing buildings abutting the Subject Property with each pair of semi-detached dwellings arranged to front on the street or Forecourt Park respectively. Each row of townhouse dwellings is arranged to front directly on the grand allée or Forecourt Park. The townhouse and semi-detached dwelling modules are designed to reference the width and scale of existing buildings in the surrounding community. The townhouse modules are also designed to accommodate the existing heritage trees at the end of the Grand Allee. Gaps between the residential blocks allow for discrete shared “car court” access between buildings to private garages. These gaps also provide lines of site through the development for a more connected and open feel. A variation in materials and horizontal divisions are provided by a brick base and transitioning to metal/copper panel and wood siding at the top of each building. The proposed development is designed to be compatible with low to mid-rise developments located along Des Oblats Avenue, Deschâtelets Avenue and De Mazenod Avenue.

The proposed building materials for each building facing Des Oblats Avenue and Deschâtelets Avenue primarily comprise a classic grey brick, large format grey stone masonry, charcoal wood siding and dark grey coloured metal panelling that are appropriate for the existing neighbourhood context. Copper paneling is used as an accent material across the development. A contemporary rhythm of black windows with horizontal mullions, front-facing glass and metal railing balconies, textured brick/stone masonry and concrete details at grade level are complemented by use of metal/copper panel cladding and wood siding set within recessed portions of the façade, surrounding windows and at the upper level are compatible with the design of existing low-rise buildings in the area.

Figure 10. Forecourt Park View Front Elevation



The proposed development is designed with the principal building façades and walkways to main entrances oriented to Des Oblats Avenue, Deschâtelets Avenue, the grand allée and forecourt park (see Figure 10). Soft landscaping bordering the interlock walkway to main entrances, front facing porches, and internal car courts are designed to be aesthetically pleasing and provide natural features to the development. The principal building façades comprise a high-quality material treatment where the building interfaces with abutting properties and toward the public realm (see Figure 10). The proposed buildings each provide a well-articulated combination of classic, contemporary materials such as glass, brick, stone masonry, wood siding and metal/copper panel along the principal façade to fit with existing built form surrounding the Subject Property. Strategically placed recesses and covered balcony projections clad in large format stone masonry are used to accent building entrances and grade level amenity spaces, create visual breaks in the façade along each frontage and achieve a design aesthetic that is compatible with existing characteristics of the surrounding community.

The proposed development establishes a transit-supportive level of density within walking distance of Lees O-Train station and transit stops along the local transit network on Main Street. The proposed development will fit within the existing and planned residential context surrounding the Subject Property. The proposed development of semi-detached and townhouse dwellings on the Subject Property is appropriate for the existing site and surrounding context and will not cause undue adverse impacts on abutting properties.

2.6 Sustainability

The Official Plan strives to include innovative and sustainable design practices on sites throughout the City. Policy 1 of Section 4.6.4 states:

“1) Innovative, sustainable and resilient design practices and technologies in site

planning and building design will be supported by the High-performance Development Standard, which will apply to site plans, draft plans of subdivision and local plans in accordance with Subsection 11.1, Policy 3). The Standard addresses matters of exterior sustainable design and will align urban design with climate change mitigation and adaptation goals and objectives.”

Figure 11. View From Forecourt Park Looking West



The proposed buildings are designed to fit within the context of existing buildings surrounding the subject property and harmonize with the architecture of the Deschâtelets building (see Figure 11).

The dwelling units within each residential block have either a park or street orientation and follow the unique radial pattern of the site. Each townhouse has features which include large operable windows to allow natural light and fresh air for residents. At each front yard, covered terraces and second floor balconies introduce shading while providing outdoor amenity areas. New and existing trees will also provide shading, while water efficient landscaping, native and adaptive vegetation will contribute to the site's sustainability objectives.

Energy efficient mechanical systems and lighting along with Energy Star appliances are incorporated into each building design. High levels of insulation, water efficient plumbing fixtures, energy efficient windows & resilient building materials are also included. Waste management and the use of recycled materials will also be explored. This use of environmentally responsible measures and sustainable building practices will meet energy targets and high performance design standards.

Across the Greystone development, sustainability is promoted by encouraging more active and sustainable modes of transportation. While individual parking garages for motor vehicles are being provided, residents of this development will be able to conveniently walk, cycle, or take transit to nearby amenities.

3.0 MINOR REZONING

Figure 12. Site Plan (Block 28)



Block 28

It is proposed to develop a total of 8 semi-detached dwellings and 8 townhouse dwellings on Block 28. Site-specific amendments for the Subject Property are required to incorporate the required relief from zoning provisions for a Planned Unit Development to decrease the minimum required front yard setback, to decrease the minimum required rear yard setback, to increase the maximum extent of a stair projection into the front yard, to increase the maximum extent of a balcony projection to the front lot line, to increase the maximum extent of a balcony projection to the interior side lot line, to increase the maximum extent of a balcony projection into the rear yard, to decrease the minimum required width of a private way, to decrease the minimum required setback for any wall from a private way, to decrease the minimum required setback for any garage or carport entrance from a private way, and to reduce the minimum soft landscape area requirements for the proposed development. It is suggested to include the provisions of Section 144 under the list of provisions which do not apply to the Subject Property.

Figure 13. Site Plan (Block 29)



Block 29

It is proposed to develop a total of 10 semi-detached dwellings and 4 townhouse dwellings on Block 28. Site-specific amendments for the Subject Property are required to incorporate the required relief from zoning provisions for a Planned Unit Development to decrease the minimum required front yard setback, to decrease the minimum required corner side yard setback, to decrease the minimum required rear yard setback, to increase the maximum extent of a stair projection into the corner side yard, to increase the maximum extent of a balcony projection into the corner side yard, to increase the maximum extent of a balcony projection into the interior side yard, to increase the maximum extent of a balcony projection to the corner side lot line, to increase the maximum extent of a balcony projection to the rear lot line, to decrease the minimum required width of a private way, to decrease the minimum required setback for any wall from a private way, to decrease the minimum required setback for any garage or carport entrance from a private way, and to reduce the minimum soft landscape area requirements for the proposed development. It is

suggested to include the provisions of Section 144 under the list of provisions which do not apply to the Subject Property.

The site-specific amendment will result in development of 18 semi-detached dwellings and 12 townhouse dwellings that are located with direct access and opportunities for residents to increase use of transit and active transportation infrastructure in the Greystone Village community. The proposed development is within proximity to restaurants, shops, parks and outdoor amenity areas for residents. The requested relief from provisions of the R3Q zone is appropriate to facilitate the proposed development of 30 low-rise residential dwellings on the Subject Property.

Yours Truly,

NOVATECH

Prepared by:



Jeffrey Kelly, MCIP, RPP
Project Manager | Planning & Development

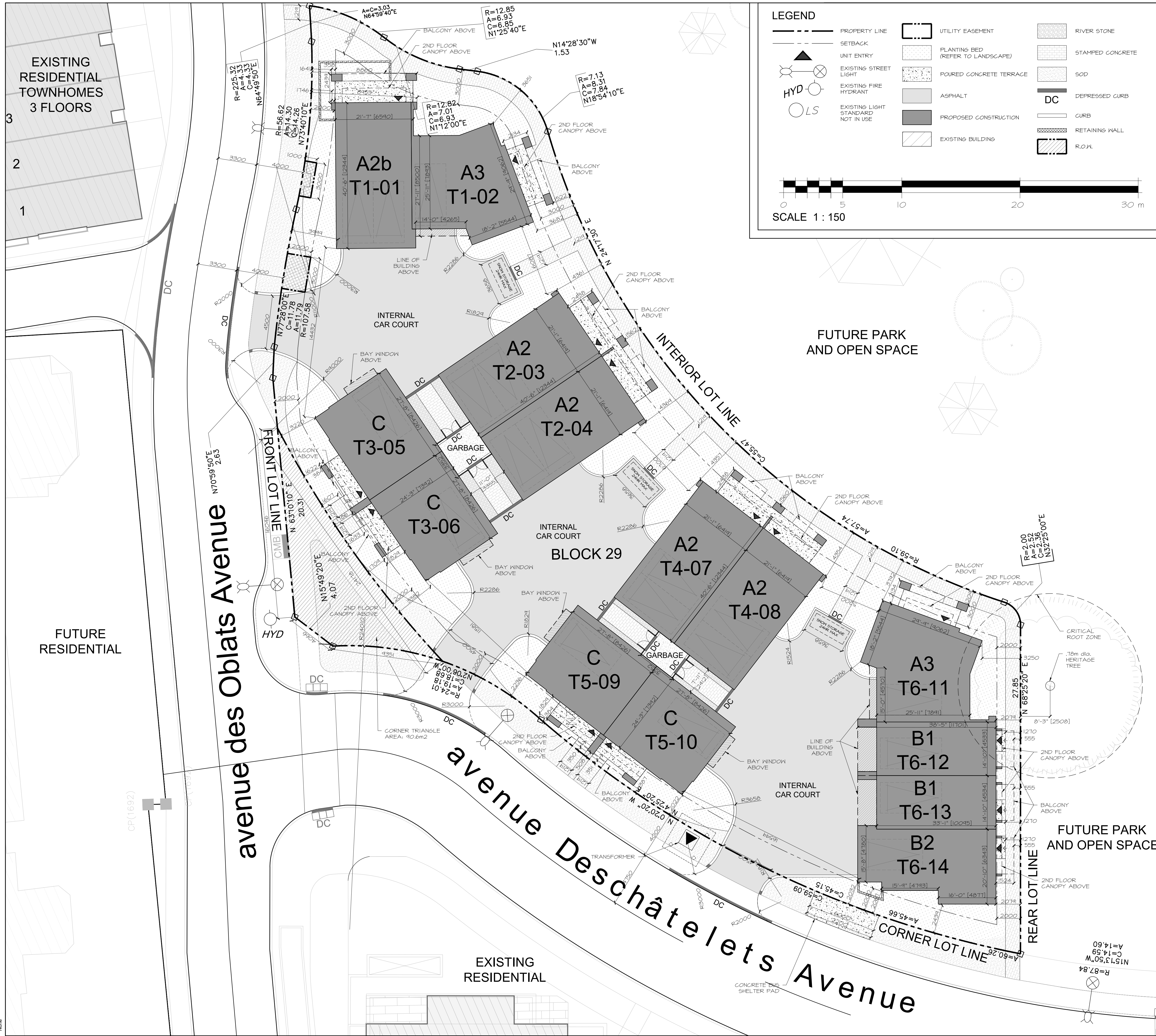
Hobin Architecture Incorporated

Prepared by:



Jamison Duff, OAA, M.Arch
Architect

Appendix A:
Site Plan and Building Elevations



LEGEND

| | | | | | |
|-------|------------------------------------|---|-----------------------------------|---|------------------|
| --- | PROPERTY LINE | ▭ | UTILITY EASEMENT | ▨ | RIVER STONE |
| - - - | SETBACK | ▨ | PLANTING BED (REFER TO LANDSCAPE) | ▨ | STAMPED CONCRETE |
| ▲ | UNIT ENTRY | ▨ | POURED CONCRETE TERRACE | ▨ | SOD |
| ⊗ | EXISTING STREET LIGHT | ▨ | ASPHALT | ▨ | DC |
| ⊗ | EXISTING FIRE HYDRANT | ▨ | PROPOSED CONSTRUCTION | ▨ | DEPRESSED CURB |
| ⊗ | EXISTING LIGHT STANDARD NOT IN USE | ▨ | EXISTING BUILDING | ▨ | CURB |
| | | ▨ | | ▨ | RETAINING WALL |
| | | ▨ | | ▨ | R.O.XL |

SCALE 1 : 150

SURVEY INFORMATION TAKEN FROM:

PART OF LOT "H" CONCESSION "D" (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN AND BLOCKS 60 AND 62 REGISTERED PLAN 4M-1583 CITY OF OTTAWA

PART OF BLOCKS 26, 28, 29, 30, 31 & 32 REGISTERED PLAN 4M-1546 AND PART OF BLOCK 58 REGISTERED PLAN 4M-1583 CITY OF OTTAWA

ANNIS O'SULLIVAN VOLLEBECK LTD. 2017

ZONING SUMMARY (BLOCK 29)

R30(2306) Planned Unit Development (Detached Dwellings and Townhouse Dwellings)

| | REQUIRED | PROVIDED |
|------------------------------------|-----------------------|----------------------|
| MINIMUM LOT WIDTH (m) | N/A | N/A |
| MINIMUM LOT AREA (m ²) | 1,400 m ² | 2,430 m ² |
| MINIMUM FRONT YARD (m) | 3.0 m | 2.0 m |
| MINIMUM CORNER SIDE YARD (m) | 3.0 m | 2.0 m |
| MINIMUM INTERIOR SIDE YARD (m) | 1.8 m | 3.0 m |
| MINIMUM REAR YARD (m) | 18.5m (25% LOT DEPTH) | 2.0 m |
| MAXIMUM BUILDING HEIGHT (m) | 11 m | 11 m |

| | REQUIRED | PROVIDED |
|---------------|----------------------------------|----------|
| FRONT YARD | 0.6m | 1.6m |
| IN. SIDE YARD | NO LIMIT | 1.5 m |
| C. SIDE YARD | 0.6m | 0.2 m |
| REAR YARD | NO LIMIT | 1.2 m |
| FRONT YARD | 2.0 m MAX PROJ. 1.0 m (NO PROJ.) | 2.0 m |
| IN. SIDE YARD | 2.0 m MAX PROJ. 1.0 m (NO PROJ.) | 1.2 m |
| C. SIDE YARD | 2.0 m MAX PROJ. 1.0 m (NO PROJ.) | 0.2 m |
| REAR YARD | 2.0 m MAX PROJ. 1.0 m (NO PROJ.) | 1.6 m |

PROJECT CONSULTANTS

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TRAFFIC
NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1R6
CONTACT: BRAD BYVELDTS
PHONE: (613) 254-6643 x 206

CIVIL
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240 MICHAEL CONFLAND DRIVE SUITE 200
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ANNIS O'SULLIVAN VOLLEBECK LTD.
14 GONCOURSE SUITE 500
OTTAWA, ON K2E 1S6
CONTACT: ANDREA SHELLE
PHONE: (613) 721-4352 x 226

GEOTECHNICAL
PATERSON GROUP INC.
14 AURORA DRIVE
OTTAWA, ON K2E 1T8
CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1381

PLANNED UNIT DEVELOPMENT - PART 5, SECTION 131

(1)(c) the entire planned unit development complies with all applicable Sections of the By-law, the provisions set out in this Section and Table 131, however, development parcels within the planned unit development, whether severed or not, that have vehicular access off of the private way only need not comply with the dwelling type specific provisions indicated in Part 6 other than maximum permitted building height.

| MINIMUM WIDTH OF PRIVATE WAY | REQUIRED | PROVIDED |
|--|----------|----------|
| MIN. SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO PRIVATE WAY | 1.8 m | 0 m |
| MIN. SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM PRIVATE WAY | 5.2 m | 0 m |
| MINIMUM SEPARATION BETWEEN BUILDINGS | 1.2 m | 2.4 m |

LANDSCAPE AND PARKING

a) In the case of a planned unit development consisting of detached, linked-detached, semi-detached, three-unit or townhouse dwellings, or any combination thereof, all lands located between the dwelling units or oversized dwelling unit, the extension of the main wall of the dwelling unit or oversized dwelling unit, and the driveway leading to the area used for a driveway leading to the dwelling unit's associated parking space, garage or carport.

b) In no case may any dwelling unit or oversized dwelling unit located within a Planned Unit Development that has its own driveway leading to its associated parking space, garage or carport have a driveway that is wider than the associated parking space, garage, or carport. Furthermore, the remaining area between the dwelling unit or oversized dwelling unit and the private way must be landscaped with soft landscaping and a walkway extending from the private way back to the principal entranceway is prohibited. A path that is mostly parallel to the street, that provides pedestrian access from the driveway to the principal entranceway of no more than 1.2 m is permitted.

c) Despite (a) and (b), where a development parcel containing a dwelling unit or oversized dwelling unit located within a Planned Unit Development in R3, R2, R3 or R4 Zone within Schedule 342 has frontage on a public street, whether severed or not, the area between the dwelling unit or oversized dwelling unit and the street lot line is subject to the requirements of Sections 134 and 140.

| | REQUIRED | PROVIDED |
|----------|----------|-----------------|
| COMPLIES | COMPLIES | DOES NOT COMPLY |
| COMPLIES | COMPLIES | COMPLIES |
| N/A | N/A | N/A |

PARKING REQUIREMENTS

| | REQUIRED | PROVIDED |
|---|----------|----------|
| MINIMUM PARKING SPACES (1.00 / SEMI-DETACHED) | 10 | 15 |
| MINIMUM PARKING SPACES (0.75 / TOWNHOUSE) | 3 | 4 |
| MINIMUM PARKING VISITOR PARKING SPACES | 0 | 0 |
| TOTAL PARKING SPACES | 13 | 19 |

NOTE: CELLS HIGHLIGHTED IN RED INDICATE REQUESTED RELIEF FROM PROVISIONS OF ZONING BY-LAW (2008-250)

SITE STATISTICS

| RESIDENTIAL BLOCK # | # OF UNITS | GROSS FLOOR AREA (m ²) |
|---------------------|------------|------------------------------------|
| T1 | 2 | 386 m ² |
| T2 | 2 | 384 m ² |
| T3 | 2 | 315 m ² |
| T4 | 2 | 384 m ² |
| T5 | 2 | 315 m ² |
| T6 | 4 | 601 m ² |
| 14 UNITS (TOTAL) | | 2,385 m ² (TOTAL) |

UNIT TYPOLOGIES

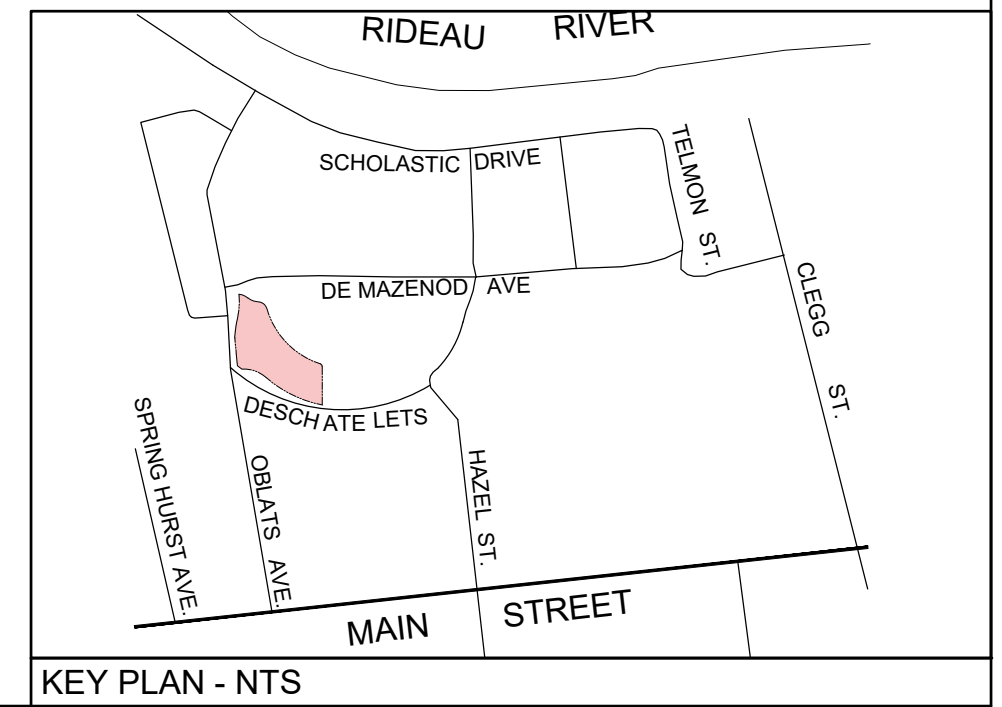
| TYPE | REQUIRED | PROVIDED |
|---------------|----------|----------|
| SEMI-DETACHED | | 10 |
| TOWNHOUSE | | 4 |

SITE COVERAGE

| | REQUIRED | PROVIDED |
|--|----------|----------------------------|
| TOTAL LOT AREA (m ²) | | 2,416 m ² |
| TOTAL GROSS BUILDING AREA (m ² / % LOT COVERAGE) | | 949 m ² / 39.3% |
| TOTAL HARD LANDSCAPING AREA (m ² / % LOT COVERAGE) | | 257 m ² / 10.6% |
| TOTAL SOFT LANDSCAPING AREA (m ² / % LOT COVERAGE) | | 549 m ² / 22.7% |
| TOTAL VEHICULAR SURFACE AREA (m ² / % LOT COVERAGE) | | 661 m ² / 27.4% |

SOLID WASTE STORAGE AND DISPOSAL

| | REQUIRED | PROVIDED |
|----------|---------------|-------------------|
| GARBAGE | 3 YARDS | 3 YARDS (6x 360L) |
| FIBRE | 1 YARD | 1 YARD (2x 360L) |
| G.M.P. | 5 YARDS | 1 YARD (2x360L) |
| ORGANICS | 1 X 240L CART | 2 X 240L CART |



| no. | date | revision |
|-----|------------|-------------------------|
| 8 | 2024-11-29 | REISSUED FOR ZBA + SFC |
| 7 | 2024-11-26 | ISSUED FOR COORDINATION |
| 6 | 2024-10-11 | ISSUED FOR SFC |
| 5 | 2024-10-10 | ISSUED FOR COORDINATION |
| 4 | 2024-09-18 | ISSUED FOR COORDINATION |
| 3 | 2024-08-14 | SFC PRECONSULT 3 |
| 2 | 2024-08-04 | ISSUED FOR COORDINATION |
| 1 | 2024-07-16 | ISSUED FOR REVIEW |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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E: mail@hobinarc.com
hobinarc.com

PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
SITEPLAN - BLOCK 29
4M-1596
295 DESCHÂTELETS AVE.

DRAWN BY: JD
DATE: 24/03/15
SCALE: 1:150

PROJECT: 2308
DRAWING NO.: A1.02
REVISION NO.:

City Plan No.: #19191

LEGEND

| | | | | | |
|--|------------------------------------|--|-----------------------------------|--|-------------------|
| | PROPERTY LINE | | UTILITY EASEMENT | | RIVER STONE |
| | SETBACK | | PLANTING BED (REFER TO LANDSCAPE) | | STAMPED CONCRETE |
| | UNIT ENTRY | | POURED CONCRETE TERRACE | | SOD |
| | EXISTING STREET LIGHT | | ASPHALT | | DC DEPRESSED CURB |
| | EXISTING FIRE HYDRANT | | PROPOSED CONSTRUCTION | | CURB |
| | EXISTING LIGHT STANDARD NOT IN USE | | RETAINING WALL | | R.O.W. |
| | EXISTING BUILDINGS | | | | |

SCALE 1 : 150



SURVEY INFORMATION TAKEN FROM:

PART OF LOT "H" CONCESSION "D" (RIDEAU FRONT)
 GEOGRAPHIC TOWNSHIP OF NEPEAN AND BLOCKS 60 AND 62 REGISTERED PLAN 4M-1583
 CITY OF OTTAWA

PART OF BLOCKS 26, 28, 29, 30, 31 & 32
 REGISTERED PLAN 4M-1586 AND PART OF BLOCK 58
 REGISTERED PLAN 4M-1583
 CITY OF OTTAWA

ANNIS O'SULLIVAN VOLLEBECK LTD. 2017

ZONING SUMMARY (BLOCK 28)
 R30(2306) Planned Unit Development (Detached Dwellings and Townhouse Dwellings)

| | REQUIRED | PROVIDED |
|------------------------------------|----------------------|----------------------|
| MINIMUM LOT WIDTH (m) | N/A | N/A |
| MINIMUM LOT AREA (m ²) | 1,400 m ² | 2,416 m ² |
| MINIMUM FRONT YARD (m) | 3.0 m | 2.0 m |
| MINIMUM INTERIOR SIDE YARD (m) | 1.8 m | 2.0 m |
| MINIMUM REAR YARD (m) | 7.1m (25% LOT DEPTH) | 3.0 m |
| MAXIMUM BUILDING HEIGHT (m) | 11 m | 11 m |

PERMITTED PROJECTION INTO YARDS - PART 2, SECTION 65

| | FRONT YARD | IN. SIDE YARD | REAR YARD |
|------------|-----------------|---------------|-----------|
| (b)(6)(i) | 0.6 m | NO LIMIT | NO LIMIT |
| | NO LIMIT | 1.2 m | 1.1 m |
| | 2.0 m MAX PROJ | 2.0 m | 2.0 m |
| (b)(6)(iv) | 1.0 m (NO PROJ) | 0.2 m | 0.2 m |
| | 2.0 m MAX PROJ | 1.6 m | 1.6 m |
| | 1.0 m (NO PROJ) | 0.5 m | 0.5 m |
| | 2.0 m MAX PROJ | 2.5 m | 2.5 m |
| | 1.0 m (NO PROJ) | 1.1 m | 1.1 m |

PLANNED UNIT DEVELOPMENT - PART 5, SECTION 131
 (U) the entire planned unit development complies with all applicable Sections of the By-law, the provisions set out in this Section and Table 131, however, development parcels within the planned unit development, whether severed or not, that have vehicular access off of the private way only, need not comply with the dwelling type specific provisions indicated in Part 6 other than maximum permitted building height.

| | MINIMUM WIDTH OF PRIVATE WAY | MIN. SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO PRIVATE WAY | MIN. SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM PRIVATE WAY | MINIMUM SEPARATION BETWEEN BUILDINGS |
|--|------------------------------|--|--|--------------------------------------|
| | 6.0 m | 4.5 m | 0 m | 0 m |
| | | 1.8 m | 0 m | 0 m |
| | | 5.2 m | 0 m | 0 m |
| | | 1.2 m | 2.4 m | 2.4 m |

PARKING

a) In addition to providing parking pursuant to Section 100 of this by-law, parking within a planned unit development may be located within the development, whether or not the development parcels within the planned unit development are severed.

LANDSCAPE AND PARKING

a) In the case of a planned unit development consisting of detached, linked-detached, semi-detached, three-unit or townhouse dwellings, or any combination thereof, all lands located between the dwelling unit or oversized dwelling unit, the extension of the main wall of the dwelling unit or oversized dwelling unit, and the private way are to be landscaped with soft landscaping other than the area used for a driveway leading to the dwelling unit's associated parking space, garage or carport.

b) In no case may any dwelling unit or oversized dwelling unit located within a Planned Unit Development that has its own driveway leading to its associated parking space, garage or carport have a driveway that is wider than the associated parking space, garage or carport. Furthermore, the remaining area between the dwelling unit or oversized dwelling unit and the private way must be landscaped with soft landscaping and a walkway extending from the private way back to the principal entranceway is prohibited. A path that is mostly parallel to the street, that provides pedestrian access from the driveway to the principal entranceway of no more than 1.2 m is permitted.

c) Despite (a) and (b), where a development parcel containing a dwelling unit or oversized dwelling unit, located within a Planned Unit Development in R1, R2, R3 or R4 Zone within Schedule 342 has frontage on a public street, whether severed or not, the area between the dwelling unit or oversized dwelling unit and the street lot line is subject to the requirements of Sections 139 and 140.

| | COMPLIES | DOES NOT COMPLY |
|--|----------|-----------------|
| | | |
| | COMPLIES | COMPLIES |
| | N/A | N/A |

PARKING REQUIREMENTS

| | 8 | 12 |
|---|----|----|
| MINIMUM PARKING SPACES (1.00 / SEMI-DETACHED) | 8 | 12 |
| MINIMUM PARKING SPACES (0.75 / TOWNHOUSE) | 6 | 8 |
| MINIMUM PARKING VISITOR PARKING SPACES | 0 | 0 |
| TOTAL PARKING SPACES | 14 | 20 |

NOTE: CELLS HIGHLIGHTED IN RED INDICATE REQUESTED RELIEF FROM PROVISIONS OF ZONING BY-LAW (2006-250)

SITE STATISTICS

| RESIDENTIAL BLOCK # | # OF UNITS | GROSS FLOOR AREA (m ²) |
|-------------------------|------------|------------------------------------|
| T1 | 4 | 601 m ² |
| T8 | 2 | 384 m ² |
| T9 | 2 | 315 m ² |
| T10 | 2 | 384 m ² |
| T11 | 2 | 315 m ² |
| T12 | 4 | 601 m ² |
| 16 UNITS (TOTAL) | | 2,600 m² (TOTAL) |

UNIT TYPOLOGIES

| | 8 | 8 |
|---------------|---|---|
| SEMI-DETACHED | 8 | |
| TOWNHOUSE | | 8 |

SITE COVERAGE

| | 2,416 m ² | 1,022 m ² / 42.3% | 350 m ² / 14.5% | 441 m ² / 18.5% | 541 m ² / 24.7% |
|--|------------------------------|------------------------------|----------------------------|----------------------------|----------------------------|
| TOTAL LOT AREA (m ²) | 2,416 m ² | | | | |
| TOTAL GROSS BUILDING AREA (m ² / % LOT COVERAGE) | 1,022 m ² / 42.3% | | | | |
| TOTAL HARD LANDSCAPING AREA (m ² / % LOT COVERAGE) | 350 m ² / 14.5% | | | | |
| TOTAL SOFT LANDSCAPING AREA (m ² / % LOT COVERAGE) | 441 m ² / 18.5% | | | | |
| TOTAL VEHICULAR SURFACE AREA (m ² / % LOT COVERAGE) | 541 m ² / 24.7% | | | | |

SOLID WASTE STORAGE AND DISPOSAL

| TYPE | REQUIRED | PROVIDED |
|----------|---------------|-------------------|
| GARBAGE | 3 YARDS | 3 YARDS (6x 360L) |
| FIBRE | 1 YARD | 1 YARD (2x 360L) |
| G.M.P. | 5 YARDS | 1 YARD (2x360L) |
| ORGANICS | 1 X 240L CART | 2 X 240L CART |

KEY PLAN - NTS

PROJECT CONSULTANTS

DEVELOPER / OWNER
 EQ HOMES INC.
 THE REGIONAL GROUP
 1751 WOODWARD DRIVE - 2ND FLOOR
 OTTAWA, ON K2H 9P6
 PHONE: (613) 230-2100

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 63 PAMILLA STREET
 OTTAWA, ON K2H 3K7
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 OTTAWA, ON K2M 1R6
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LANDSCAPE
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 240 MICHAEL CONFLAND DRIVE SUITE 200
 OTTAWA, ON K2M 1R6
 CONTACT: RYAN JAMES
 PHONE: (613) 254-6643 x 222

TRAFFIC
 NOVATECH
 240 MICHAEL CONFLAND DRIVE SUITE 200
 OTTAWA, ON K2M 1R6
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 240 MICHAEL CONFLAND DRIVE SUITE 200
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 PHONE: (613) 226-1351

| no. | date | revision |
|-----|------------|-------------------------|
| 8 | 2024-11-24 | REISSUED FOR ZBA + SPC |
| 7 | 2024-11-26 | ISSUED FOR COORDINATION |
| 6 | 2024-10-11 | ISSUED FOR SPC |
| 5 | 2024-10-10 | ISSUED FOR COORDINATION |
| 4 | 2024-09-18 | ISSUED FOR COORDINATION |
| 3 | 2024-08-14 | SPC PRECONSULT 3 |
| 2 | 2024-08-04 | ISSUED FOR COORDINATION |
| 1 | 2024-07-16 | ISSUED FOR REVIEW |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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 MARK J. HOBIN
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 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION:
FORECOURT TOWNHOMES
 175 MAIN STREET - GREYSTONE

DRAWING TITLE:
SITEPLAN - BLOCK 28
4M-1596
355 DESCHÂTELETS AVE.

DRAWN BY: JD **DATE:** 24/03/15 **SCALE:** 1:150

PROJECT: 2308 **DRAWING NO.:** A1.01 **REVISION NO.:**

City Plan No.: #19191

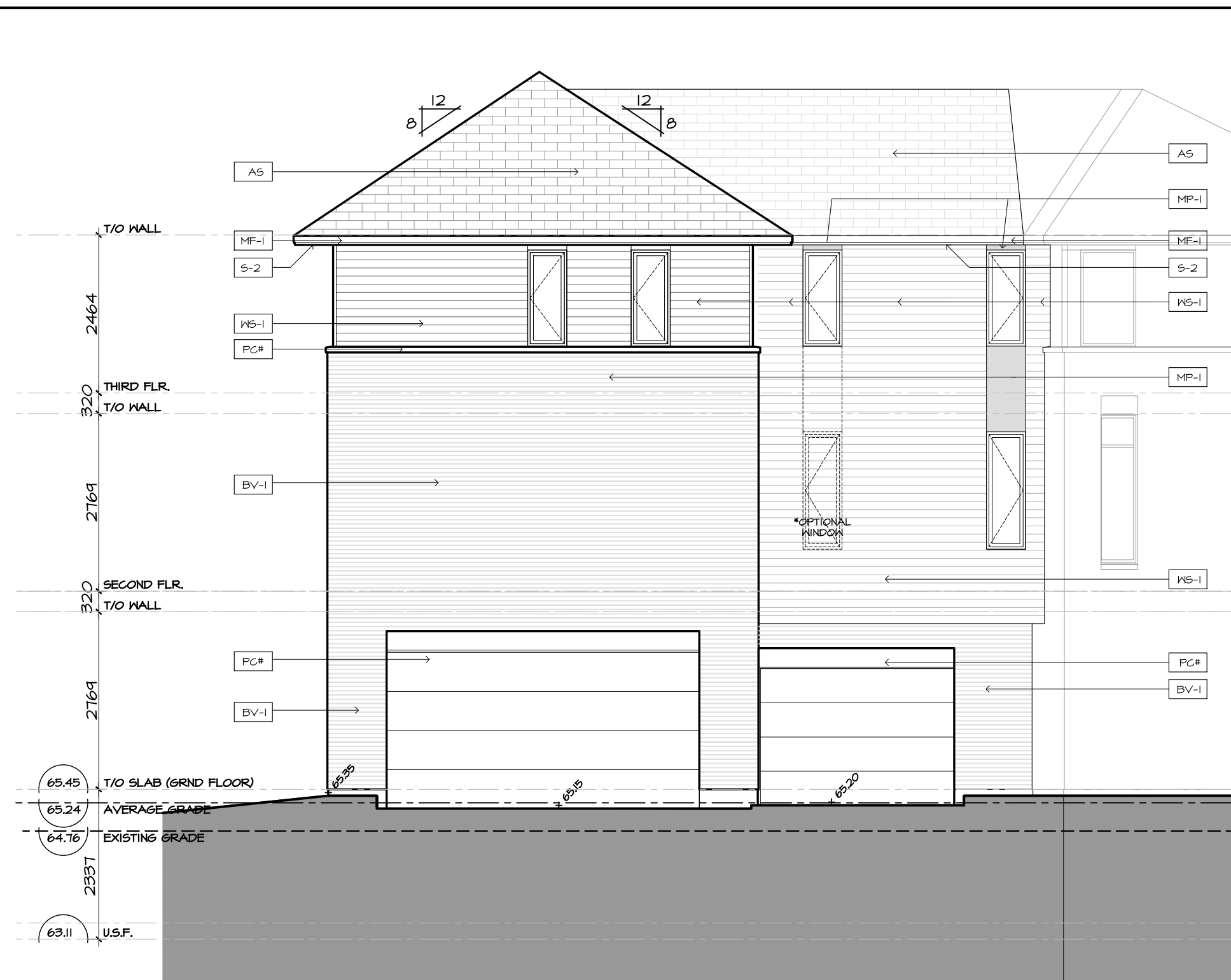
File Number: D02-02-24-0062 & D07-12-24-0130



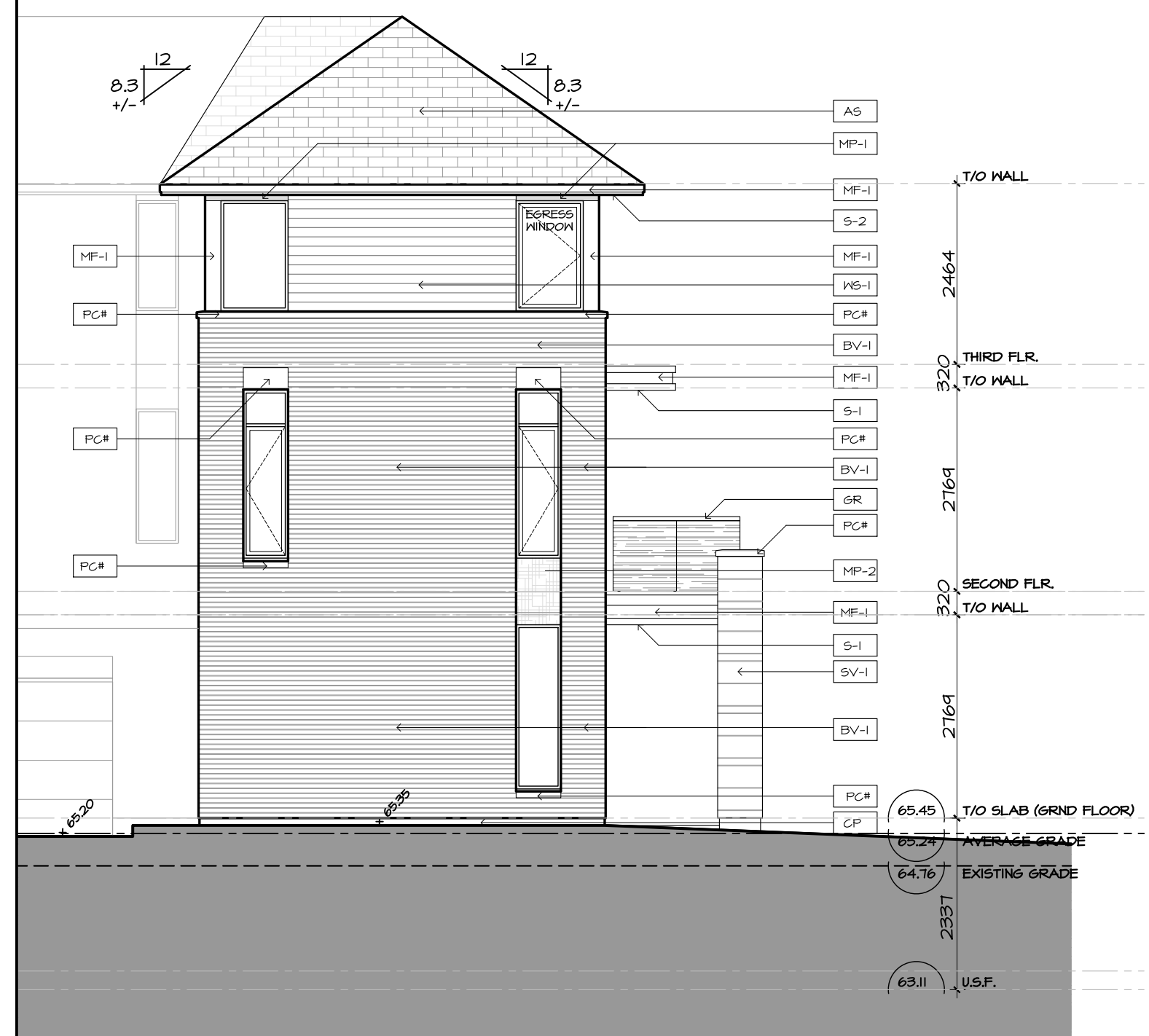
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A2.01 SCALE 1:75



2 | BLOCK T1 - NORTH ELEVATION
A2.01 SCALE 1:75



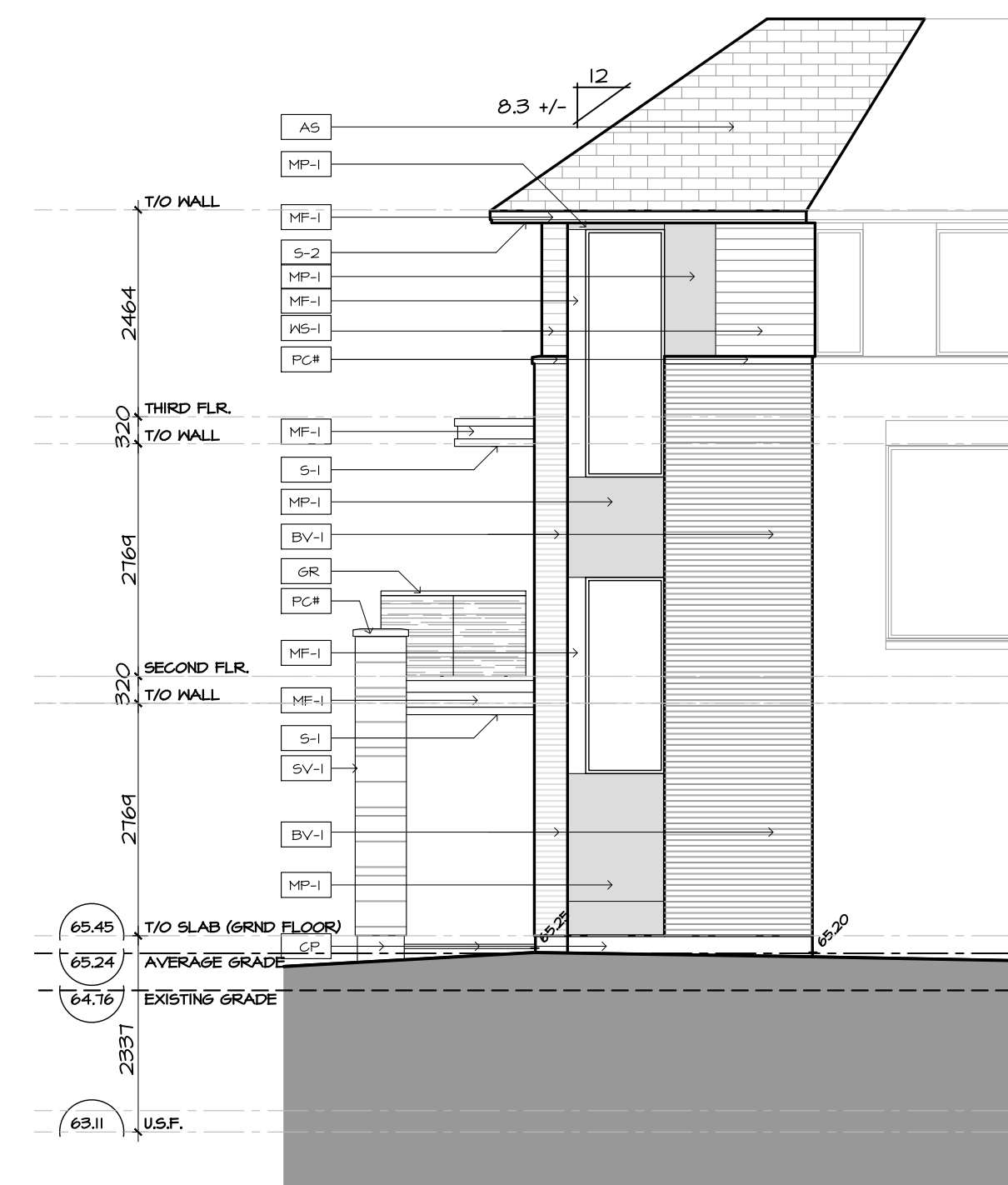
3 | BLOCK T1 - WEST ELEVATION
A2.01 SCALE 1:75



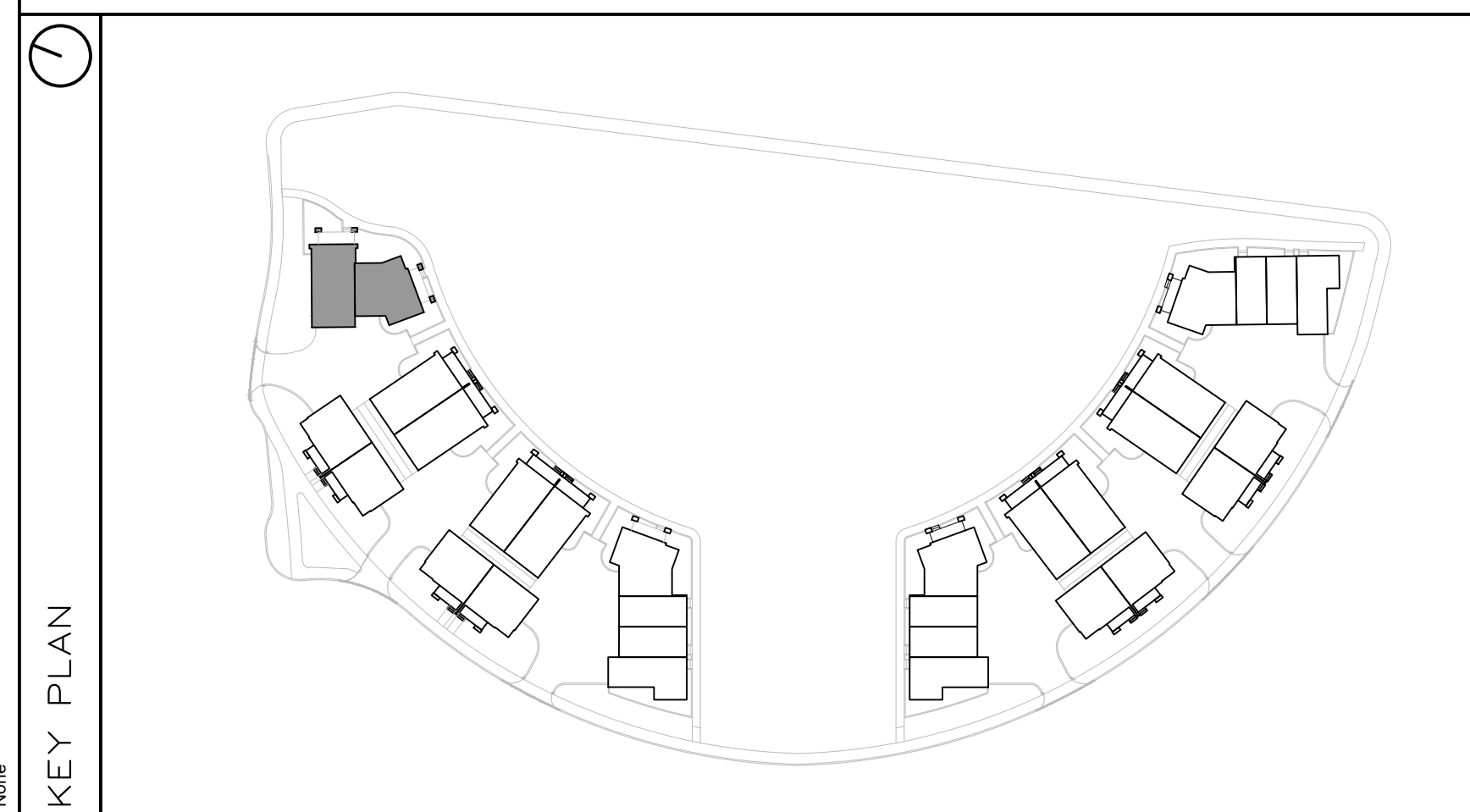
4 | BLOCK T1 - SOUTH-WEST ELEVATION
A2.01 SCALE 1:75



5 | BLOCK T1 - SOUTH-EAST ELEVATION
A2.01 SCALE 1:75



6 | BLOCK T1 - NORTH-EAST ELEVATION
A2.01 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR: TBD |
| SV-1 | STONE VENEER; ARRISCRAPT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
| S-2 | HARDIE SOFFIT PANEL C/W VENT STRIP BY GENTEG; COLOR: GRAPHITE (TBD) |
| WS-1 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: CHARCOAL (TBD) |
| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PAVING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

PROJECT CONSULTANTS

DEVELOPER / OWNER

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THE REGIONAL GROUP
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OTTAWA, ON K2G 0P6
PHONE: (613) 230-2100

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CONTACT: MARK THIVERSE
PHONE: (613) 254-4643 x 105

PLANNING

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: ROBERT TRAN
PHONE: (613) 254-4643 x 212

LANDSCAPE

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: RYAN JAMES
PHONE: (613) 254-4643 x 222

TRAFFIC

NOVATECH
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CONTACT: BRAD BYVELDIS
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CIVIL

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PHONE: (613) 226-1351

| no. | date | revision |
|-----|------------|------------------------|
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
| 1 | 2024-10-11 | ISSUED FOR SPC |

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ARCHITECTURE

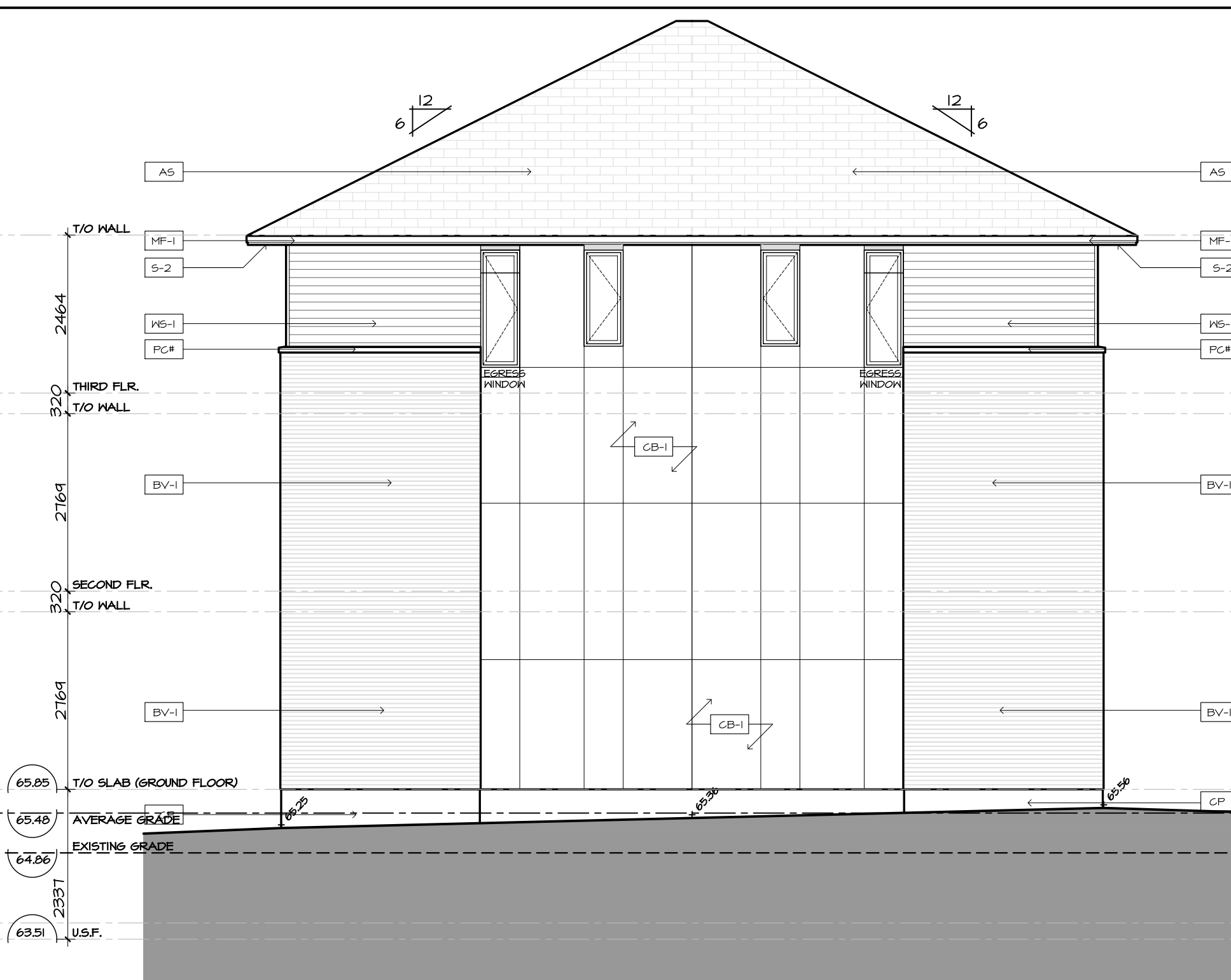
PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
**ELEVATIONS - BLOCK T1
BLOCK 29
295 DESCHÂTELETS AVE.**

| | | |
|-----------|-------------------|----------------|
| DRAWN BY: | DATE: 24/09/23 | SCALE: 1:75 |
| PROJECT: | DRAWING NO.: | REVISION NO.: |
| | A2.01 | |



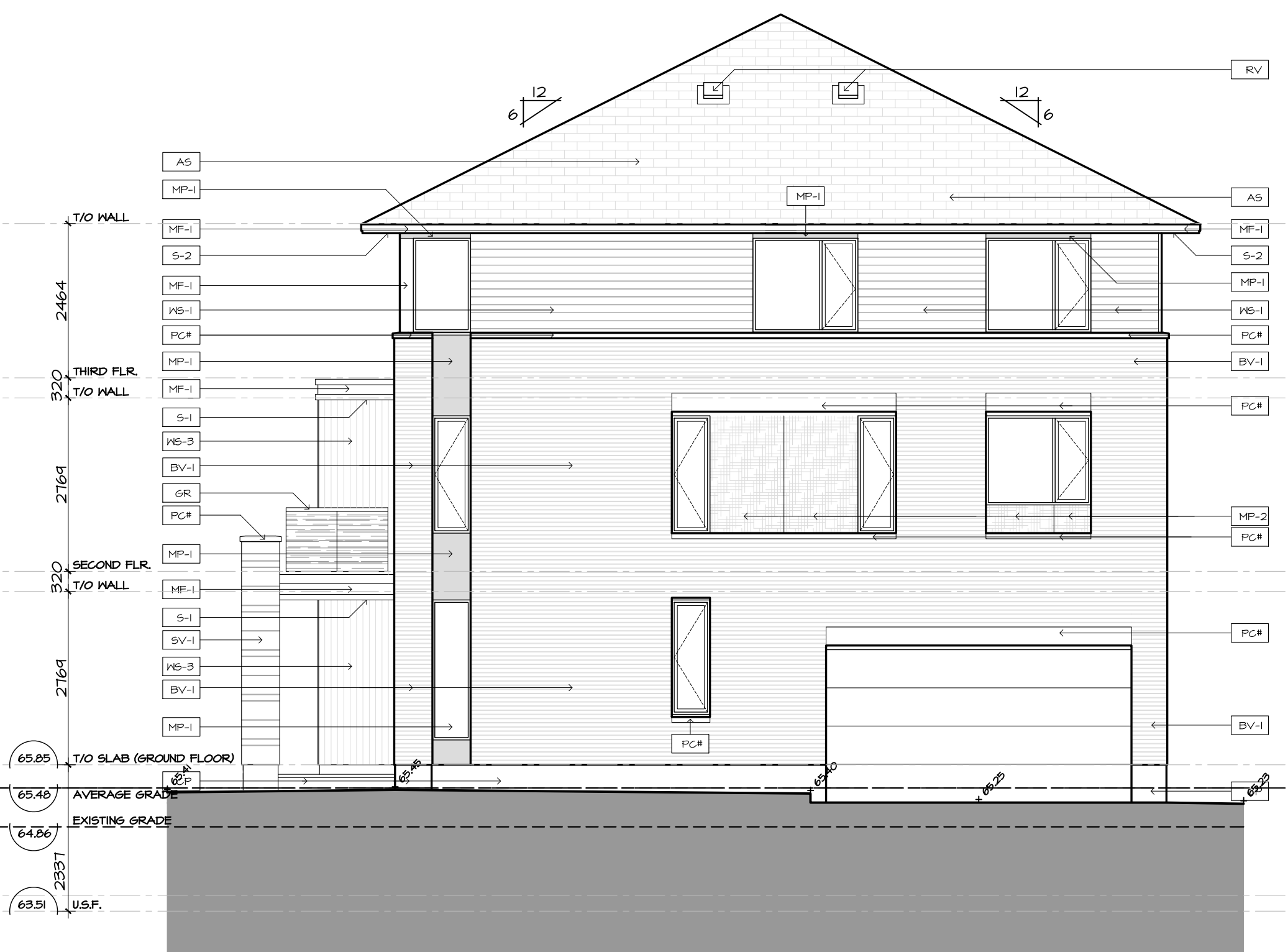
1 BLOCK T2 - SOUTH-EAST ELEVATION
A2.02 SCALE 1:75



2 BLOCK T2 - NORTH-WEST ELEVATION
A2.02 SCALE 1:75



3 BLOCK T2 - SOUTH-WEST ELEVATION
A2.02 SCALE 1:75



4 BLOCK T2 - NORTH-EAST ELEVATION
A2.02 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAFT RENAISSANCE; COLOR: TBD |
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| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
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| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
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| PC# | PRECAST CONCRETE (PROFILE #) |
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PLANNING
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NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: BRAD BYVELDIS
PHONE: (613) 254-4643 x 206

CIVIL
NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
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CONTACT: TREVOR MCKAY
PHONE: (613) 254-4643 x 201

SURVEYOR
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 GONCOURSE SUITE 500
OTTAWA, ON K2E 1S6
CONTACT: ANDREA BELL
PHONE: (613) 721-4592 x 226

GEOTECHNICAL
PATERSON GROUP INC.
11 AURIGA DRIVE
OTTAWA, ON K2E 1T3
CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1351

| no. | date | revision |
|-----|------------|------------------------|
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
| 1 | 2024-10-11 | ISSUED FOR SPC |

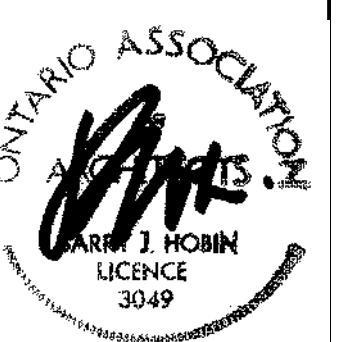
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HOBIN ARCHITECTURE

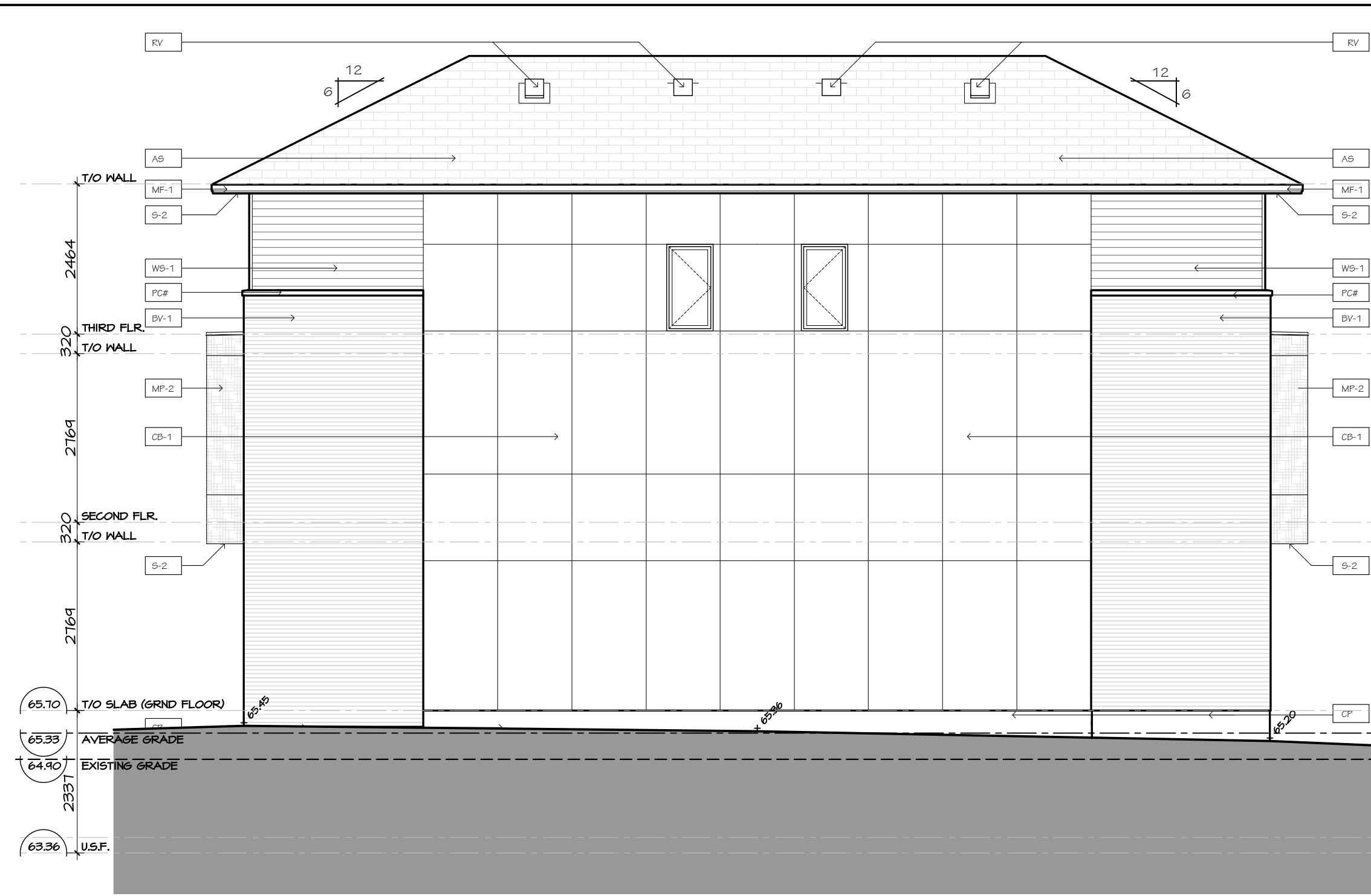
PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
ELEVATIONS - BLOCK T2
BLOCK 29
295 DESCHÂTELETS AVE.

DRAWN BY: DATE: 24/09/23 SCALE: 1:75

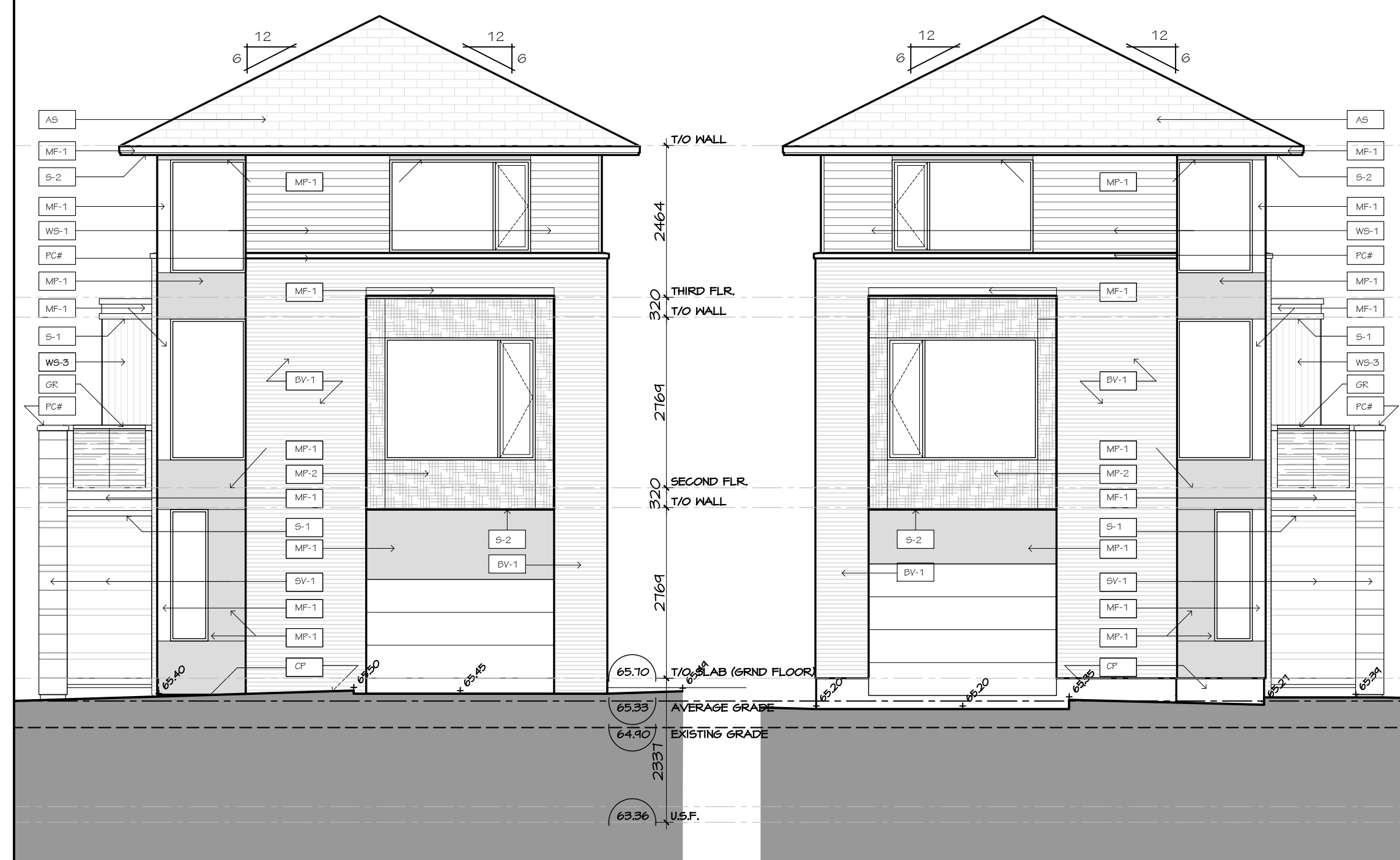
PROJECT:
DRAWING NO.: A2.02
REVISION NO.:

City Plan No.: #19191



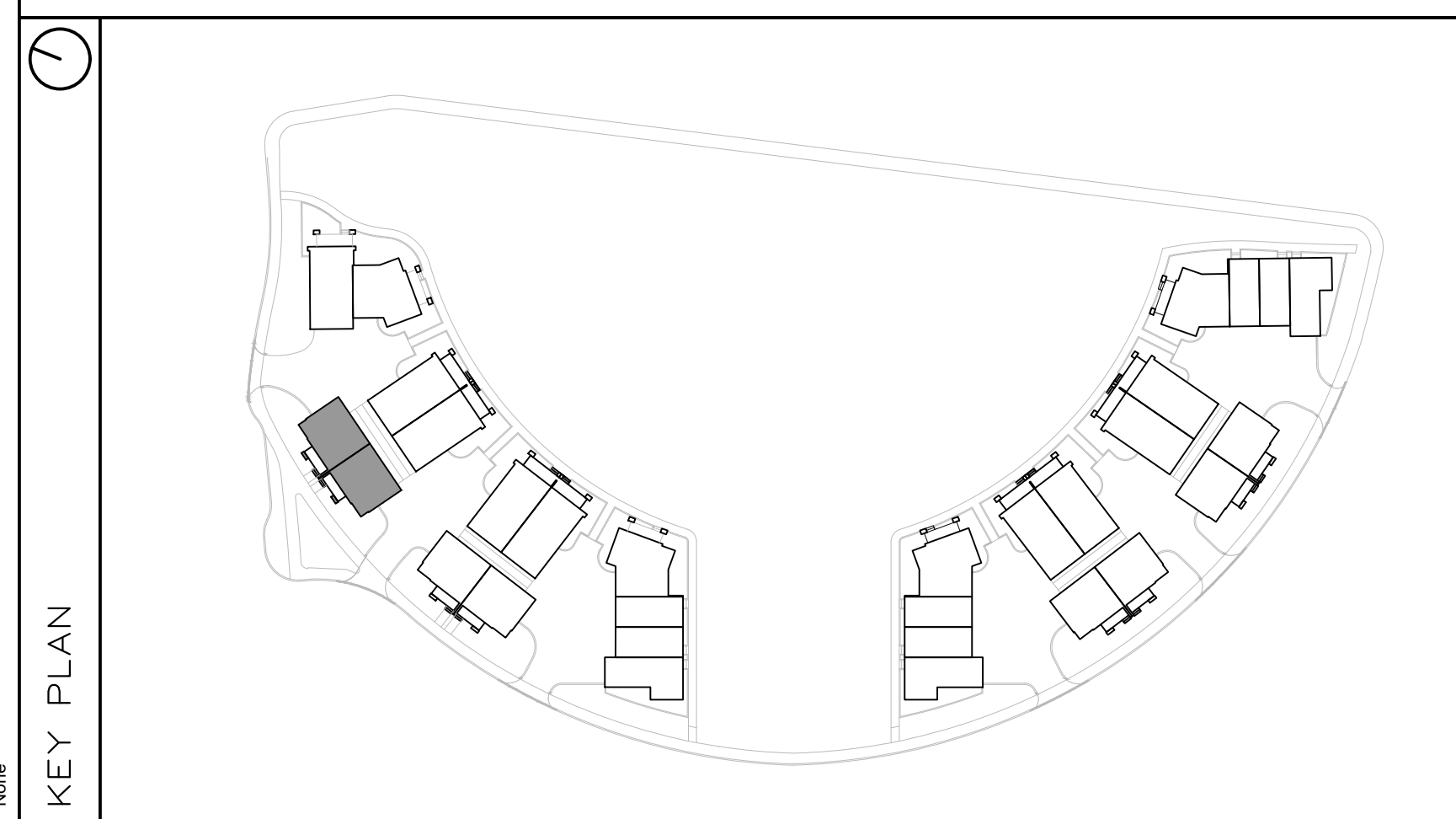
1 BLOCK T3 - NORTH-WEST ELEVATION
A2.03 SCALE 1:75

2 BLOCK T3 - SOUTH-EAST ELEVATION
A2.03 SCALE 1:75



3 BLOCK T3 - SOUTH-WEST ELEVATION
A2.03 SCALE 1:75

4 BLOCK T3 - NORTH-EAST ELEVATION
A2.03 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAFT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
| S-2 | HARDIE SOFFIT PANEL C/W VENT STRIP BY GENTEG; COLOR: GRAPHITE (TBD) |
| WS-1 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: CHARCOAL (TBD) |
| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PARPING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

PROJECT CONSULTANTS

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CONTACT: ROBERT TRAN
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LANDSCAPE
NOVATECH
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CONTACT: SCOTT S. DENNIS
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| | | |
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| no. | date | revision |
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
| 1 | 2024-10-11 | ISSUED FOR SPC |

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HOBIN ARCHITECTURE

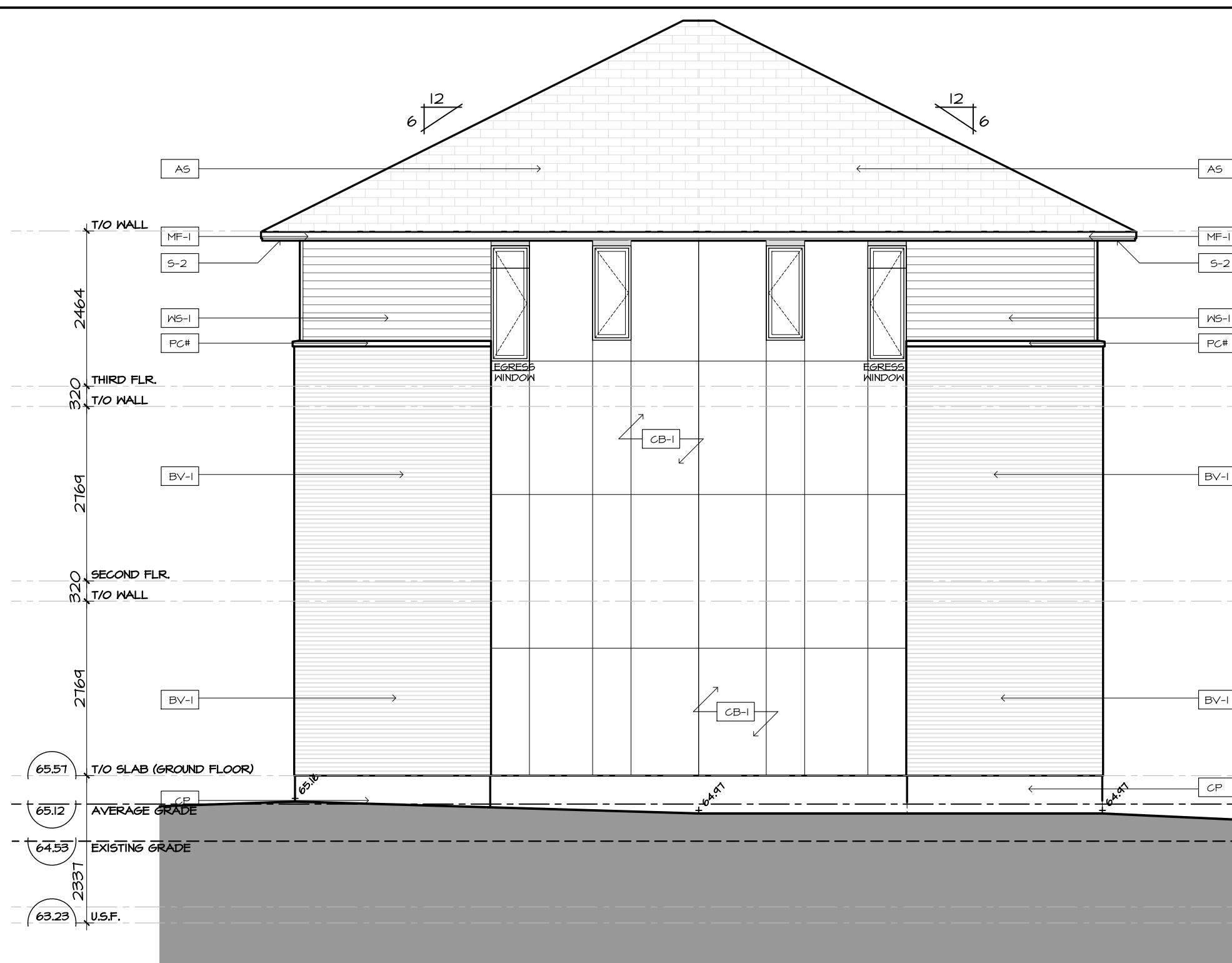
PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
ELEVATIONS - BLOCK T3
BLOCK 29
295 DESCHÂTELETS AVE.

| | | |
|------------------|--------------------------|------------------------------|
| DRAWN BY: | DATE: 24/09/23 | SCALE: 1:75 |
| PROJECT: | | DRAWING NO.: A2.03 |
| | | REVISION NO.: |



1 | BLOCK T4 - SOUTH-EAST ELEVATION
A2.04 | SCALE 1:75



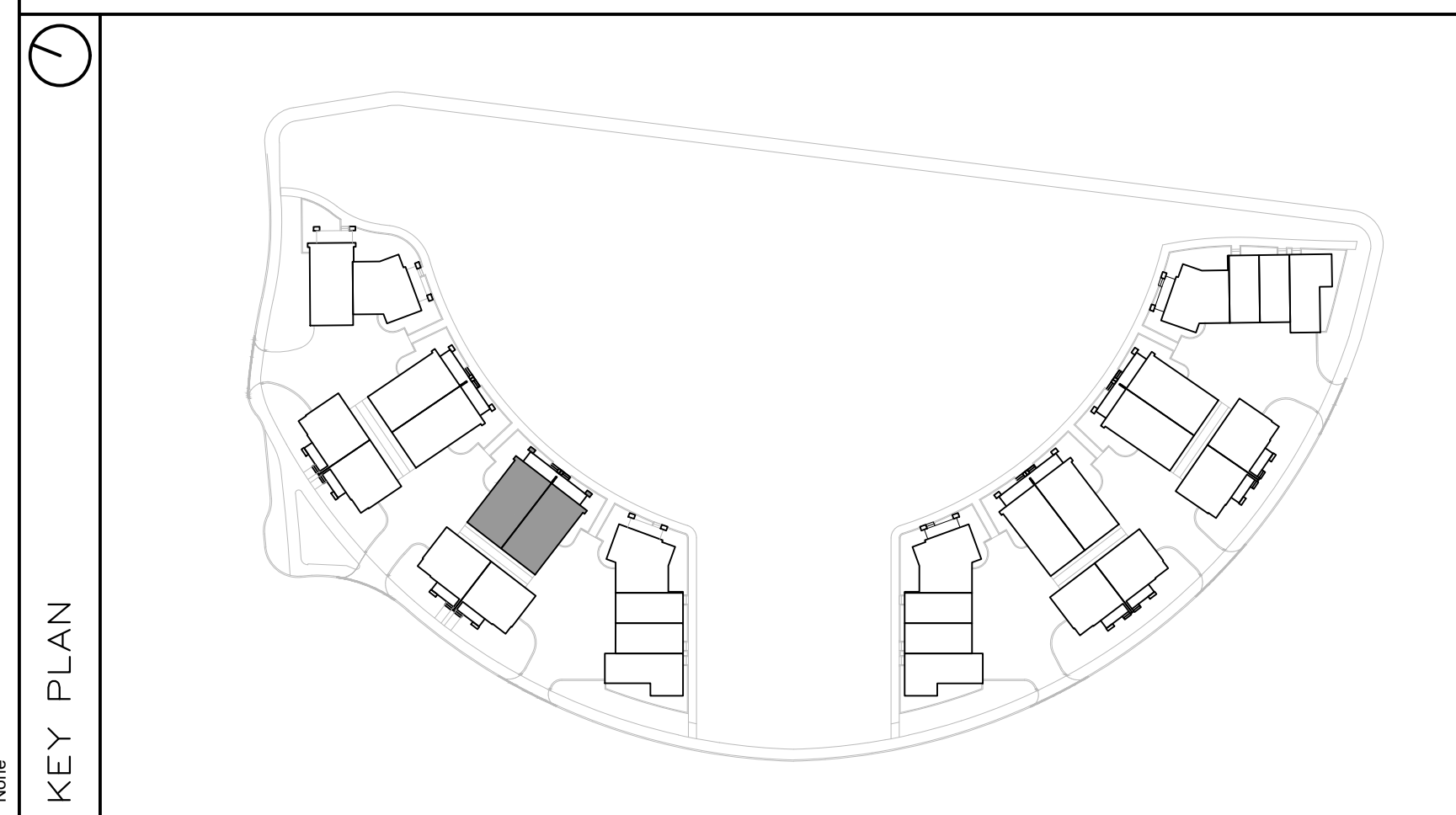
2 | BLOCK T4 - NORTH-WEST ELEVATION
A2.04 | SCALE 1:75



3 | BLOCK T4 - SOUTH-WEST ELEVATION
A2.04 | SCALE 1:75



4 | BLOCK T4 - NORTH-EAST ELEVATION
A2.04 | SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAPT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
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| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PAVING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

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LANDSCAPE

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| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
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| 1 | 2024-10-11 | ISSUED FOR SPC |
| no. | date | revision |

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PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
**ELEVATIONS - BLOCK T4
BLOCK 29
295 DESCHÂTELETS AVE.**

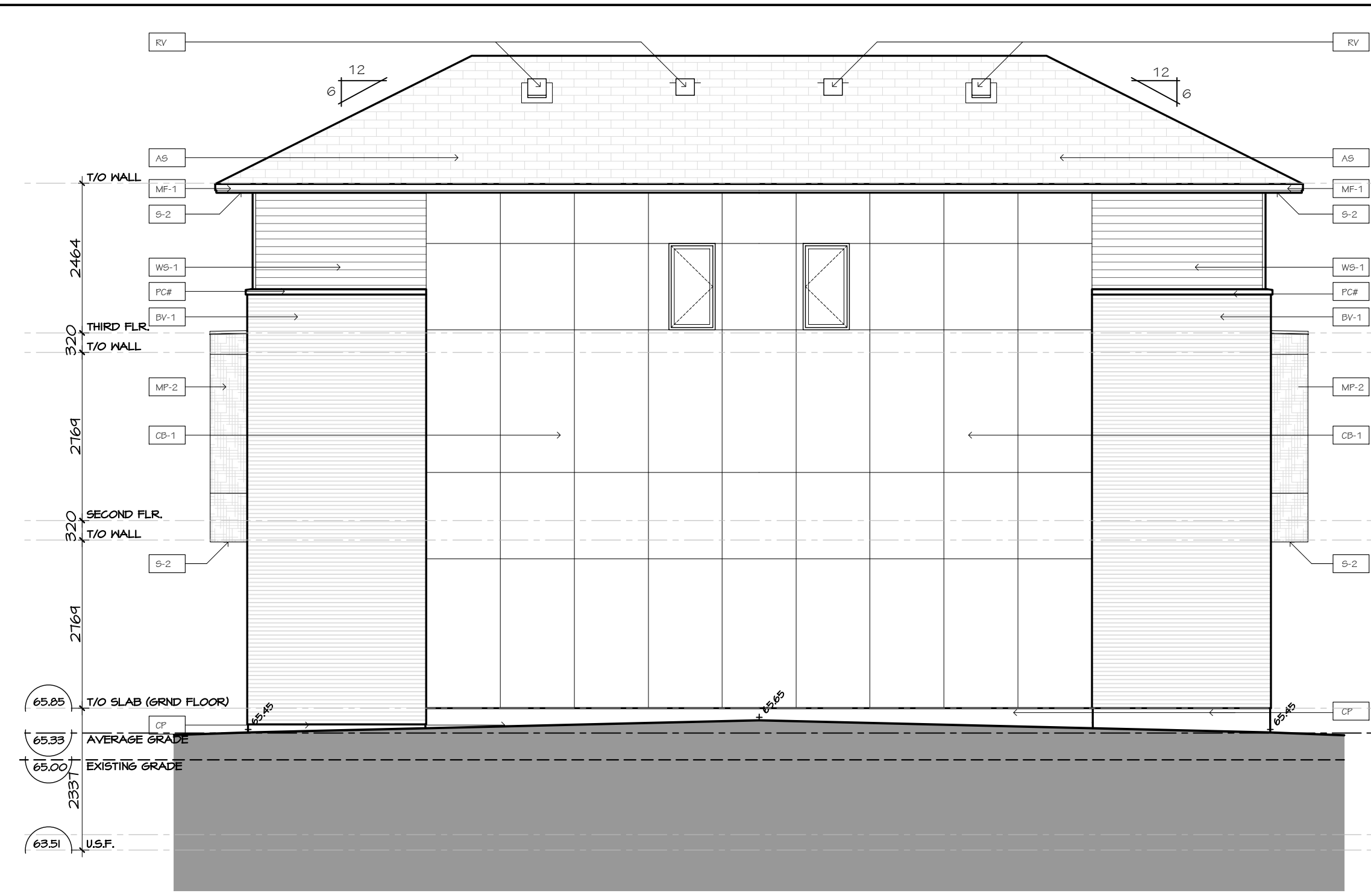
DRAWN BY: DATE: SCALE:
24/09/23 1:75

PROJECT:
DRAWING NO.:
A2.04
REVISION NO.:

City Plan No.: #19191



1 BLOCK T5 - NORTH-WEST ELEVATION
A2.05 SCALE 1:75

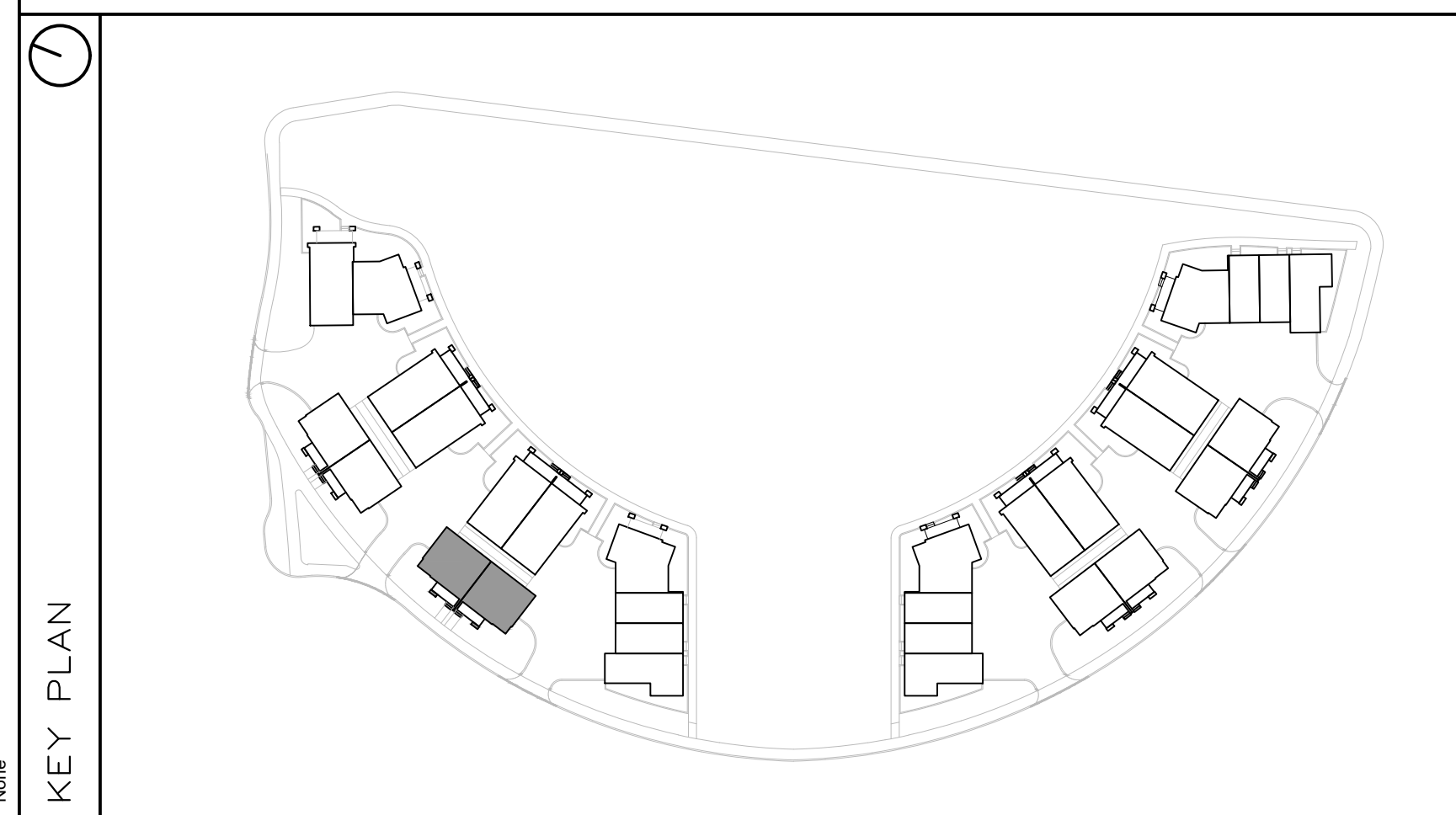


2 BLOCK T5 - SOUTH-EAST ELEVATION
A2.05 SCALE 1:75



3 BLOCK T5 - SOUTH-WEST ELEVATION
A2.05 SCALE 1:75

4 BLOCK T5 - NORTH-EAST ELEVATION
A2.05 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAFT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
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| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PARPING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

PROJECT CONSULTANTS

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PLANNING

NOVATECH
240 MICHAEL CONPLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: ROBERT TRAN
PHONE: (613) 254-4643 x 212

LANDSCAPE

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TRAFFIC

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CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1351

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|-----|------------|------------------------|
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
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PROJECT/LOCATION:

FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:

ELEVATIONS - BLOCK T5
BLOCK 29
295 DESCHÂTELETS AVE.

DRAWN BY:

DATE: 24/09/23

SCALE: 1:75

PROJECT:

DRAWING NO.:

A2.05

REVISION NO.:

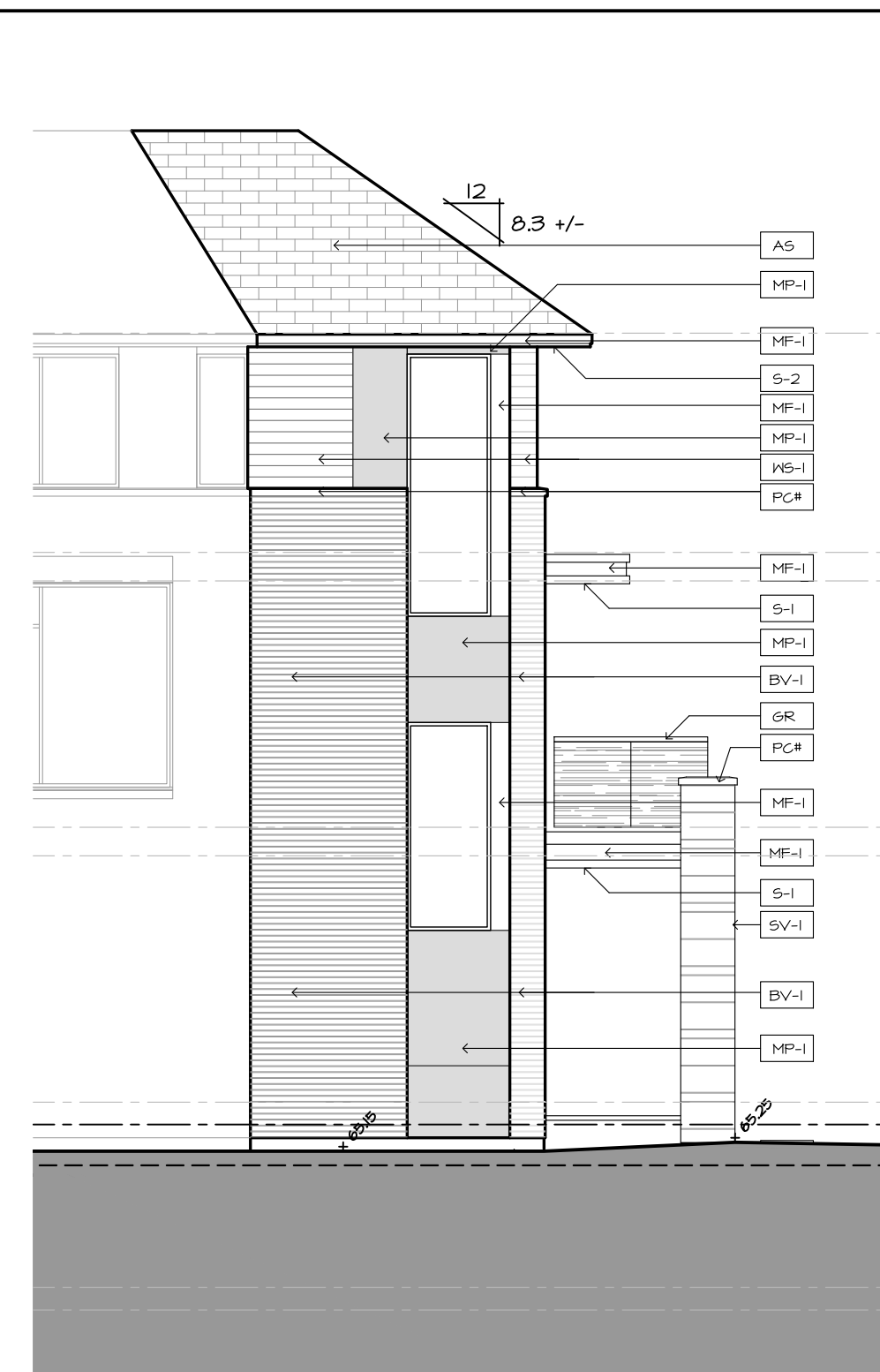
REVISION NO.:

City Plan No.: #19191

File Number: D07-12-24-0130



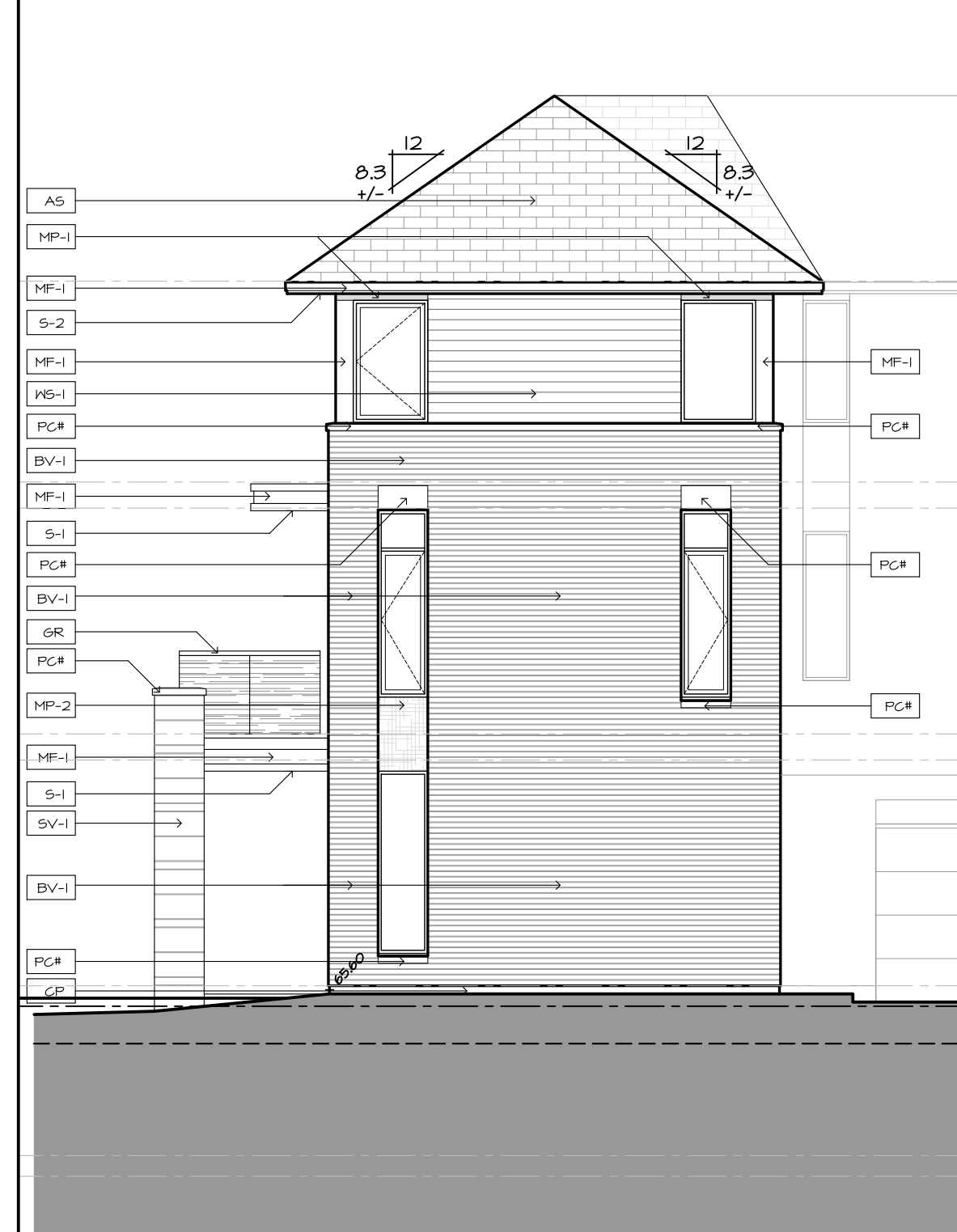
1 BLOCK T6 - SOUTH-EAST ELEVATION
A-2.6 | SCALE 1:75



2 BLOCK T6 - SOUTH ELEVATION
A-2.6 | SCALE 1:75



3 BLOCK T6 - EAST ELEVATION
A-2.6 | SCALE 1:75



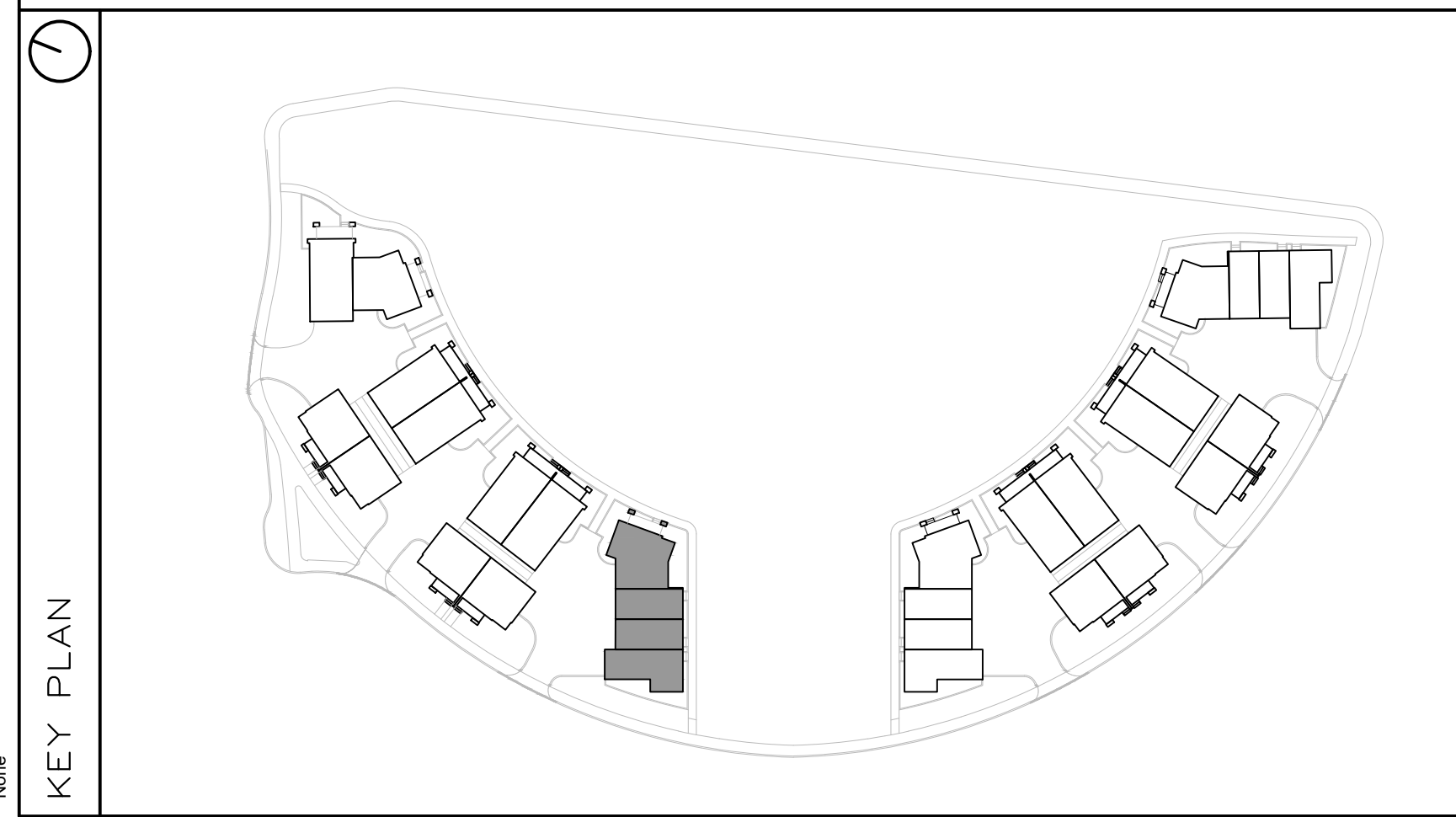
4 BLOCK T6 - NORTH ELEVATION
A-2.6 | SCALE 1:75



5 BLOCK T6 - NORTH-WEST ELEVATION
A-2.6 | SCALE 1:75



6 BLOCK T6 - SOUTH-WEST ELEVATION
A-2.6 | SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAPT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
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| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
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| PC# | PRECAST CONCRETE (PROFILE #) |
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| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

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PLANNING

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| no. | date | revision |
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PROJECT/LOCATION:

FORECOURT
TOWNHOMES

175 MAIN STREET - GREYSTONE

DRAWING TITLE:

ELEVATIONS - BLOCK T6
BLOCK 29
295 DESCHÂTELETS AVE.

DRAWN BY:

DATE:

SCALE:

24/09/23

1:75

PROJECT:

DRAWING NO.:

A2.06

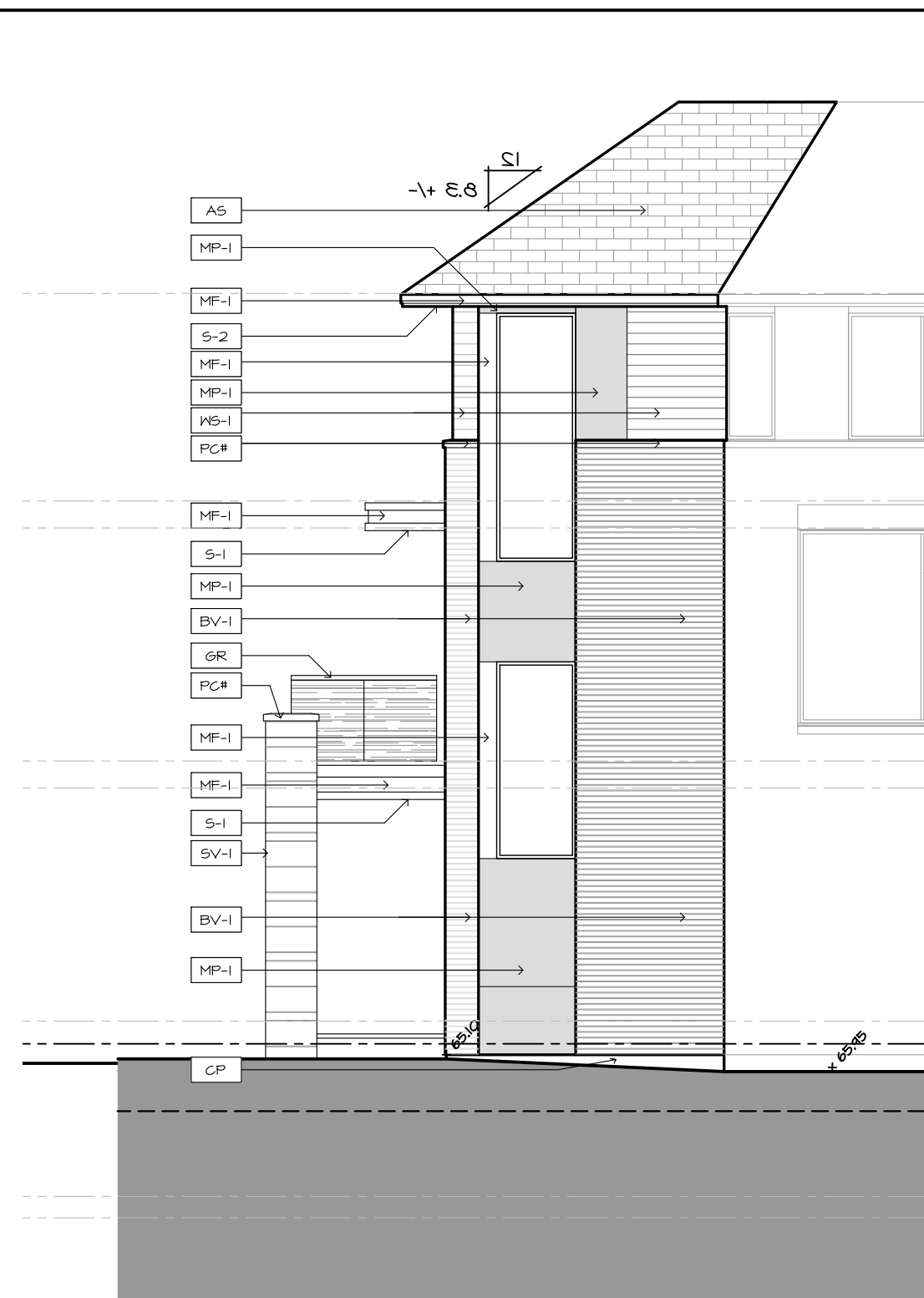
REVISION NO.:

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File Number: D07-12-24-0130



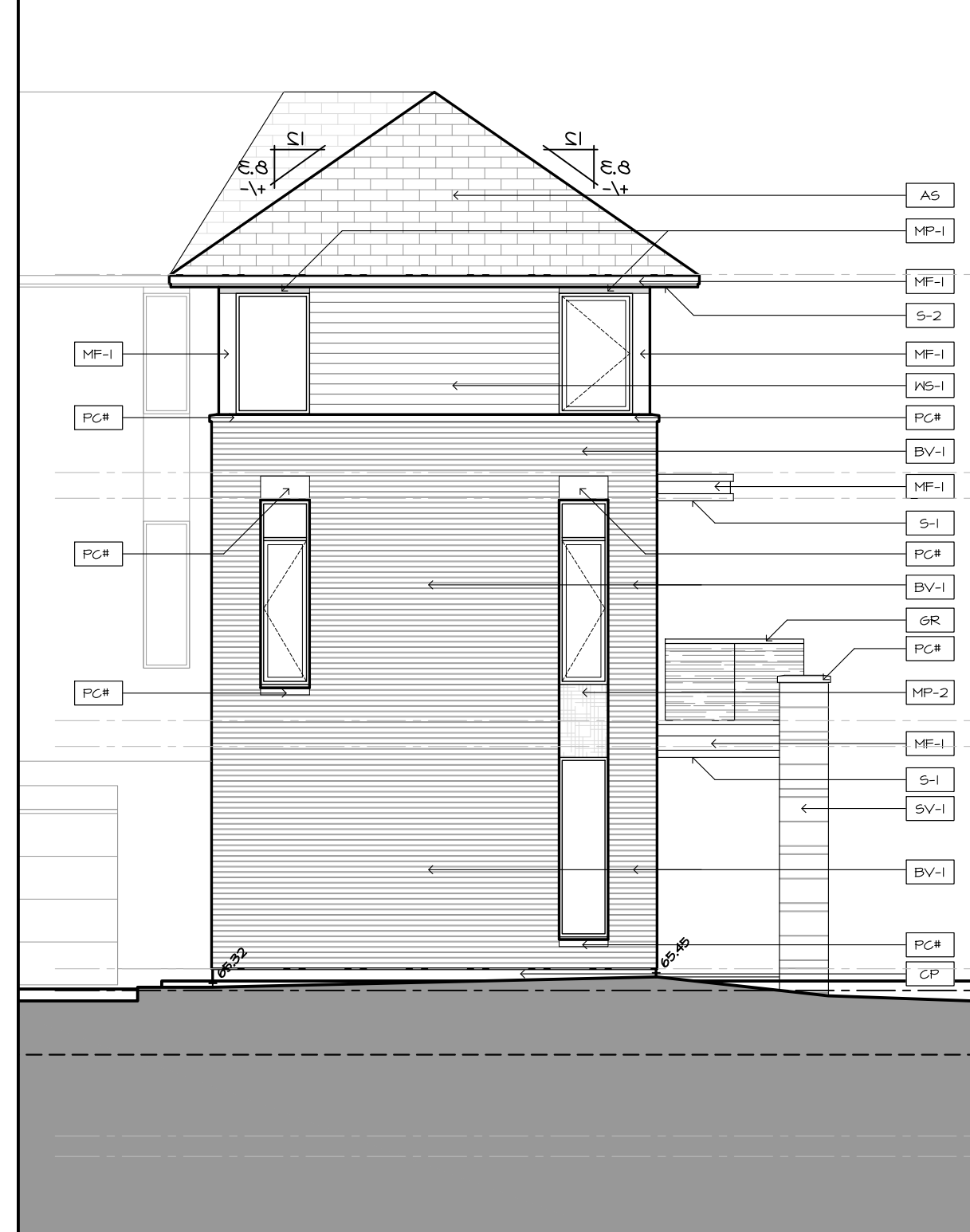
1 | BLOCK T7 - NORTH ELEVATION
A-2.7 | SCALE 1:75



2 | BLOCK T7 - NORTH-WEST ELEVATION
A-2.7 | SCALE 1:75



3 | BLOCK T7 - NORTH-EAST ELEVATION
A-2.7 | SCALE 1:75



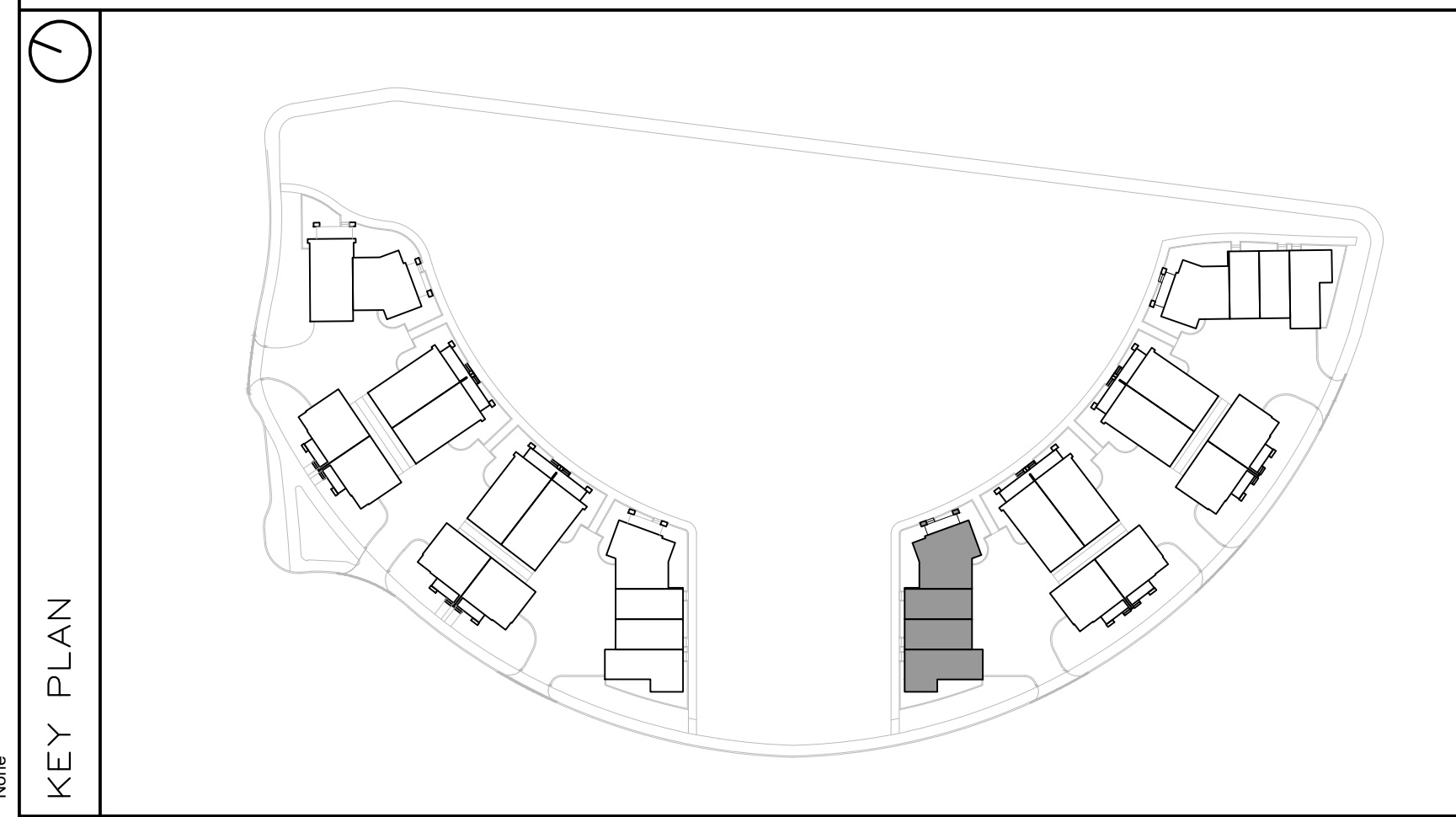
4 | BLOCK T7 - SOUTH EAST ELEVATION
A-2.7 | SCALE 1:75



5 | BLOCK T7 - SOUTH ELEVATION
A-2.7 | SCALE 1:75



6 | BLOCK T7 - WEST ELEVATION
A-2.7 | SCALE 1:75



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| | |
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HOBIN ARCHITECTURE INC.
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OTTAWA, ON K1S 3K7
CONTACT: MARK THYRBERG
PHONE: (613) 230-1200 x 105

PLANNING

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: ROBERT TRAN
PHONE: (613) 254-6643 x 212

LANDSCAPE

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: RYAN JAMES
PHONE: (613) 254-6643 x 222

TRAFFIC

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: BRAD BYVELDIS
PHONE: (613) 254-6643 x 206

CIVIL

NOVATECH
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CONTACT: TREVOR MCKAY
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SURVEYOR

ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 GONCOURSE SUITE 500
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CONTACT: ANDREA BIELLO
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GEOTECHNICAL

PATERSON GROUP INC.
11 AURORA DRIVE
OTTAWA, ON K2E 1T3
CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1351

| no. | date | revision |
|-----|------------|------------------------|
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
| 1 | 2024-10-11 | ISSUED FOR SPC |

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E: mail@hobinarc.com
hobinarc.com



PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
ELEVATIONS - BLOCK T7
BLOCK 28
295 DESCHÂTELETS AVE.

DRAWN BY: DATE: 24/09/23 **SCALE:** 1:75

PROJECT:

DRAWING NO.:

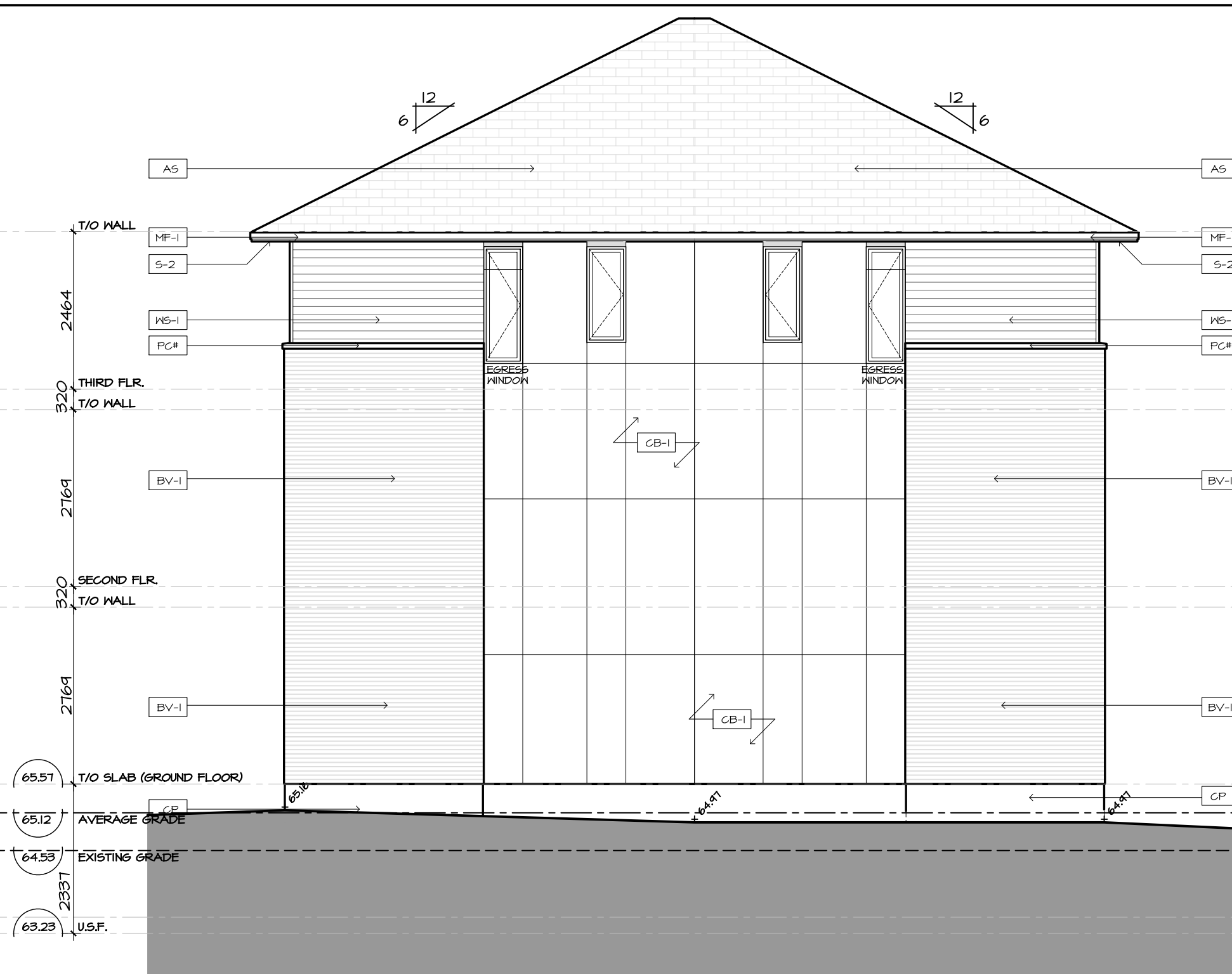
A2.07

REVISION NO.:



1 BLOCK T8 - NORTH-EAST ELEVATION

A2.08 SCALE 1:75



2 BLOCK T8 - SOUTH-WEST ELEVATION

A2.08 SCALE 1:75



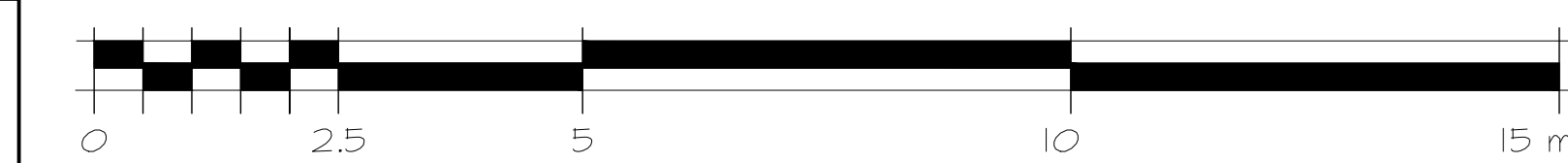
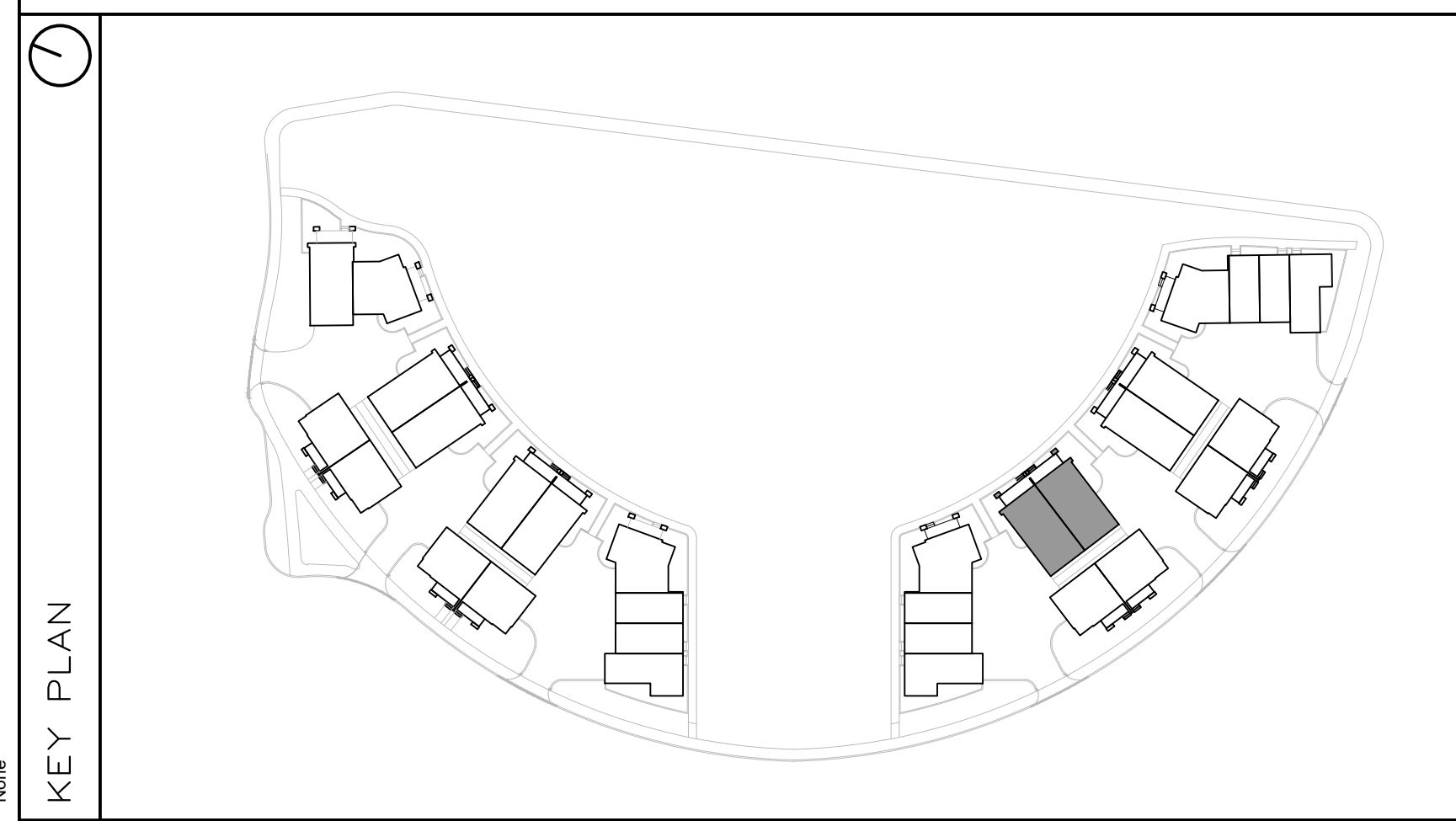
3 BLOCK T8 - SOUTH-EAST ELEVATION

A2.08 SCALE 1:75



4 BLOCK T8 - NORTH-WEST ELEVATION

A2.08 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAPT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
| S-2 | HARDIE SOFFIT PANEL C/W VENT STRIP BY GENTEG; COLOR: GRAPHITE (TBD) |
| WS-1 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: CHARCOAL (TBD) |
| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PAVING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

PROJECT CONSULTANTS

DEVELOPER / OWNER
 EQ HOMES INC.
 THE REGIONAL GROUP
 1751 WOODWARD DRIVE - 2ND FLOOR
 OTTAWA, ON K2C 0P6
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 63 PAMILLA STREET
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| | | |
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| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
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| no. | date | revision |

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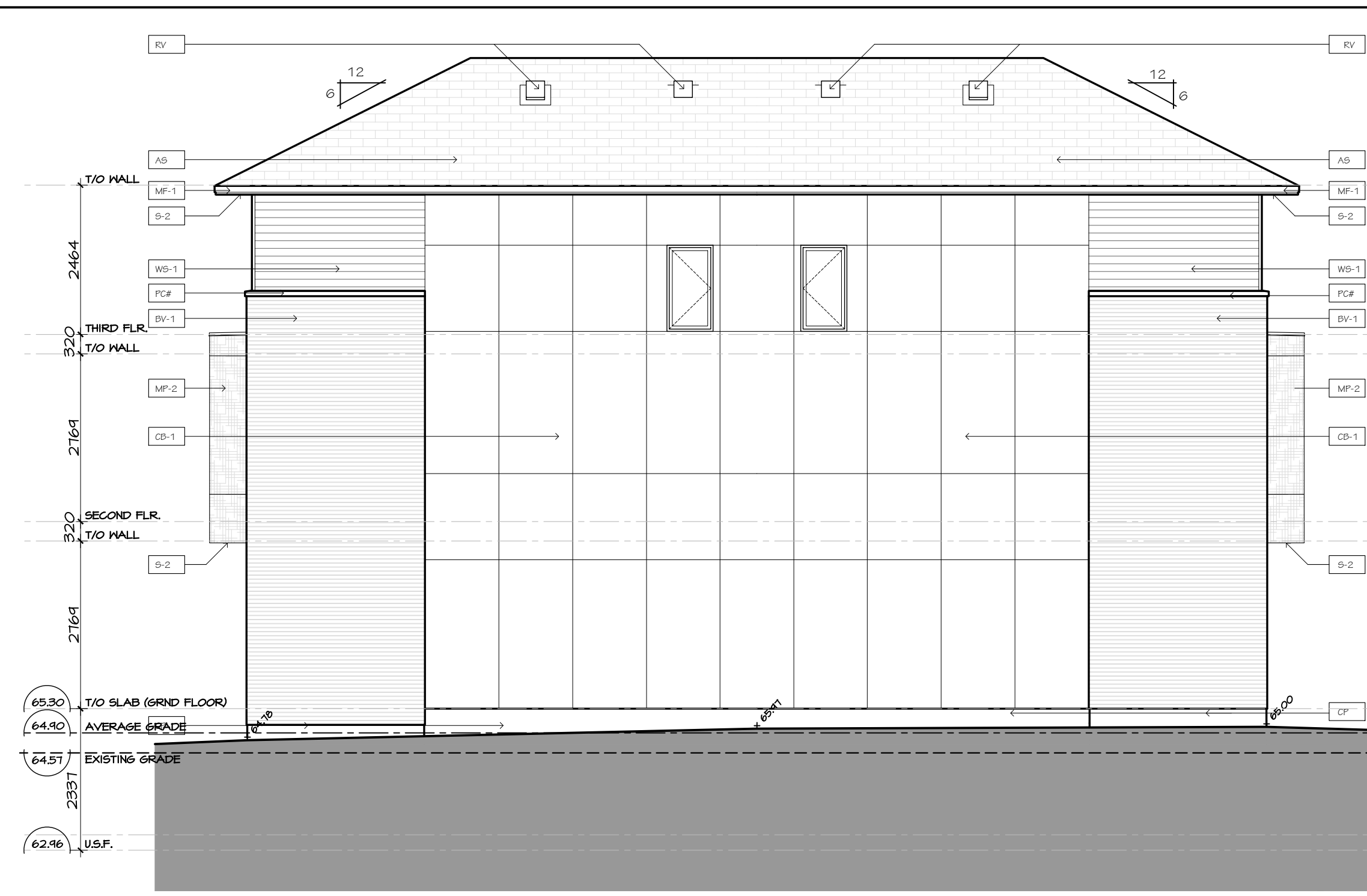
HOBIN
ARCHITECTURE

PROJECT/LOCATION:
 FORECOURT TOWNHOMES
 175 MAIN STREET - GREYSTONE

DRAWING TITLE:
 ELEVATIONS - BLOCK T8
 BLOCK 28
 295 DESCHÂTELETS AVE.

| | | |
|-----------|----------|--------|
| DRAWN BY: | DATE: | SCALE: |
| | 24/09/23 | 1:75 |

PROJECT:
 DRAWING NO.:
A2.08
 REVISION NO.:



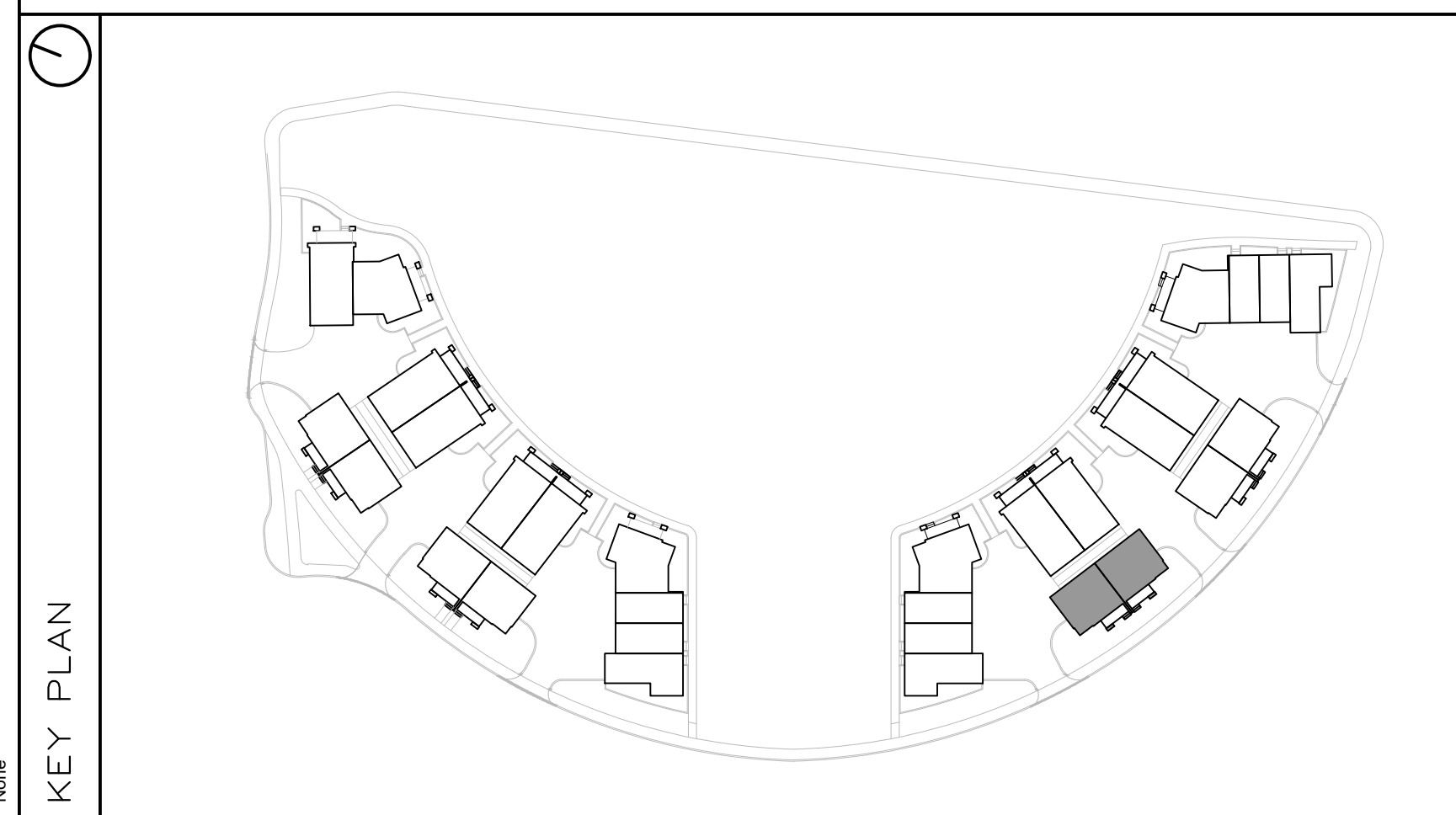
1 BLOCK T9 - SOUTH-WEST ELEVATION
A2.09 SCALE 1:75

2 BLOCK T9 - NORTH-EAST ELEVATION
A2.09 SCALE 1:75



3 BLOCK T9 - SOUTH-EAST ELEVATION
A2.09 SCALE 1:75

4 BLOCK T9 - NORTH-WEST ELEVATION
A2.09 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAFT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
| S-2 | HARDIE SOFFIT PANEL C/W VENT STRIP BY GENTEG; COLOR: GRAPHITE (TBD) |
| WS-1 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: CHARCOAL (TBD) |
| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PARPING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCNL | SCENCE LIGHTING |

PROJECT CONSULTANTS

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THE REGIONAL GROUP
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OTTAWA, ON K2M 3K7
CONTACT: MARK THIVERSE
PHONE: (613) 238-1200 x 105

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OTTAWA, ON K2M 1P6
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OTTAWA, ON K2E 1T3
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| no. | date | revision |
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hobinarc.com

HOBIN
ARCHITECTURE

PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
ELEVATIONS - BLOCK T9
BLOCK 28
295 DESCHÂTELETS AVE.

DRAWN BY: DATE: SCALE:
24/09/23 1:75

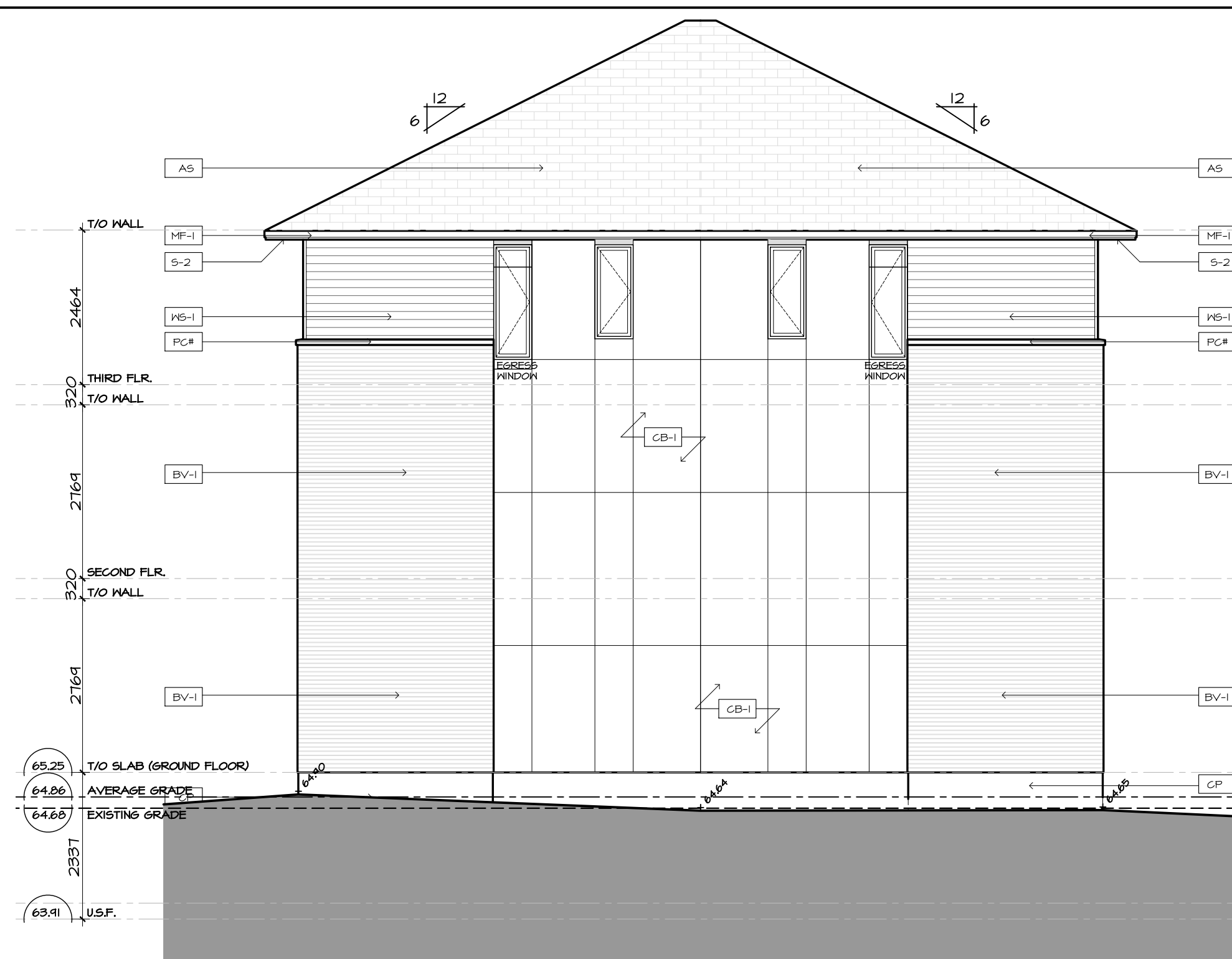
PROJECT:
DRAWING NO.:

A2.09

REVISION NO.:



1 | BLOCK T10 – NORTH ELEVATION
A2.10 | SCALE 1:175



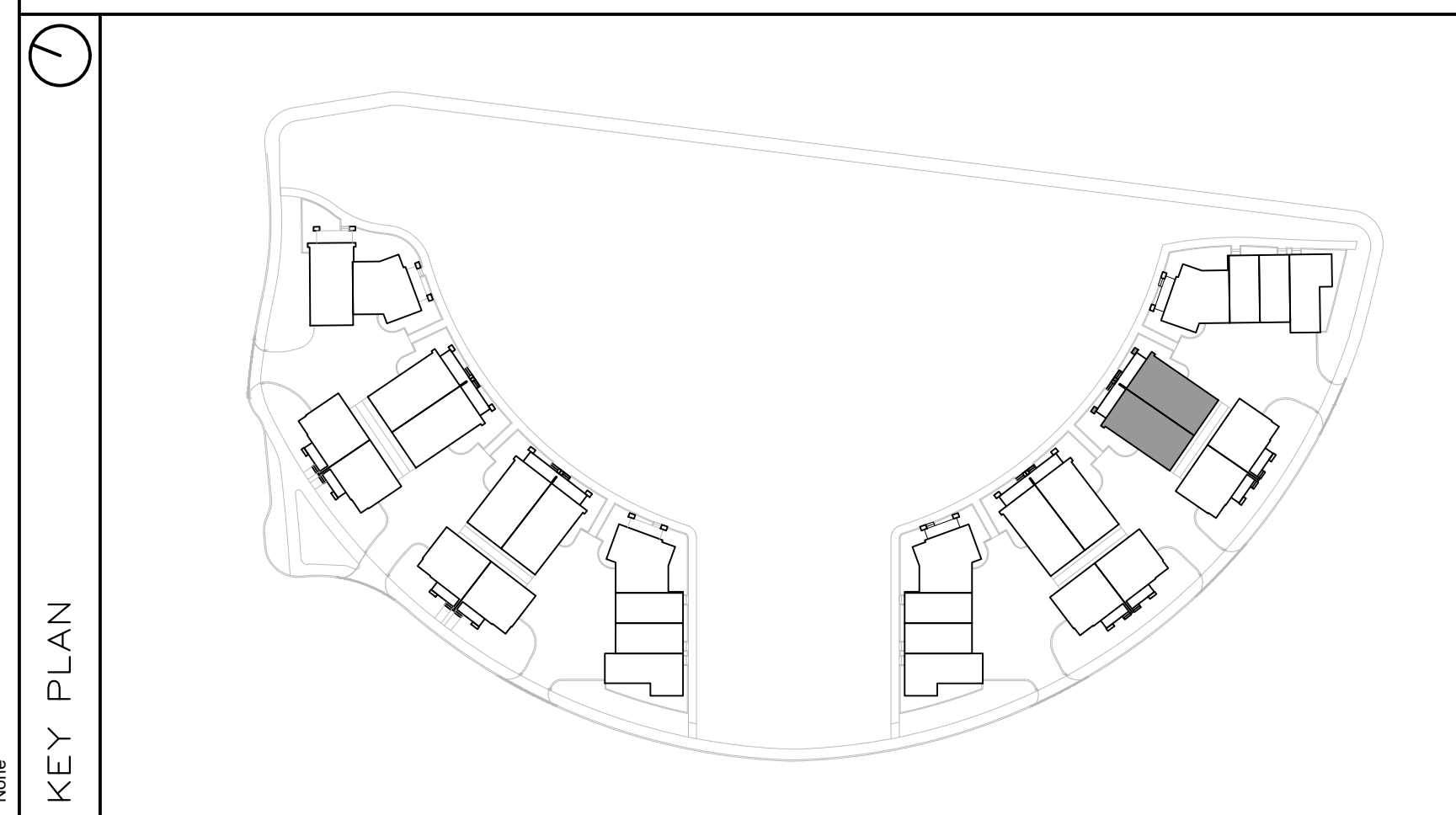
2 | BLOCK T10 – SOUTH ELEVATION
A2.10 | SCALE 1:175



3 | BLOCK T10 – EAST ELEVATION
A2.10 | SCALE 1:175



4 | BLOCK T10 – WEST ELEVATION
A2.10 | SCALE 1:175



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISCRAFT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
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| WS-1 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: CHARCOAL (TBD) |
| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| WS-3 | PRE-FIN. VERT. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PAVING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCOFF LIGHTING |

PROJECT CONSULTANTS

DEVELOPER / OWNER

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THE REGIONAL GROUP
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PLANNING

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
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LANDSCAPE

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CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1351

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| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
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PROJECT/LOCATION:
FORECOURT TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:
**ELEVATIONS - BLOCK T10
BLOCK 28
295 DESCHÂTELETS AVE.**

DRAWN BY: DATE: SCALE:
24/09/23 1:75

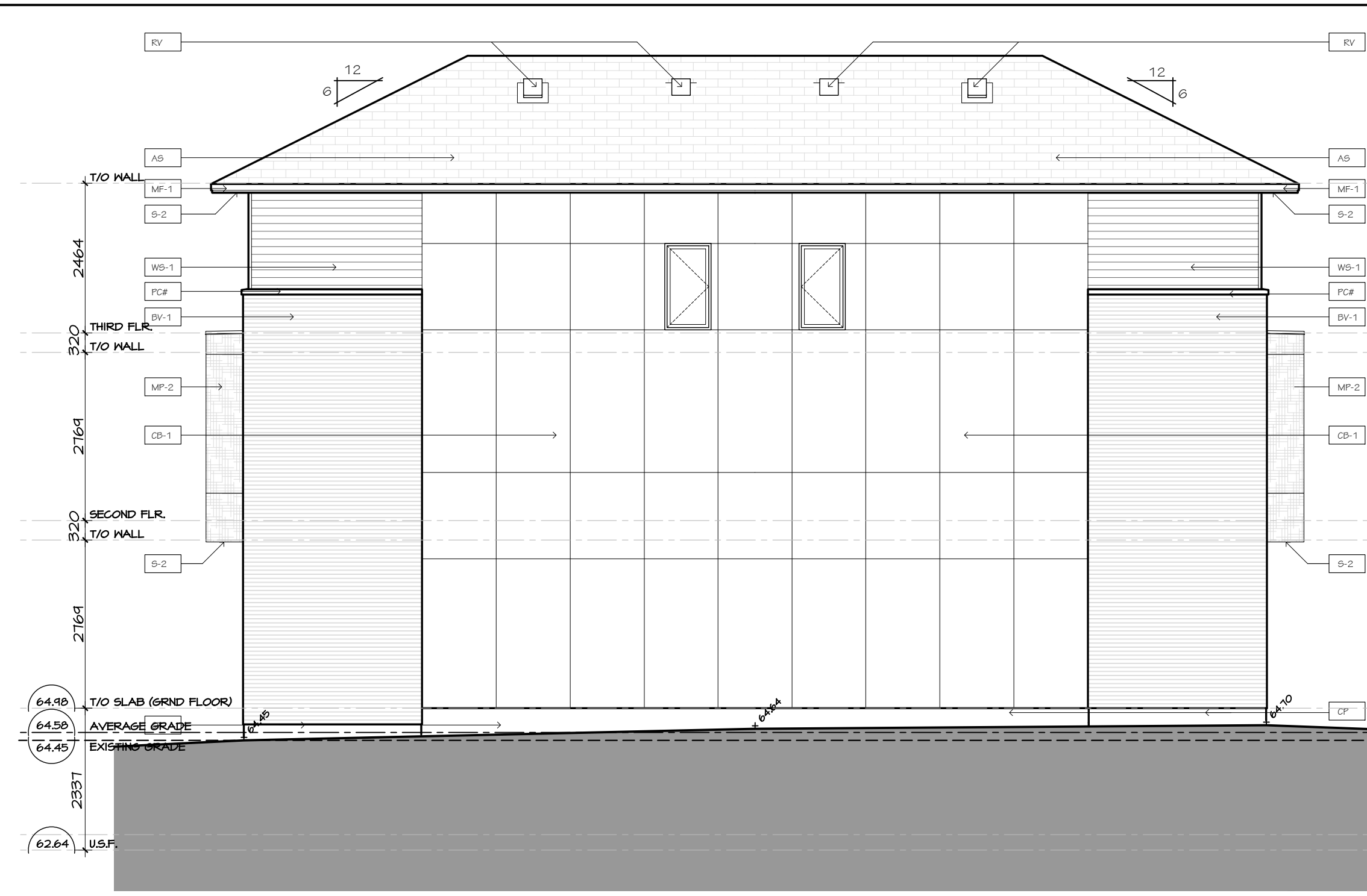
PROJECT:
DRAWING NO.:

A2.10

REVISION NO.:



1 BLOCK T11 - SOUTH ELEVATION
A2.11 SCALE 1:75

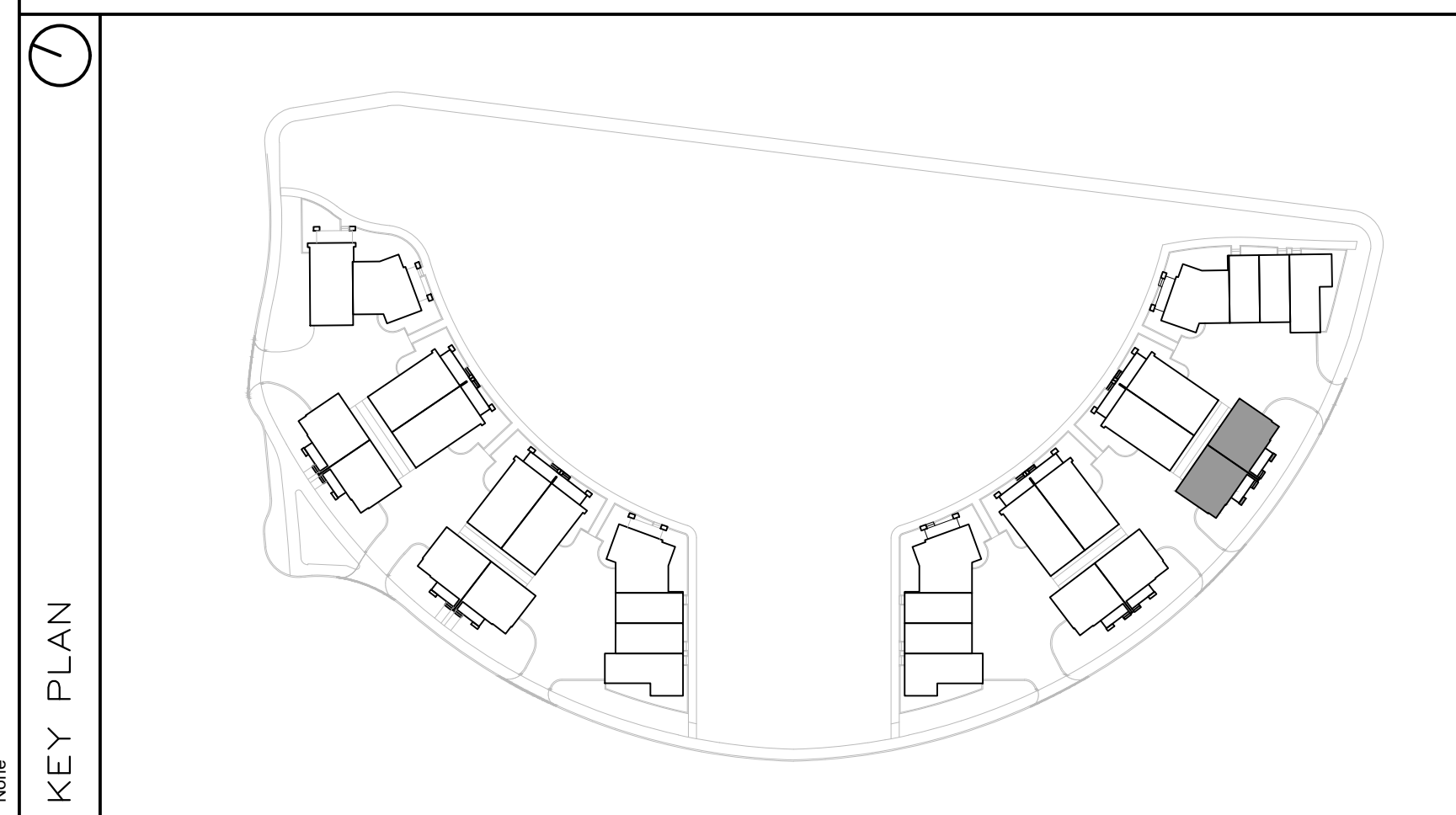


2 BLOCK T11 - NORTH ELEVATION
A2.11 SCALE 1:75



3 BLOCK T11 - EAST ELEVATION
A2.11 SCALE 1:75

4 BLOCK T11 - WEST ELEVATION
A2.11 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
|------|--|
| BV-1 | BRICK VENEER; COLOR TBD |
| SV-1 | STONE VENEER; ARRISGRAFT RENAISSANCE; COLOR: TBD |
| MF-1 | PRE-FIN. METAL FLASHING; COLOR: GRAPHITE |
| MP-1 | ZINC OR EQUIVALENT METAL PANEL; COLOR: CHARCOAL |
| MP-2 | COPPER OR EQUIVALENT METAL PANEL; COLOR: COPPER |
| S-1 | T&G CEDAR SOFFIT C/W PRE-FIN. METAL VENT STRIPS |
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| WS-2 | PRE-FIN. HORIZ. WOOD (5"); SIDING BY CAPE COD; COLOR: 'LIGHT' (TBD) |
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| CB-1 | CEMENT BOARD PANELS |
| PC# | PRECAST CONCRETE (PROFILE #) |
| CP | CEMENT PARGING |
| GR | PRE-FIN. PRE-ENG. ALUM. & GLASS GUARDRAIL |
| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCOL | SCONCE LIGHTING |

PROJECT CONSULTANTS

DEVELOPER / OWNER

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PLANNING

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CONTACT: ROBERT TRAN
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LANDSCAPE

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PROJECT/LOCATION:

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TOWNHOMES
175 MAIN STREET - GREYSTONE

DRAWING TITLE:

ELEVATIONS - BLOCK T11
BLOCK 28
295 DESCHÂTELETS AVE.

DRAWN BY:

DATE:
24/09/23

SCALE:

1:75

PROJECT:

DRAWING NO.:

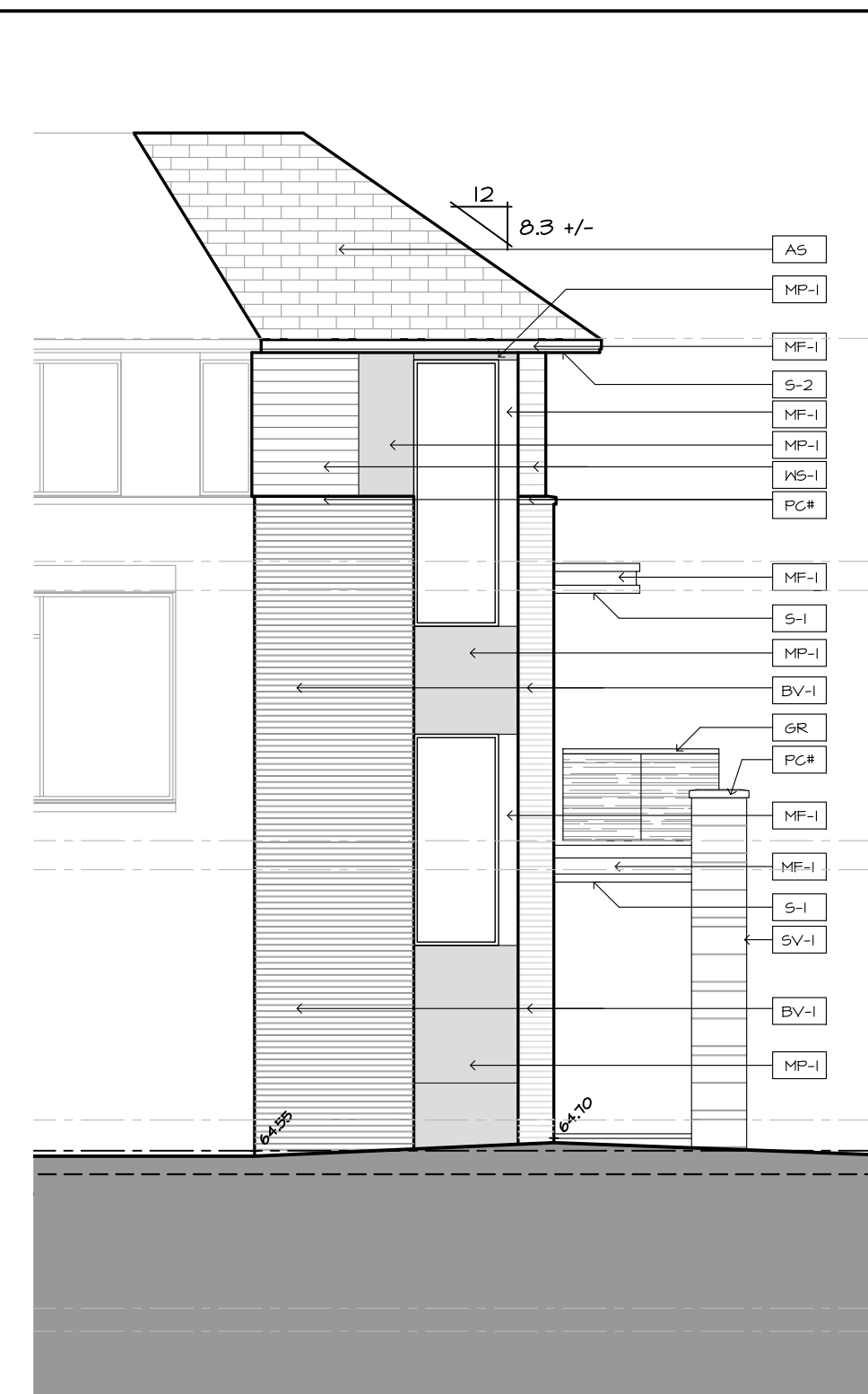
A2.11

REVISION NO.:

City Plan No.: #19191



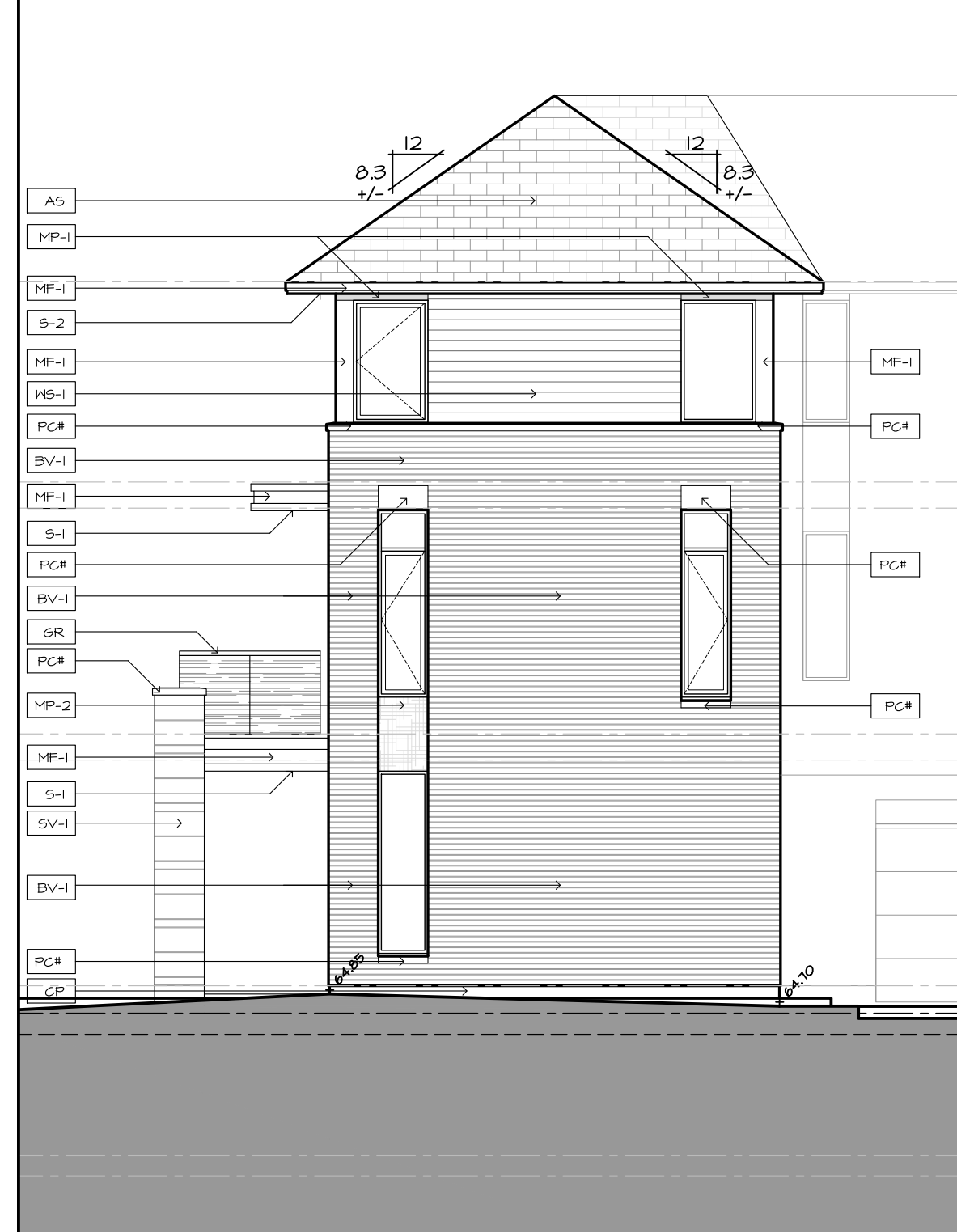
1 BLOCK T12 - NORTH-EAST ELEVATION
A2.12 SCALE 1:75



2 BLOCK T12 - EAST ELEVATION
A2.12 SCALE 1:75



3 BLOCK T12 - NORTH ELEVATION
A2.12 SCALE 1:75



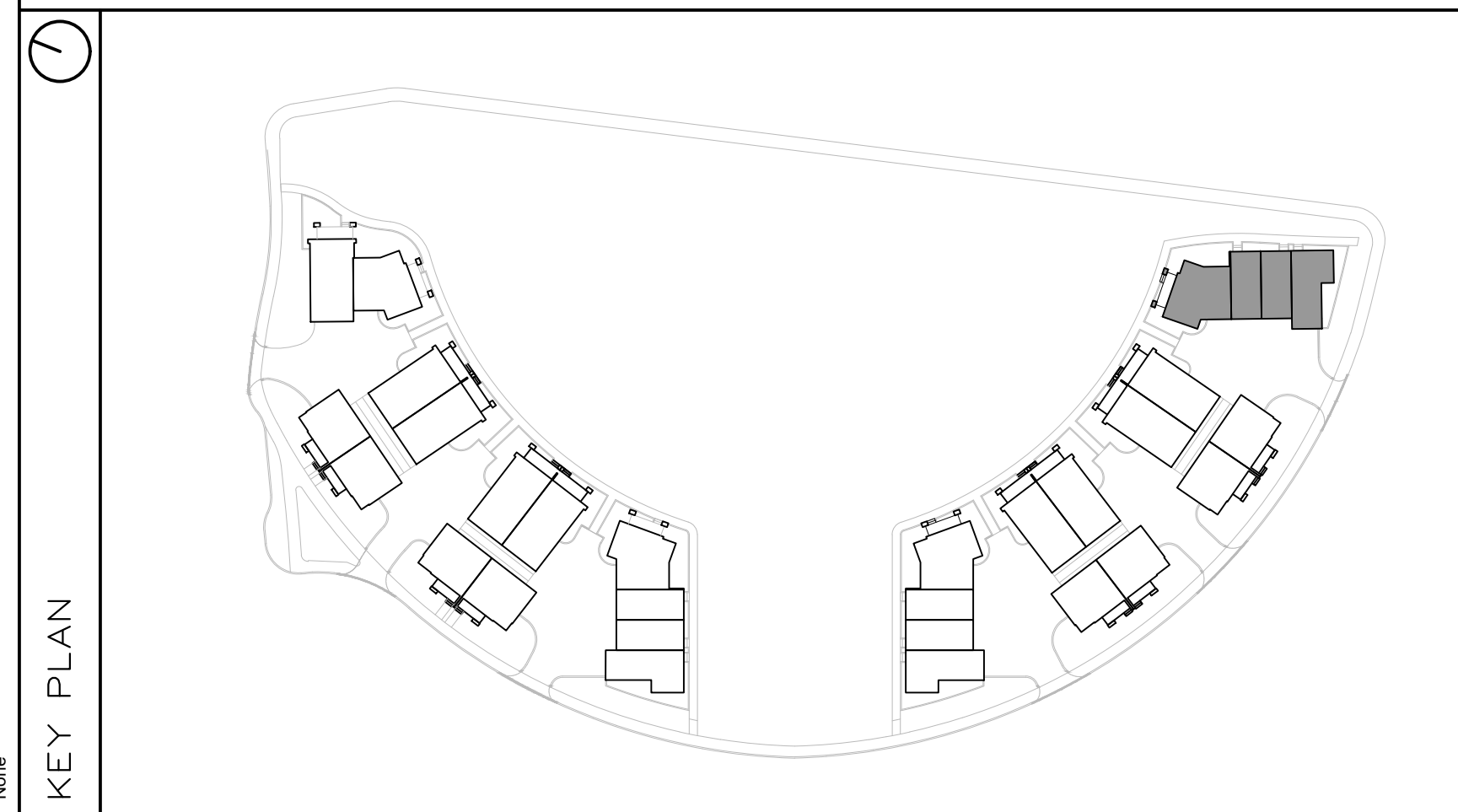
4 BLOCK T12 - WEST ELEVATION
A2.12 SCALE 1:75



5 BLOCK T12 - SOUTH-WEST ELEVATION
A2.12 SCALE 1:75



6 BLOCK T12 - SOUTH-EAST ELEVATION
A2.12 SCALE 1:75



FINISH MATERIAL LEGEND:

| | |
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| RV | ROOF VENT |
| AS | ASPHALT SHINGLES |
| SCON | SCONCE LIGHTING |

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LANDSCAPE

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: RYAN JAMES
PHONE: (613) 254-4643 x 222

TRAFFIC

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: BRAD BYVELDIS
PHONE: (613) 254-4643 x 206

CIVIL

NOVATECH
240 MICHAEL CONFLAND DRIVE SUITE 200
OTTAWA, ON K2M 1P6
CONTACT: TREVOR MCKAY
PHONE: (613) 254-4643 x 201

SURVEYOR

ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 GONCOURSE SAITE SUITE 500
OTTAWA, ON K2E 1T6
CONTACT: ANDREA SHEL
PHONE: (613) 717-4952 x 226

GEOTECHNICAL

PATERSON GROUP INC.
11 AURIGA DRIVE
OTTAWA, ON K2E 1T3
CONTACT: SCOTT S. DENNIS
PHONE: (613) 226-1351

| no. | date | revision |
|-----|------------|------------------------|
| 2 | 2024-11-29 | REISSUED FOR ZBA + SPC |
| 1 | 2024-10-11 | ISSUED FOR SPC |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT/LOCATION:

FORECOURT TOWNHOMES

175 MAIN STREET - GREYSTONE

DRAWING TITLE:

ELEVATIONS - BLOCK T12
BLOCK 28
295 DESCHÂTELETS AVE.

DRAWN BY:

DATE:

24/09/23

SCALE:

1:75

PROJECT:

DRAWING NO.:

A2.12

REVISION NO.:

City Plan No.: #19191

File Number: D07-12-24-0130

Appendix B:
Architectural Renders



GREYSTONE FORECOURT

VIEW TOWARDS BLOCK 29 LOOKING NORTH
FROM FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

AERIAL VIEW OF BLOCK 28 FACING WEST
FROM ABOVE FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

FRONT VIEW OF A2 BLOCK LOOKING
NORTH FROM FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

FRONT VIEW OF A2 AND A3 UNITS LOOKING WEST
FROM FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

VIEW ALONG PRIVATE WALKWAY IN FRONT OF A3
UNIT LOOKING WEST

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

ANGLED VIEW OF A2 AND A3 UNITS LOOKING WEST
FROM FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

ANGLED VIEW OF TOWNHOME BLOCK LOOKING
NORTH FROM GRAND ALLEE

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

FRONT VIEW OF TOWNHOME BLOCK LOOKING
NORTH FROM GRAND ALLEE

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

FRONT VIEW OF C BLOCK LOOKING EAST FROM
DESCHATELETS

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

FRONT VIEW OF A2b/A3 BLOCK LOOKING WEST
FROM FORECOURT

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

VIEW TOWARDS TYPICAL CARCOURT ENTRY FROM
DESCHATELETS LOOKING EAST

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191



GREYSTONE FORECOURT

VIEW TOWARDS DESCHATELETS BUILDING
FROM GRAND ALLEE AT DESCHATELETS

NOVEMBER 29th, 2024

File Number: D07-12-24-0130



GREYSTONE FORECOURT

VIEW TOWARDS C BLOCKS FROM CORNER OF DES
OBLATES AND DESCHATELETS

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191





GREYSTONE FORECOURT

VIEW TOWARDS TOWNHOME BLOCK FROM
CORNER OF DESCHATELETS AND DE MAZENOD

NOVEMBER 29th, 2024

File Number: D07-12-24-0130

City Plan No.: #19191