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# ZONING CONFIRMATION REPORT

SITE PLAN CONTROL

SUBJECT SITE: 116-118 CARRUTHERS AVENUE



REPORT DATE: NOVEMBER 15, 2024

PREPARED FOR: MA PRECISION HOLDING

PREPARED BY: Q9 PLANNING + DESIGN INC.



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## 1.0 PROJECT INFORMATION

PROJECT INFORMATION			
<b>Review Date</b>	November 14, 2024	<b>Official Plan Designation</b>	Neighbourhood, Inner Urban Transect.
<b>Municipal Addresses</b>	116-118 Carruthers Avenue	<b>Legal Description</b>	Part of Lot 15, West Carruthers Avenue Registered Plan 35, City of Ottawa
<b>Scope of Work</b>	To develop the subject site with a 4-storey, 17-unit low-rise apartment dwelling with 1 parking space.		
<b>Existing Zoning Code</b>	R4UD	<b>By-Law Number</b>	2008-250
<b>Schedule 1 / 1A Area</b>	Area Z	<b>Overlays Applicable</b>	Evolving Neighbourhood Overlay

## 2.0 OFFICIAL PLAN

### 2.1 Official Plan Designation

The site, 116 Carruthers Avenue, is designated **Neighbourhood with an Evolving Neighbourhood Overlay** in the Official Plan as shown on Schedule B2 – Inner Urban Transect.

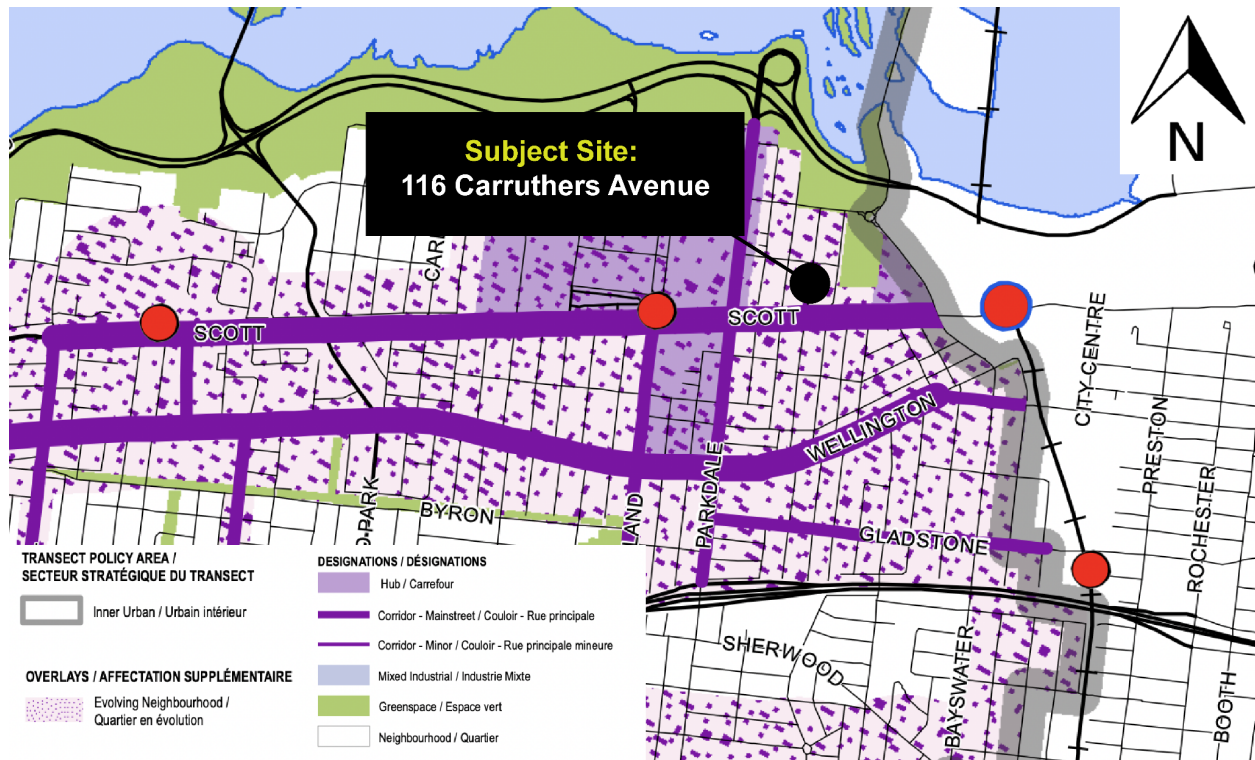


Figure 1, Map of Subject Site within Inner Urban Transect, Schedule B2 (Source: City of Ottawa).

The City of Ottawa Official Plan was adopted by City Council on November 24th, 2021 and approved by the MMAH on November 4th, 2022. The Plan is intended to manage growth and change in Ottawa to the year 2046.

Section 2 contains the overall strategic direction of the new Official Plan and is based around the Five Big Policy Moves, which are intended to make Ottawa the most liveable mid-sized City in North America. The Five Big Moves call for increased growth through intensification, sustainable transportation, context-based urban and community design, environmental, climate, and health resiliency embedded into planning policy, and planning policies based on economic development. Six cross-cutting issues have also been identified as essential to the achievement of liveable cities, which are related to intensification, economic development, energy and climate change, healthy and inclusive communities, gender equity, and culture.

**Comment** | The proposed development results in 17 new dwelling units, contributing low-rise intensification in an existing urban area. This intensification aligns with the planned growth strategies for areas near major transit hubs like Tunney's Pasture and Mainstreet Corridors. By



adding residential density in proximity to these key locations, the project promotes the use of public transportation, reduces reliance on vehicles, and supports the principles of transit-oriented development. Additionally, it enhances urban living by providing residents with convenient access to a variety of amenities and services available along Mainstreet Corridors, thereby contributing to the economic vitality and vibrancy of the neighborhood.

Section 3 of the Official Plan provides a growth management framework that plans for growth across different geographies in the city. Most growth is to occur in the urban area, which contains six different transect policy areas that have grown and are expected to grow in varying ways. The central link between all transect policies is the creation and connection of networks of 15-minute communities.

**Comment** | The proposed 17-unit, 4-storey low-rise apartment aligns with the concept of a 15-minute community by increasing residential density and promoting accessibility to essential services and amenities within a short walk or bike ride. Located near public transit and incorporating ample bicycle parking, the development supports sustainable transportation and reduces reliance on cars.

Section 4 of the Official Plan provides policies applicable to development throughout the City. It includes policies for more sustainable modes of transportation and the design and creation of healthy, 15-minute neighbourhoods. This includes the provision of jobs, recreational amenities, and retail uses within a 15-minute walking distance of residential uses.

Section 4.6 provides policies aimed at regulating urban design, focusing on creating built form and public realms that enhance the concept of healthy, 15-minute neighbourhoods. It emphasizes design excellence citywide, particularly in Design Priority Areas, although the subject site itself is not located within such an area.

**Comment** | The proposed development enhances the neighborhood through compatible infill, introducing additional density with a low-rise apartment. Its four-storey height aligns well with the area, where two-storey and existing four-storey buildings are prevalent and permitted within the designation. The architectural design features stepbacks above the second floor, a variety of materials, and distinctive balcony designs along the facades. Walkways and the existing right-of-way allows residents easy access to amenities such as the rear yard, which features a garbage shed and covered bicycle spaces.

Section 5 provides detailed policies for each of the six transect policy areas within the City. Each of the transect policy areas recognize the existing development patterns and provide tailored approaches to transition towards healthier, more sustainable 15-minute communities. The subject site is located within the **Inner Urban Transect** and is designated **Neighbourhood**. It is also part of the **Evolving Overlay** due to proximity to Scott Street.

Section 5.2 provides policies for the Inner Urban Transect, which represents pre-war neighbourhoods surrounding the Downtown Core and the adjacent post-war neighbourhoods. The intent of Section 5.2 is to enhance the existing urban built form pattern, site design, and mix of uses. It is generally planned for mid-to-high density development, subject to transit proximity and secondary plans or area-specific policies. Within Neighbourhoods, between two and four storeys is permitted.

**Comment** | The proposed 4-storey, 17-unit low-rise rental apartment is a contextually appropriate example of built form and intensification in the Evolving Overlay area. The design effectively utilizes the lot, offering appropriate setbacks and massing, while the front facade balconies enhance the streetscape quality. The project maintains human-scale development and supports the 15-minute community concept, giving residents convenient access to transit, amenities, and services.

Section 5.6.1 provides policies for built form overlays, including the Evolving Overlay. The Evolving Overlay applies to areas in close proximity to Hubs and Corridors which will gradually evolve to support intensification, transitioning from a suburban to an urban character.

**Comment** | The proposed development aligns with the planned 2 - 4 storey height context for Neighbourhoods within the Inner Urban Transect, while retaining a built form pattern and lot-to-structure ratio typical of low-rise rental apartments in urban areas. It enhances the character of the neighborhood and achieves a degree of intensification that maintains an appropriate built form, offering a quantity of rental units that acknowledges the site's proximity to a major transit station and a Main Street Corridor.

Section 6.0 contains policies specific to designations within the urban settlement area.

Section 6.3 contains policies that pertain to Neighbourhoods. These are contiguous urban areas that form the heart of communities and consist of a mix of densities and built forms. Neighbourhoods are noted as being at different types and stages of development, maturity, and evolution. A variety of dwelling types and densities are permitted in Neighbourhoods, with the intent of creating and reinforcing 15-minute communities through gradual, context-sensitive development. Permitted building heights are generally 2-4 storeys, which transition in height and density from the neighbourhood interior towards Corridors and Hubs.

**Comment** | The proposed development is a representation of this transition and evolution within the neighbourhood moving from a 1-storey single detached and a 2-storey single detached into a 4-storey low-rise rental apartment. Carruthers Avenue currently features a variety of developments ranging from 2-4 storeys.

## 3.0 ZONING REVIEW

The City of Ottawa zones this site as **R4UD - Residential Fourth Density, Subzone UD** in the City of Ottawa Zoning By-law 2008-250.

The R4UD Zone allows various residential building types while its design standards ensure development fits with current land use patterns, preserving or enhancing the neighborhood's character.

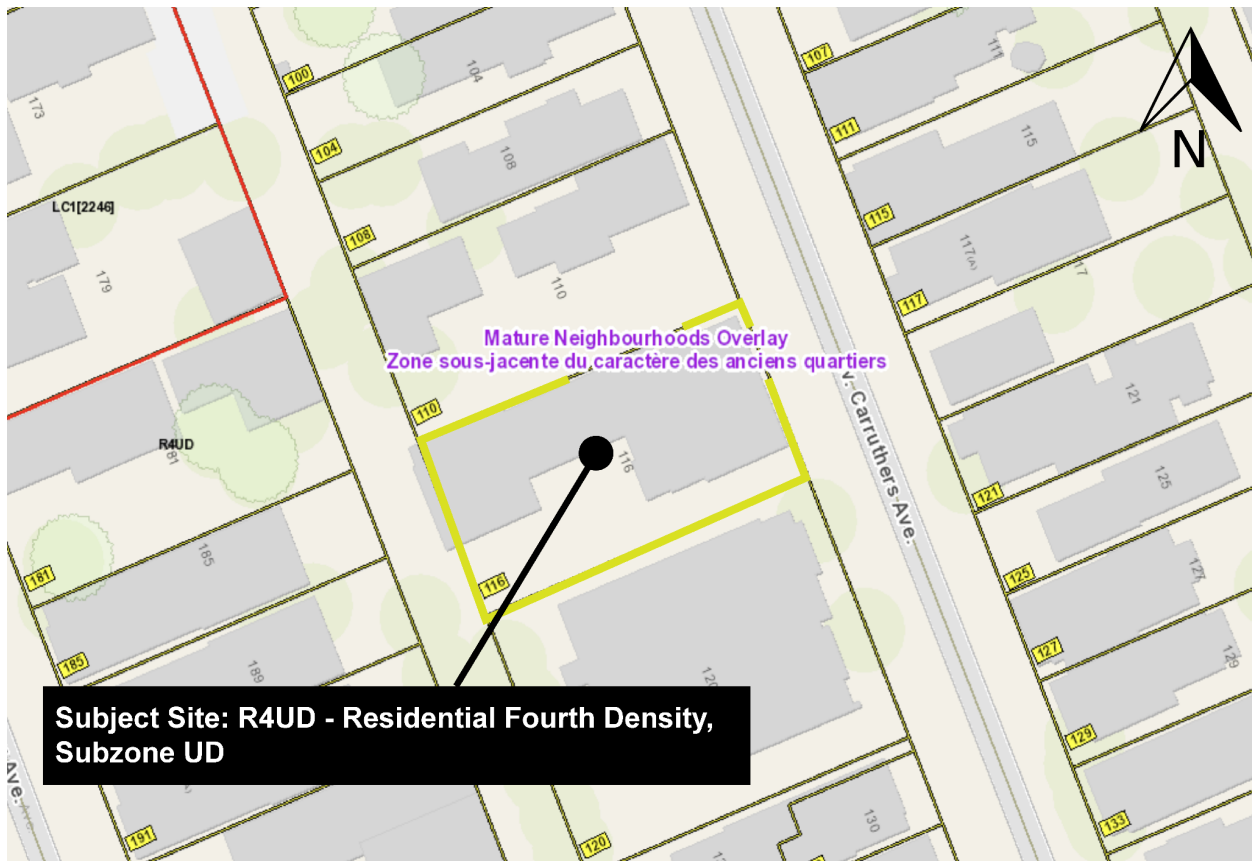


Figure 2, Map of Subject Site Zoning (Source: GeoOttawa).

### 3.1 Use Permissions

The subject site permits a variety of uses under the Residential Fourth Density category, including the use proposed being: **Apartment Dwelling, Low Rise** (By-law 2012-334) (By-law 2014-189)



## PROPOSED USE PERMITTED



## 4.0 PERFORMANCE STANDARD REVIEW

The following table reviews the applicable site performance standards against the proposed development. Any non-compliance items are noted in red and bolded.

**Details:**

Lot Area: 456.07 m<sup>2</sup>

Lot Width: 15.29 m

Building area: 1017.2 m<sup>2</sup>

Gross Floor Area: 758 m<sup>2</sup>

Units: 17

Parking Spaces: 1 Visitor Vehicle / 19 Bicycle Parking Spaces

Proposed Zone	R4 UD		
Zoning Provisions	By-Law Requirement	Proposed	Compliance
<b>Principal Land Use(s)</b>	Section 161-162 of By-law 2008-250	Apartment, low-rise	Yes
<b>Min Lot Width</b>	15 m	15.29 m	Yes
<b>Min Lot Area</b>	450 m <sup>2</sup>	456.07 m <sup>2</sup>	Yes
<b>Min Front Yard Setback</b>	Lesser of the average of abutting lots' corresponding FYS (~ 1.99 m) or 4.5 m	2 m	Yes
<b>Min Interior Side Yard Setback</b>	Minimum 1.5 m	1.5 m, 2.44 m	Yes
<b>Min Rear Yard Setback</b>	30% of lot depth (8.952m)	9 m	Yes
<b>Min Rear Yard Area</b>	25% of lot area (114.32 m <sup>2</sup> )	133.3 m <sup>2</sup>	Yes
<b>Lot Coverage</b>	25% of lot area (114.32 m <sup>2</sup> )	46%	Yes
<b>Percentage of Landscape Area of the Lot Area</b>	30% of lot area (136.82 m <sup>2</sup> )	46.13% (210.38 m <sup>2</sup> )	Yes
<b>Max Building Height</b>	14.5 m	TBD <14.5 m	Yes
<b>Minimum Area of Soft Landscaping in Rear Yard</b>	On a lot greater than 450 m <sup>2</sup> in area: 50% of rear yard	50.6% (65.47 m <sup>2</sup> )	Yes

	Minimum aggregate area of 25 m <sup>2</sup> , with a longer dimension $\leq 2 \times$ shorter dimension		
<b>Minimum Aggregate Front Yard Soft Landscaped Area</b>	For lot where FYS is 1.5-3m: 20% (7.64 m <sup>2</sup> )	20.4 m <sup>2</sup>	Yes
<b>Minimum Fenestration requirement</b>	Front facade: at least 25% windows	34% windows	Yes
<b>Minimum Front Facade Additional Recess</b>	At least 20% of front facade minimum of 0.6 m from front setback line	23.6%	Yes
<b>Minimum Vehicular Parking (Residents) Area Z on Schedule 1A</b>	0	0	Yes
<b>Minimum Vehicular Parking (Visitor)</b>	No Visitor parking spaces are required for the first 12 units, 0.1 per unit parking space per unit after 12 units ((17-12)x0.1=0.5 (1) parking space)	1	Yes
<b>Minimum Parking Space</b>	2.6 m (width) x 5.2 m (length) Maximum width of 3.1 m	2.6 m x 5.2 m	Yes
<b>Unit Breakdown</b>	25% 2 bedroom units	25% 2 bedroom units	Yes
<b>Minimum Bicycle Parking</b>	0.5 per du (17x0.5=8.5) (9 parking spaces)	19 parking spaces	Yes
<b>Amenity Area</b>	0	133.3 m <sup>2</sup> rear yard 13.7 m <sup>2</sup> balcony 46 m <sup>2</sup> roof top patio	Yes



**BUILT FORM COMPLIANT**

## 5.0 CONCLUSION

This report confirms that the proposed uses are permitted and that the development as proposed is in conformity with the relevant zoning performance standards.

Sincerely,

A handwritten signature in dark ink, appearing to read "Dayna Edwards". The signature is fluid and cursive, with the first name "Dayna" and last name "Edwards" clearly distinguishable.

**REPORT PREPARED BY:**

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