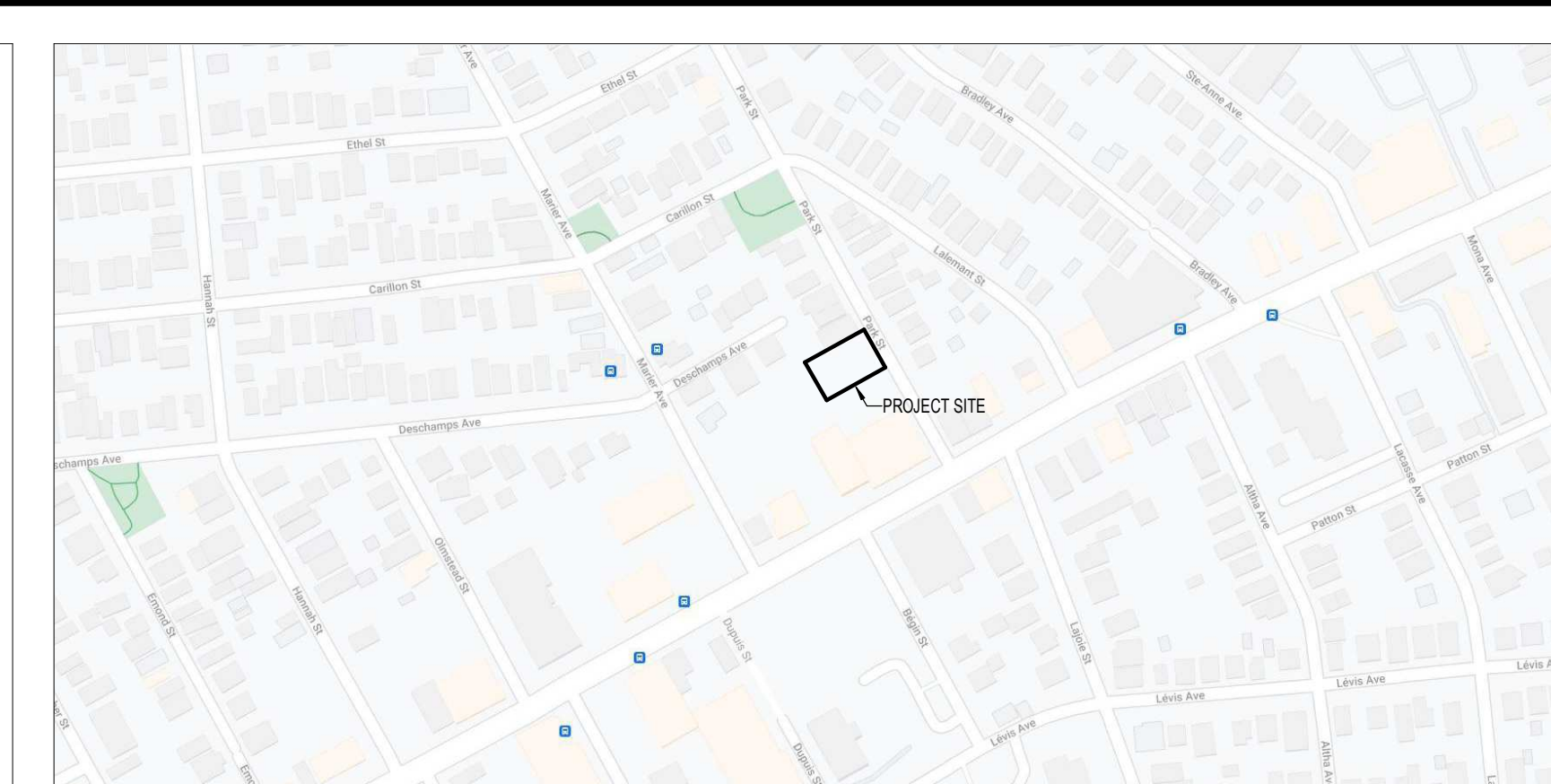
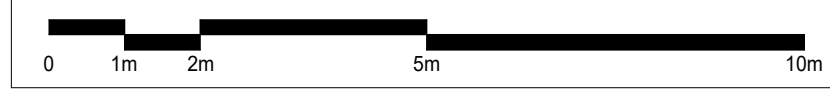


**1 SITE PLAN**  
SP-01 SCALE: 1:100



**2 LOCATION PLAN**  
SP-01 SCALE: N.T.S.

**SITE STATISTICS**

1. Designation	TM3 (2939)
2. Number of Units	18 units
3. GFA	956.75 m <sup>2</sup>
4. Proposed Use	Low-rise Apartment Building

**ZONING MECHANISM**

ZONING MECHANISM	REQUIRED	PROVIDED
5. Min. Lot Width Table 197(b)	No minimum	19.74 m
6. Min. Lot Area Table 197(a)	No minimum	607.97 m <sup>2</sup>
7. Max. Building Height Table 197(4)(e)	20 m	10.7 m
8. Max. Front Yard Setback Table 197(4)(a)	5 m	4.7 m
9. Min. Interior Side Yard Setback Table 197(d)	1.2 m	1.5 m
10. Min. Rear Yard Setback Exception 2939	6.7 m	6.7 m
11. Resident Parking Exception 2939	0 spaces	0 spaces
12. Visitor Parking Exception 2939	0 spaces	0 spaces
13. Bicycle Parking Table 111A (b)	9 (18 units - 18 x 0.5)	20 (Stacked)
14. Min. Width of Landscaped Area Table 197(i)	3 m in North yard (or 1.4m if fence); No min. in South yard	1.5m
15. Amenity Area Table 137(4)	108 m <sup>2</sup> / unit	110 m <sup>2</sup>
16. Maximum Floor Space Index Table 197(h)	No maximum	1.38

**SITE PLAN BASED ON**  
TOPOGRAPHIC PLAN OF SURVEY OF LOTS 184 AND 185 REGISTERED PLAN 246 CITY OF OTTAWA  
SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.

**DEVELOPPER:**  
CONCORDE PROPERTIES  
438 TROUSDEAU AVENUE,  
OTTAWA, ON K1Z 5N5

**APPRAISER:**  
FOTENI PLANNING + DESIGN  
396 COOPER ST SUITE 300,  
OTTAWA, ON K2P 2H7

**ARCHITECT:**  
PROJECT1 STUDIO  
280 ST. PATRICK ST #300,  
OTTAWA, ON K1N 3K5

**LANDSCAPE:**  
RUKLAND & ASSOCIATES LTD.  
1750 COURTHOOD CRESCENT #200,  
OTTAWA, ON K2C 2B5

**ENGINEER:**  
D.B. GRAY ENGINEERING INC.  
700 LONG POINT CIRCLE,  
OTTAWA, ON K1T 4E9

**SURVYOR:**  
ANNIS, O'SULLIVAN, VOLLEBECK LTD.  
14 CONCORDE GATE, SUITE 500,  
NEPEAN, ON K2E 7S6

- (S1) SOFT LANDSCAPING
- (S2) INTERLOCKING STONE PATHWAY
- (S3) POURED CONCRETE RETAINING WALL
- (S4) WINDOW WELL
- (S5) PROPOSED BOARD FENCE
- (S6) EXISTING BOARD FENCE TO BE REMOVED
- (S7) EXISTING GUARD RAIL TO BE REMOVED
- (S8) EXISTING CONCRETE RETAINING WALL
- (S9) STEEL HANDRAIL
- (S10) HARD LANDSCAPING

**KEYNOTE LEGEND**  
SCALE: N.T.S.

- SITE PLAN SYMBOLS LEGEND**
- BUILDING ENTRANCE
  - BUILDING EXIT
  - EXISTING UTILITY POLE
  - PROPERTY LINE
  - SETBACK LINE
  - OVERHEAD WIRES
  - AMENITY AREA
  - BICYCLE PARKING

**SYMBOLS LEGEND**  
SCALE: N.T.S.

**GENERAL ARCHITECTURAL NOTES:**

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

**ISSUE RECORD**

13	RE-ISSUED FOR SITE PLAN CONTROL	24-10-29
10	RE-ISSUED FOR SITE PLAN CONTROL	24-09-05
9	RE-ISSUED FOR SITE PLAN CONTROL	24-07-23
8	ISSUED FOR COORDINATION	24-07-23
7	ISSUED FOR COORDINATION	24-07-08
6	ISSUED FOR COORDINATION	23-10-23
5	ISSUED FOR COORDINATION	23-10-19
4	ISSUED FOR SITE PLAN CONTROL	23-03-30
2	ISSUED FOR COORDINATION	23-03-03
1	ISSUED FOR COORDINATION	23-02-02



*Andrew McCreight*

**ANDREW MCCREIGHT**  
MANAGER, DEVELOPMENT REVIEW CENTRAL  
PLANNING, DEVELOPMENT & BUILDING SERVICES  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Andrew McCreight at 11:49 am, Nov 01, 2024



**266 Park**  
266 Park Street  
Ottawa, On

PROJ	SCALE	DRAWN	REVIEWED
2223	NOTED	AR	RMK

**SITE PLAN**

**SP-01**