



116-118 CARRUTHERS AVENUE

SITE PLAN OF SURVEY PART OF LOT 15 WEST CARRUTHERS AVENUE

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., COMPLETED MARCH 1, 2024 R4UD - RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA; DWELLING TYPE: 4 STOREY LOW-RISE RESIDENTIAL ZONING MECHANISMS PROVIDED SECTION A) MINIMUM LOT AREA 450 m² 456.07 m² Section 162, Table 162A B) MINIMUM LOT WIDTH 15 m 15.29 m Section 162, Table 162A C) MINIMUM LOT DEPTH N/A 29.84 m Section 162, Table 162A D) MINIMUM FRONT YARD SET BACK Lesser of the average of abutting lots' corresponding FYS (~ 1.99 m) or 4.5 m 2 m Section 144(1)(a); Section 162, Table 162A E) MINIMUM INTERIOR SIDE YARD SET BACK 1.5 m 1.5 m, 2.44 m Section 144, Table 144A F) MINIMUM REAR YARD SETBACK %30 of lot depth (8.952m) 9 m Section 144(3)(a)	SITE PLAN OF SURVEY REGISTERED PLAN 35,		WEST CARRUTHERS AVENUE		
DIMELIUM TOP ADDRESS REQUIREMENT PROVIDE SECTION A) MINMUN LOT AREA 450 m² 686.07 m² Section 102, Table 102A B) MINMUN LOT AREA 15 m 19.28 m Section 102, Table 102A B) MINMUN LOT AREA 20.00 minut Section 102, Table 102A Section 102, Table 102A D) MINMUN HONT VAID SET BACK Longer of the memory of abuilty pitch 2 m Section 144 (13) (20) D) MINMUN REAR YARD SET BACK 1.5 m 1.5 m Section 144, Table 142A D) MINMUN REAR YARD AREA 25% of lot area (114.32 m2) 133.3 m2 Section 144 (14) (20) D) MINMUN REAR YARD AREA 25% of lot area (114.32 m2) 133.3 m2 Section 161 (15) (10) D) PERCENTAGE CPLANDSCAPE AREA OF 30% of lot area (114.32 m2) 133.3 m2 Section 161 (15) (10) D) MINMUN PERCENTAGE CPLANDSCAPE AREA OF 30% of lot area (114.32 m2) 60.10 m 16 (15) Section 161 (15) (10) D) MINMUN AGGECARE FERONT YARD Con a logerater flam 450 m2 marea Section 161 (15) (10) Section 161 (15) (10) SO MINMUN AGGECARE AREA OF DATTAGE KENDENTS Con 10 for for for doese minum 304% indoxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxx			COMPLETED MARCH 1, 2024		
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B) NINIMUM LOT WIDTH 16 m 16.29 m Section 162, Table 162A. C) MINIMUM LOT DEPTH NA 28.44 m Section 162, Table 162A. D) MINIMUM REAR VARD SET BACK 15 m, 24 m Section 162, Table 162A. E) MINIMUM REAR VARD SET BACK '%30 of bid doph (8.652m) 9 m Section 162, Table 162A. D) MINIMUM REAR VARD AREA 276 of claras (114.2 m2) 133.3 m2 Section 164, 1140 (100). ON INNUMUR REAR VARD AREA 250 of claras (114.2 m2) 133.3 m2 Section 161, 1440 (100). D) REPRESENTACE OF LANDSCAPE AREA OF 30% of lot greater than 450 m2 in area: tother area great of the section 144, 100 (100). Section 161, (150).00 (100). D) NINKULM AREA OF SOFTLANDSCAPENC On a lot greater than 450 m2 in area: tother area great of the section 144, 100 (100). Section 161, (150).00 (100). NINKELM AREA OF SOFTLANDSCAPENC On a lot greater than 450 m2 in area: tother area great of the section 144, 000.00 (100). Section 161, (150).00 (100). NINKELM AREA OF SOFTLANDSCAPENC Prof to twhere PVS is 15.5.3m 20%, (7.6 m0) 20.4 m2 Section 161, (150).00 (100). Soft Analysis of the area of the sechack line 23.6 m contol (100).	ZONING MECHANISMS		REQUIREMENT	PROVIDED	SECTION
C. MINNUM OF DIPTH N/A 2964 m Section 162. Table 162A. D) MINIMUM FRONT YARD SET BACK Lesser of the average of abuling loss: companding PYS (= 1.9 m) of 4.5 m 2 m Section 162. Table 162A. E) MINIMUM INTERIOR SIDE YARD SET BACK 1.5 m (= 41.4 m) (= 1.4 m	A) MINIMUM LOT AREA		450 m²	456.07 m²	Section 162, Table 162A
D) MINIMUM FRONT YARD SET BACK Lesser of the average of abuiting tots: corresponding PTG (= 1.59 m) or 4.5 m 2 m Section 142 (1)(k): Section 142 (1)(k): PTG (= 1.59 m) or 4.5 m E) MINIMUM INTERIOR SIDE YARD SET BACK 1 5 m 1 5 m. 2.44 m Section 144 (1)(k): PTG (= 1.59 m) or 4.5 m 9 m Section 144 (1)(k): PTG (= 1.59 m) or 4.5 m Section 144 (1)(k): PTG (= 1.59 m) or 4.5 m 9 m Section 144 (1)(k): PTG (= 1.50 m) or 4.5 m C) MINIMUM REAR YARD SET BACK 30% of kid area (136 82 m2) 133.3 m2 Section 144 (3)(k) C) MINIMUM REAR YARD AREA 25% of kid area (136 82 m2) 49 (13%) (210.3 m) Section 141(8)(k) 1) PERCENTAGE OF LANDSCAPING IN REAR YARD AREA On k bit grouter than 450 m2 in area: Sign of kid area (136 82 m2) 67 47 m2 g0.5 % Section 161(8) U) MINIMUM AREA OF SOFTLANDSCAPING IN REAR YARD AREA For bit where PYS is 15 5m 20% (7 84 m2) 20.4 m2 Section 161(15)(k) (w) Ki Softm 161 (150(k)) (w) 0 0 Section 161(15)(k) Section 161(15)(k) L) MINIMUM FERVINT READER ADDITIONAL RECESS AL less 20% of form freade minimum section 161(16)(k) Section 161(16)(k) Section 161(16)(k) L) MINIMUM FERVINT	B) MINIMUM LOT WIDTH		15 m	15.29 m	Section 162, Table 162A
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P) MINIMUM REAR YARD SETBACK %30 of ice days (§ 652m) 9 m Section 144 (3) (e) G) MINIMUM REAR YARD AREA 25% of lot area (114.32 m2) 133.3 m2 Section 146 (3) (e) G) MINIMUM REAR YARD AREA 25% of lot area (114.32 m2) 133.3 m2 Section 146 (3) (e) g) PRECORENTAGE OF LANDSCAPE AREA OF 30% of bit area (136.82 m2) (21.038 m2) Section 161 (15) (b) J) INIMUM AREA OF SOFTLANDSCAPING On a figurate than 450 m2 in area: size area (25.8.2 m2) 20.4 m2 Section 161 (15) (b) G) INIMUM AGGRECATE FRONT YARD On the figurate than 450 m2 in area: size area (25.8.2 m2) 20.4 m2 Section 161 (15) (b) G) INIMUM AGGRECATE FRONT YARD For lot facade: at least 25% windows 34% windows Section 161 (15) (b) G) INIMUM TERESTRATION REQUIREMENT For facade: at least 25% windows 34% windows Section 161 (15) (b) M) MINIMUM TERESTRATION REQUIREMENT For facade: at least 25% windows 34% windows Section 161 (15) (b) M) MINIMUM VENCHICULE PARKING (RESIDENTS) 0 Xeation 161 (15) (b) Section 161 (15) (b) M)	D) MINIMUM FRONT YARD SE	TBACK		2 m	Section 144(1)(a); Section 162, Table 162A
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H) MAXMUM BULDING HEIGHT 14.5 m I) PERCENTAGE OF LANDSCAPE AREA OF 30% of lot area (138.82 m2) 46.13% (210.38 m2) Saction 101(8) J) NINMUM AREA OF SOFTLANDSCAPING On a lot greater find after man from the maximum man from the man from	F) MINIMUM REAR YARD SET	BACK	%30 of lot depth (8.952m)	9 m	Section 144(3)(a)
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M) MINIMUM FRONT FACADE ADDITIONAL RECESS At least 20% of front facade minimum of 0.6 m from front setback line 23.6% Section 161(15)(h) N) MINIMUM VEHICULE PARKING (RESIDENTS) Area Z on Schedule 1A 0 0 Section 101(2) O) MINIMUM VEHICULE PARKING (VISITOR) No Visitor parking spaces are required for the first 12 units, 0.1 per unit parking space per unit after 12 units (UT-12/20.1-02.6 (1) parking space) 1 Section 102(2) P) MINIMUM PARKING SPACE 2.6 m (width) x 5.2 m (length) Maximum width of 3.1 m Total unit number 17 2 bedroom units 4) Section 161(16) R) UNIT BREAKDOWN 25% 2 bedroom units (4) Total unit number 17 2 bedroom units 4) Section 161(16) S) MINIMUM BICYCLE PARKING 0.5 per dwelling unit (1720.5=8.5= 9 parking spaces) 19 parking spaces Section 161(16) T) AMENITY AREA 0 133.3 m² rear yard 13.7 m² balcony 46 m² roop top pablo 133.3 m² rear yard 13.7 m² balcony 46 m² roop top pablo BUILDING AREA GRABAGE RECUIREMENT GRADUF LOOR BUILDING AREA GFA 210 m² (GARBAGE RECUIREMENT GFA SNOW REMOVAL REQUIREMENT GFA SNOW REMOVAL REQUIREMENT GFA SNOW REMOVAL REQUIREMENT GFA SNOW REMOVAL REQUIREMENT GFA SNOW FOR ALL WALKWAYS THROUGHOUT THE GFA 196 m² (GARBAGE SHED AND COLLECTION SNOW FOR ALL WALKWAYS THROUGHOUT THE WALKWAYS THROUGHOUT THE WINTER SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER FOURTH FLOOR BUILDING AREA GFA 196 m² (GFA 196 m² (150.5 m² 196 m² (150.5 m			For lot where FYS is 1.5-3m: 20% (7.64 m2)	20.4 m2	Section 161, Table 161
N/ MINIMUM VEHICULE PARKING (RESIDENTS) Area Z on Schedule 1A 0 0 Section 101(10)(10) N/ MINIMUM VEHICULE PARKING (VISITOR) 0 0 Section 101(2) O) MINIMUM VEHICULE PARKING (VISITOR) No Visitor parking spaces are required for the first 12 units, 0.1 per unit parking space per unit after 12 units (VIT-12)(X-10-6.0 (1) parking space) 1 Section 102(2) P) MINIMUM PARKING SPACE 2.6 m (width) x 5.2 m (length) Maximum width of 3.1 m Total unit number of 2 bedroom units (4) Section 106(1) R) UNIT BREAKDOWN 25% 2 bedroom units (4) Total unit number of 2 bedroom units (4) Section 161(16) S) MINIMUM BICYCLE PARKING 0.5 per dwelling unit (17:05-8.5= 9 parking spaces) 19 parking spaces Section 161(16) T) AMENITY AREA 0 133.3 m² rear yard 13.7 m² bacony 46 m² roop top pabio 133.3 m² rear yard 13.7 m² bacony 46 m² roop top pabio Section 111, 2 bedroom units 4 9 parking spaces BUILDING AREA BUILDING AREA 101 DN AREA GROUND FLOOR BUILDING AREA 101 DN AREA GFA 210 m² 162.4 m² GARBAGE REQUIREMENT GRABAGE RECYCLING AND COLLECTION SNOW REMOVAL REQUIREMENT GRABAGE SHED AND COLLECTION SNOW FOR ALL WALWAXPS THROUGHOUT THE WINTER Secton FLOOR BUILDING AREA GFA 196 m² 162.4 m² 196 m² 162.4 m² 196 m² 162.4 m² 196 m² 162.4 m² TOTAL BUILDING AREA GFA 196 m² 162.4 m² 196 m² 162.4 m² 196 m² 162.4 m²	L) MINIMUM FENESTRATION	REQUIREMENT	Front facade: at least 25% windows	34% windows	Section 161(15)(g)
TArea Z on Schedule 1AImage: Constraint of ConstraintsJustice of ConstraintsO) MINIMUM VEHICULE PARKING (VISITOR)No Visitor parking spaces are required for the first 12 units, 0.1 per unit parking spaces per unit after 12 units, 0.1 per unit parking spaces per unit after 12 units, 0.1 per unit parking spaces1Section 102(2)P) MINIMUM PARKING SPACE2.6 m (width) x 5.2 m (length) Maximum width of 3.1 mSection 108(1)Section 108(1)R) UNIT BREAKDOWN25% 2 bedroom units (4)Total unit number of 2 bedroom unitedSection 108(1)S) MINIMUM BICYCLE PARKING0.5 per dwelling unit (17x0.5=8.5= 9 parking spaces)19 parking spacesSection 111, Table 111A(b)S) MINIMUM BICYCLE PARKING0.5 per dwelling unit (17x0.5=8.5= 9 parking spaces)19 parking spacesSection 111, Table 111A(b)S) MINIMUM BICYCLE PARKING0.5 per dwelling unit (17x0.5=8.5= 9 parking spaces)19 parking spacesSection 111, Table 111A(b)S) MINIMUM BICYCLE PARKING0.5 per dwelling unit (17x0.5=8.5= 9 parking spaces)19 parking spacesSection 111, Table 111A(b)S) MINIMUM AREA GFA205.2 m² (GFA0133.3 m² reary and t37.m² balcony 48 m² roop top pailoSection 114, Table 111A(b)BUILDING AREA GFA210 m² 151 m²GARBAGE REQUIREMENT GARBAGE RECYCLING AND COMPOSTING COLLECTIONSNOW REMOVAL REQUIREMENT REMOVAD AND STORAGE OF SNOW REMOVAL AND STORAGE OF SNOW REMOVAL AND STORAGE OF SNOW REMULL BE RESPONDED AND REMOVAD AND STORAGE OF SNOW REMOVAL AND STORAGE OF SNOW REMOVAL AND STORAGE OF SNOW REMOVAL AND STORAGE OF SNOW REMOVAS THROUGHOUT THE WINTER	M) MINIMUM FRONT FACADE	ADDITIONAL RECESS		23.6%	Section 161(15)(h)
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PROPERTY LINES

AVERAGE GRADE: 62.14m (62.09m + 61.86m + 62.27m + 62.35m) /4

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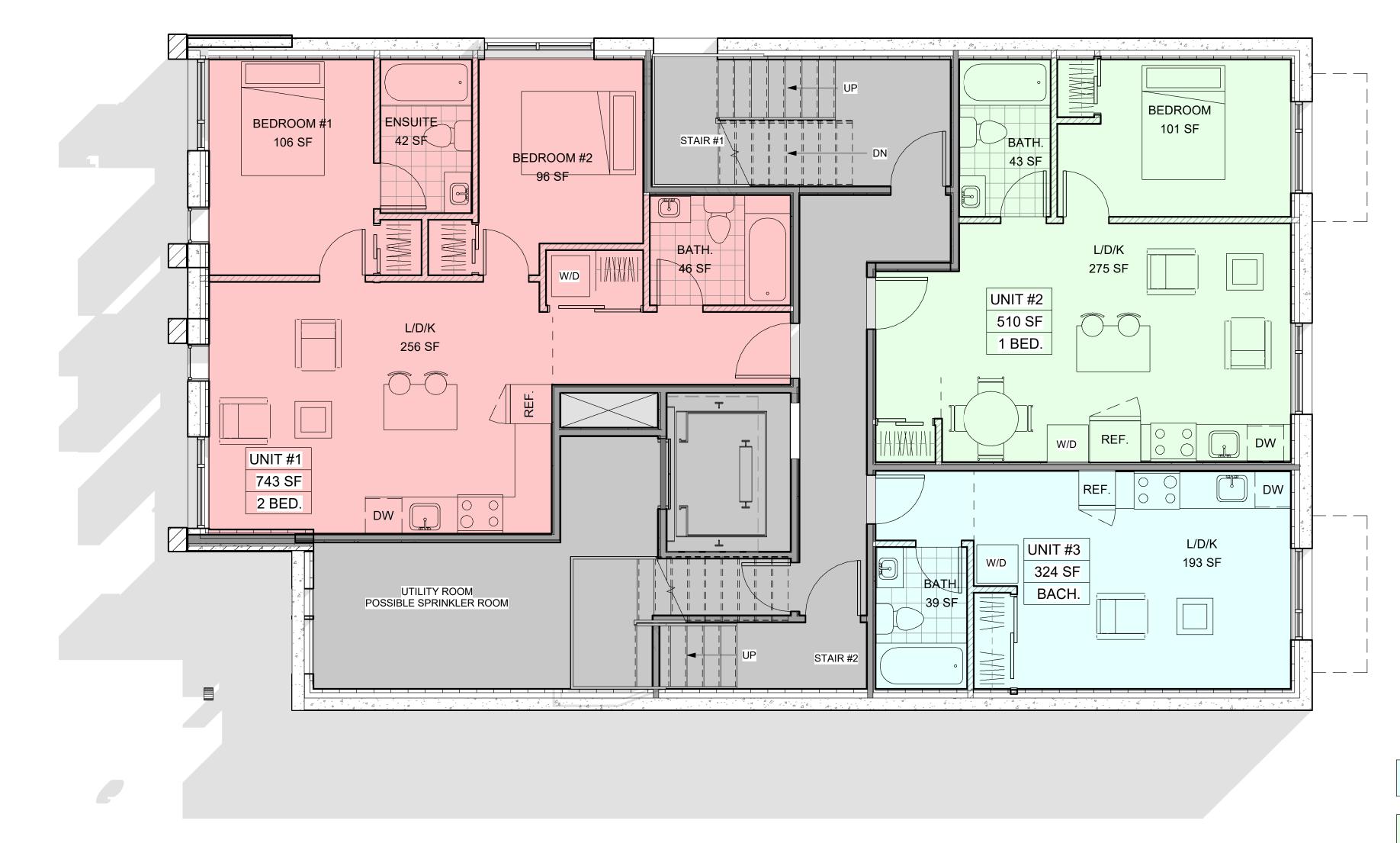


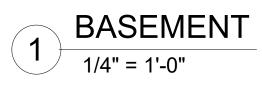


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GENERAL NOTES:



16-118 CARRUTHERS AVE FOUR STOREY LOW RISE APARTMENT DWELLING

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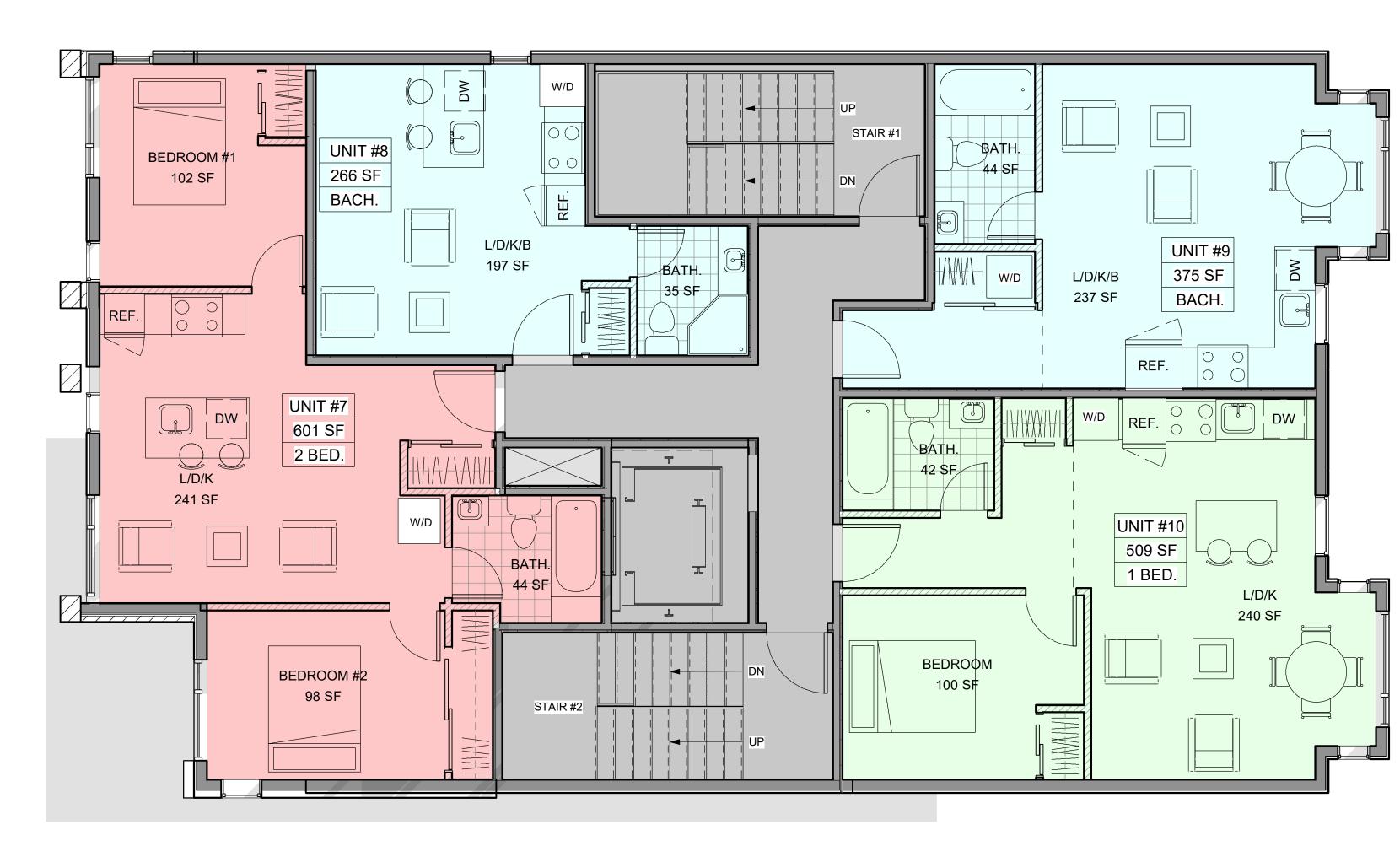
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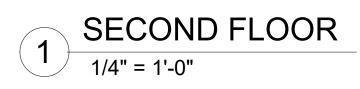
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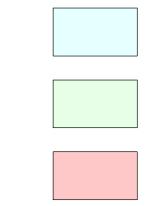
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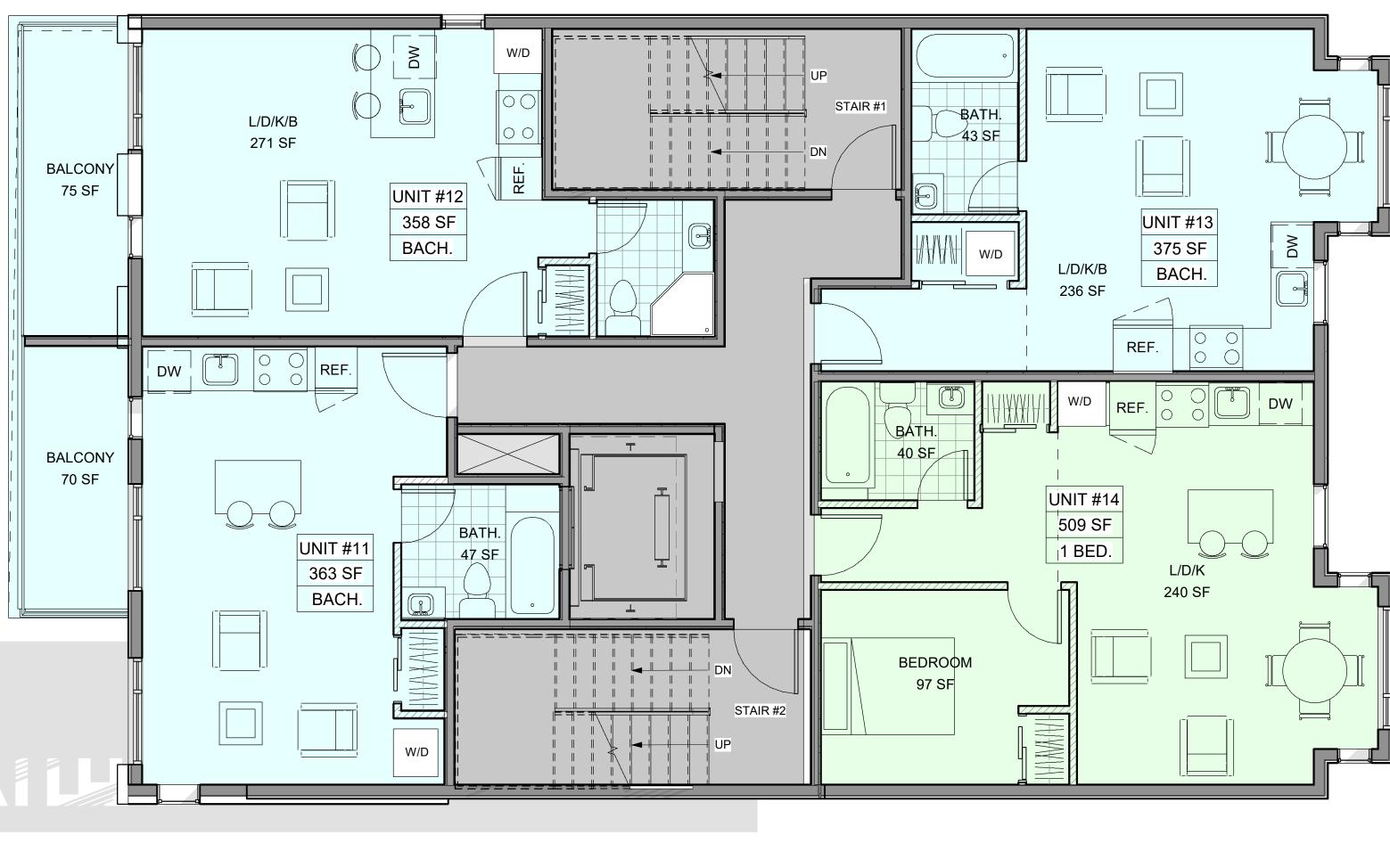
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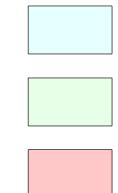
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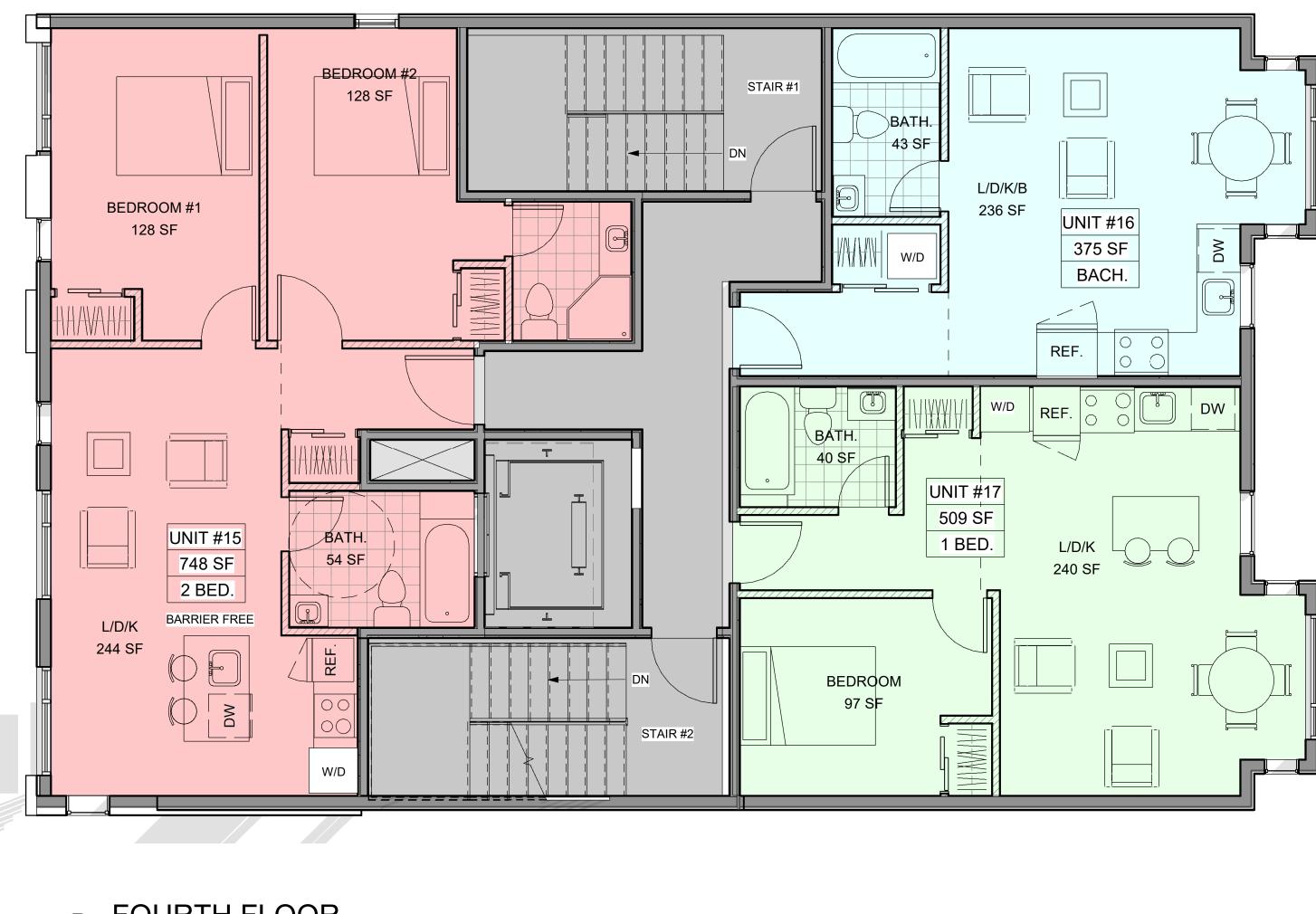
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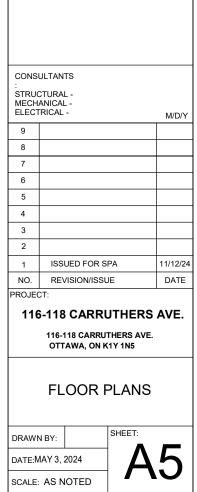
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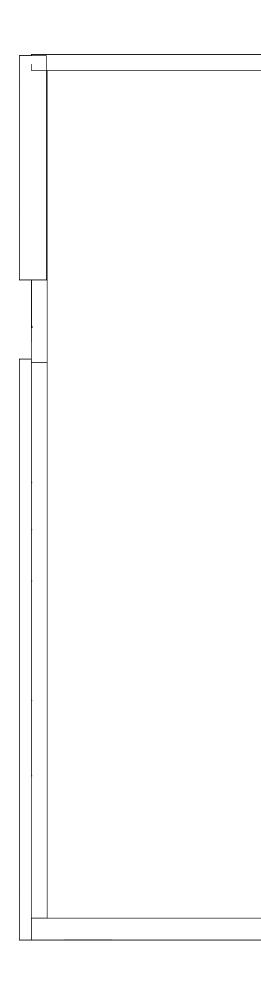
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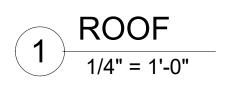
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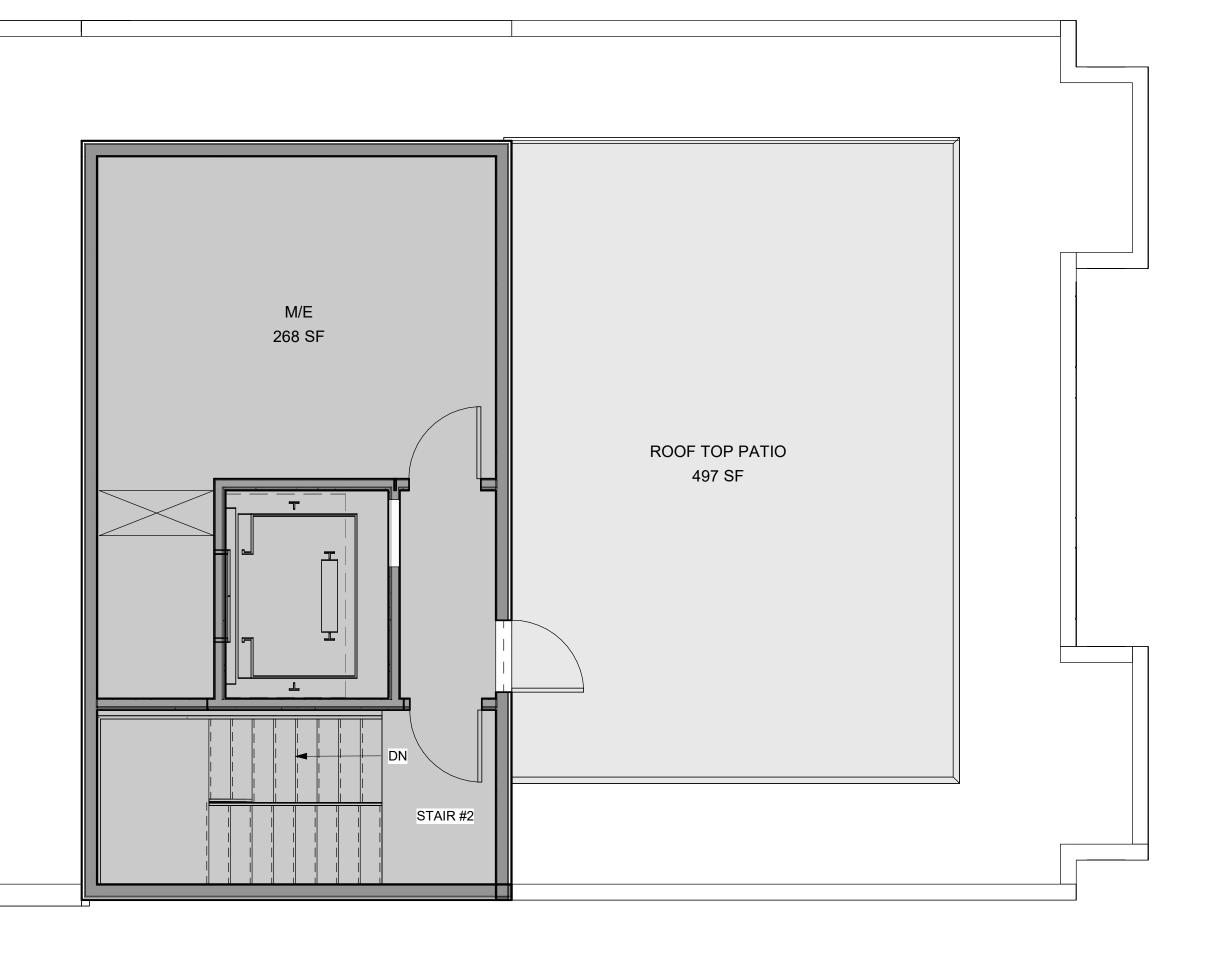


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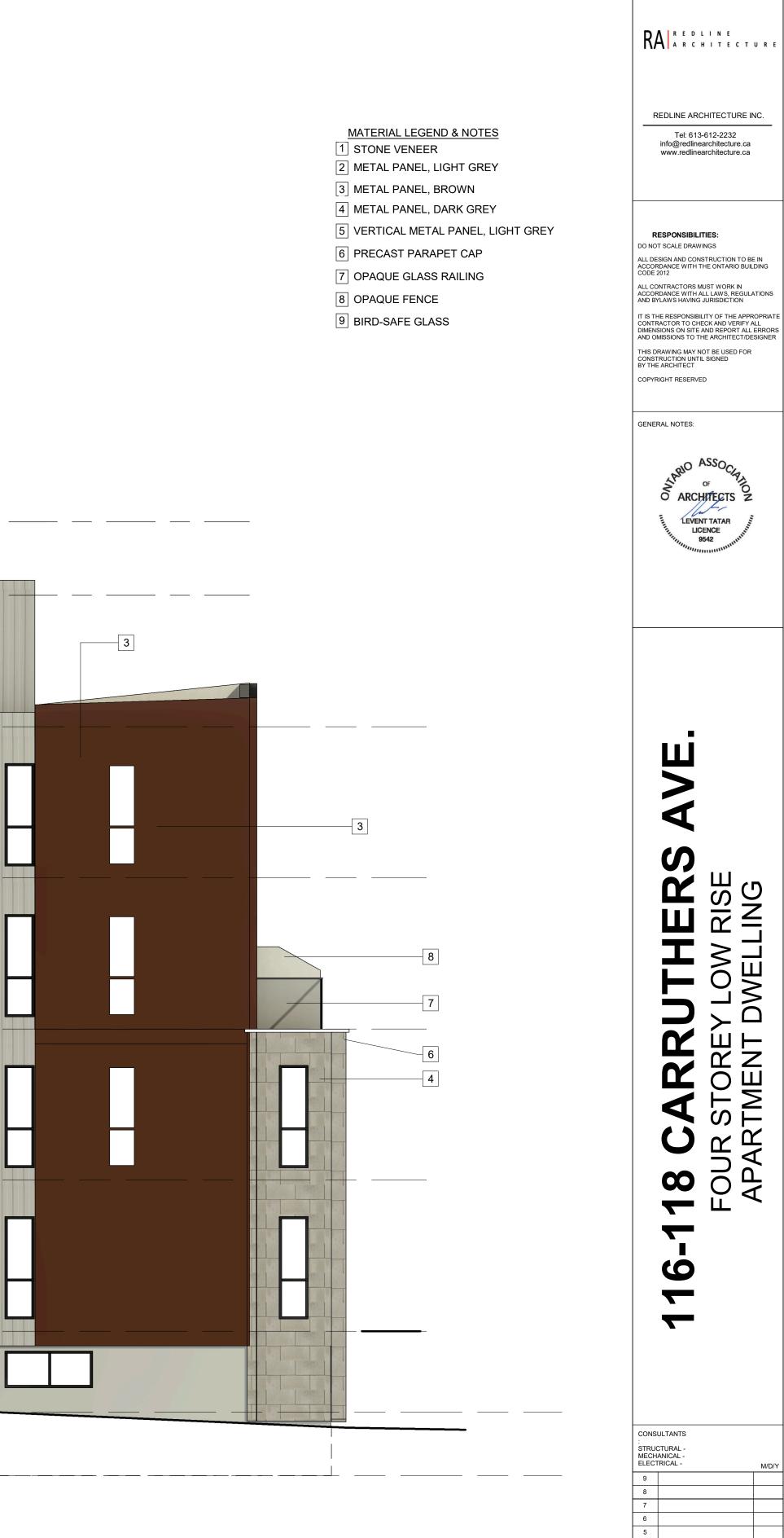
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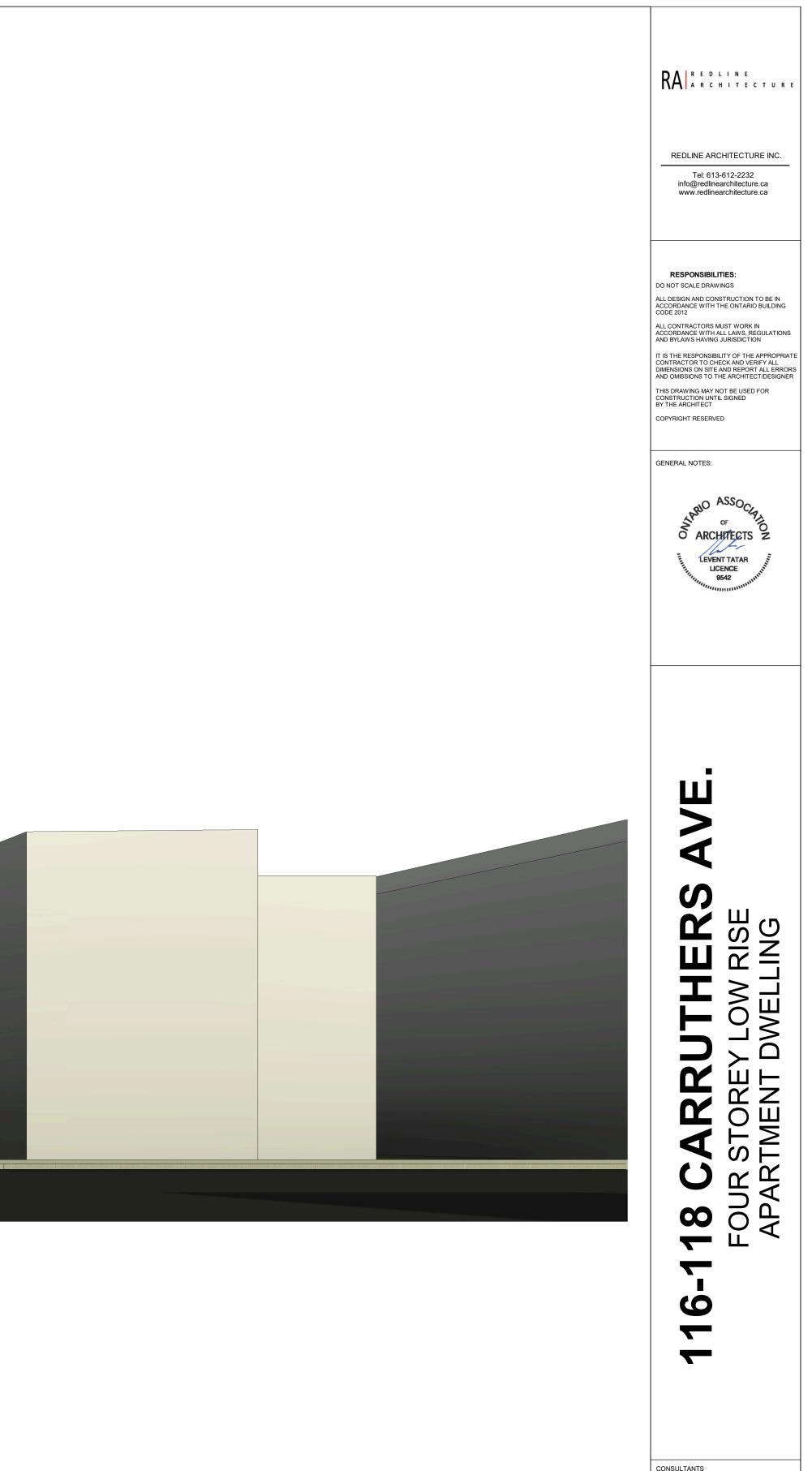
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