

NOTES

- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY.
- FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
- ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIOR FACE OF EXTERIOR WALLS TO THE EXTERIOR FACE OF PARTY WALLS SEPARATING DIFFERENT USES, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).

SOLID WASTE COLLECTION REQUIREMENTS

ZONING MECHANISM	REGULATION	PROPOSED
Residential Waste	Garbage (Compacted) = 0.053y/lunit Require 16y ³ Recycling (GMP) = 0.018y/lunit Require 6y ³ Recycling (Fibres) = 0.038y/lunit Require 12y ³ Organics = 240L container/50 units Require 6 containers	Garbage (Compacted) = 6 x 3y ³ containers Total = 18y ³ Recycling (GMP) = 2 x 3y ³ containers Total = 6y ³ Recycling (Fibres) = 4 x 3y ³ containers Total = 12y ³ Organics = 7 x 240L containers Total = 1680L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential (Rental)	297 units / Ground to 21st floors	Ground = 1 caretaker unit = 93.9m ² (excluded)
		2 nd = 16 units = 946m ²
		3 rd = 16 units = 946m ²
		4 th - 11 th = 15 units/floor = 934m ² /floor
		12 th - 15 units = 932m ²
Commercial	Ground	13 th - 17 th = 15 units/floor = 934m ² /floor
		18 th = 14 units = 876m ²
		19 th & 20 th = 14 units = 851m ²
		21 st = 12 units = 772m ²
		TOTAL = 18,309m ² (without Ground)
Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	8 x Studios (18F units = 15%) 191 x 1 Bedroom (31BF units = 16%) 98 x 2 Bedroom (15BF units = 15%)	
TOTAL	47BF units = 15%	Commercial = 453m ² Office = 72m ²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307

ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	3,109.10m ²
Minimum lot width	No minimum	42.45m on George Street. 40.40 on back portion.
Minimum front yard	No minimum, 1m maximum.	0.72m on George Street
Minimum interior side yard	No minimum	0.70m on West side of building. 1.94m on East side of building.
Minimum rear yard	No minimum	6.29m to one storey volume. 5.47m to 4th to 17th floor overhang.
Maximum building height	70m per Schedule 307. No projections permitted beyond building height.	70m all inclusive.
Maximum floor space index	Not applicable	Not applicable
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped	Whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Minimum lot area for an interior lot: 1350m ² Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m.	Minimum lot area met. Site Plan Approval received. Not applicable.
Parking Garage permission	100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use and Office use.
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by select uses. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street.	100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Area of permitted Commercial use exceeds 50% of gross floor area and has separate direct access to George Street.

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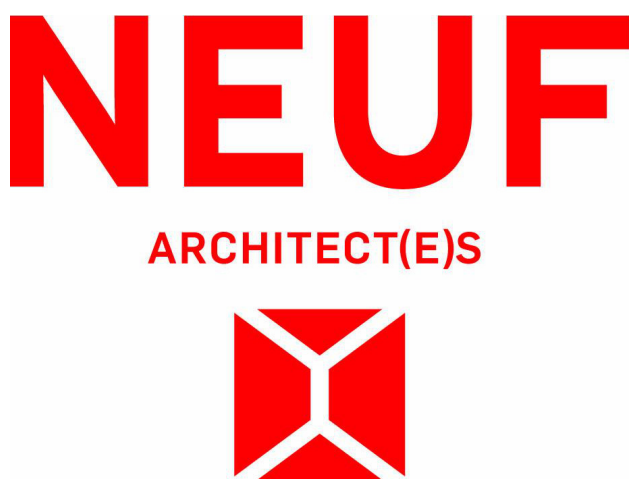
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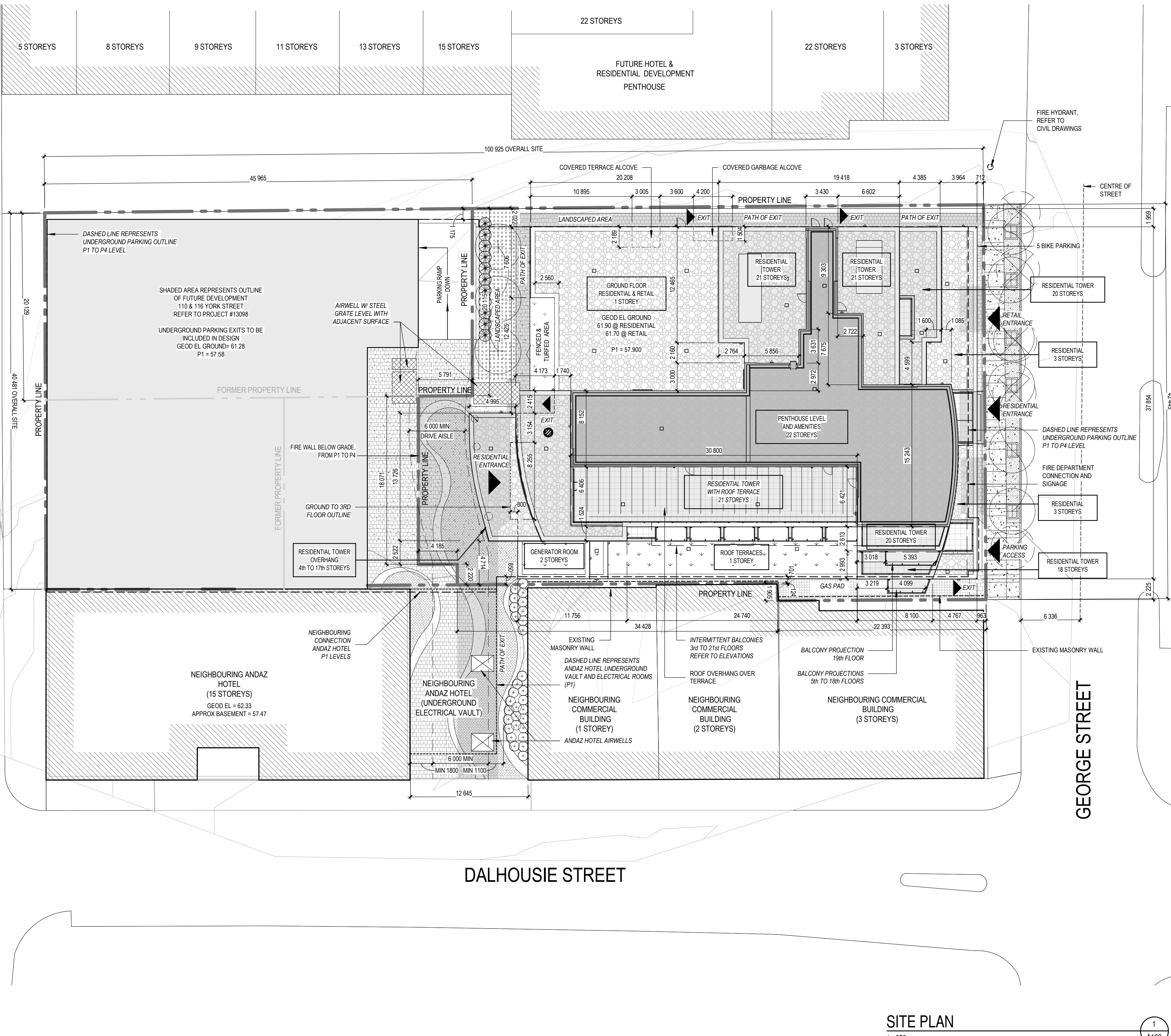


Project
141 GEORGE STREET
 Location
 OTTAWA No.
 12810

NO	REVISION	DATE (yyyy.mm.dd)
KK	FOR COORDINATION	2023.12.04
LL	FOR COORDINATION	2023.12.15
MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
PP	FOR COORDINATION	2024.02.26
VV	RE-ISSUED FOR PERMIT	2024.04.16
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.18
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
JJJ	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.10.23
NNN	ISSUED FOR CONSTRUCTION	2024.11.07

Drawn by
SJ
 Checked by
LH
 DATE (aa.mm.jj)
FEB 2023
 Drawing Title
SITE PLAN
 Scale
 As indicated

Revision
NNN
 Dwg Number
A100
 16814



SITE PLAN
 1 : 250

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PC2024-0200



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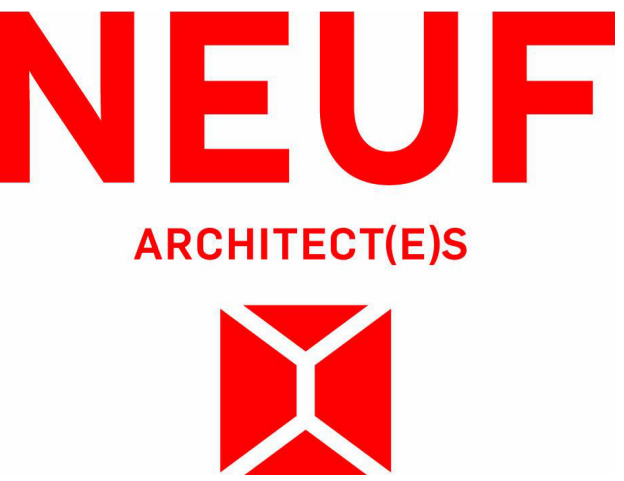
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Client



Project
141 GEORGE STREET

Location
 OTTAWA No. 12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

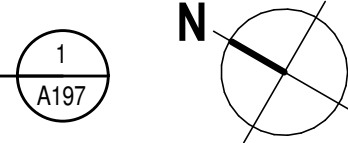
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 OCT 2024
 Drawing Title

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 Scale
 1 : 150

PARKING LEVEL 4 FLOOR PLAN

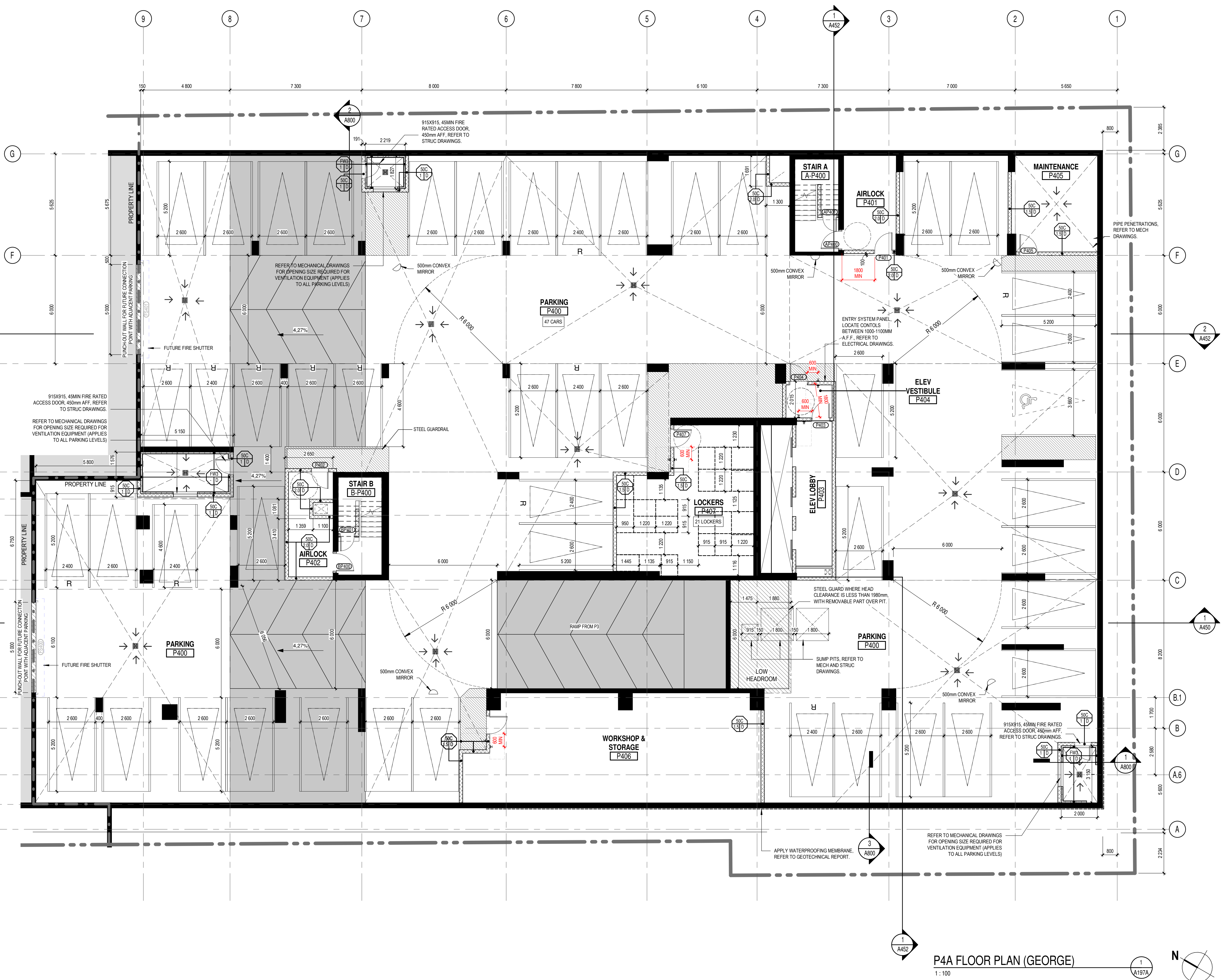
Revision
MMM A197
 Dwg Number
A197

P4 OVERALL FLOOR PLAN
 1 : 150



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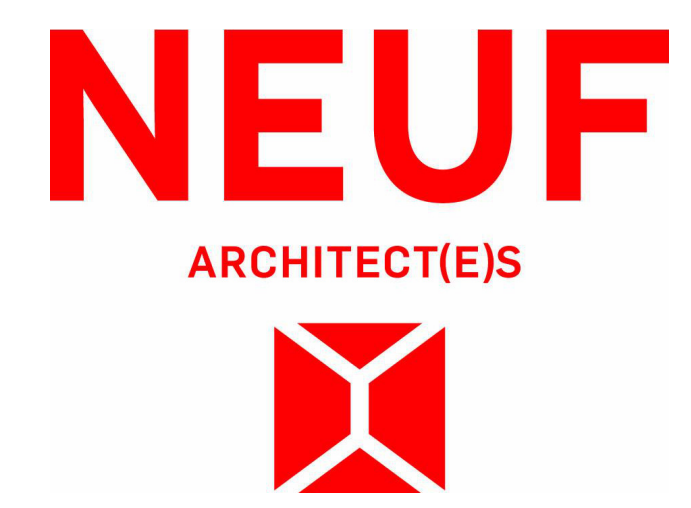
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Client
141 GEORGE STREET

Location
 OTTAWA No. 12810

NO	REVISION	DATE (yyyy.mm.dd)
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

Drawn by
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 Scale
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PARKING LEVEL 4 FLOOR PLAN (GEORGE)

Revision
MMM A197A
 Dwg Number
A197A

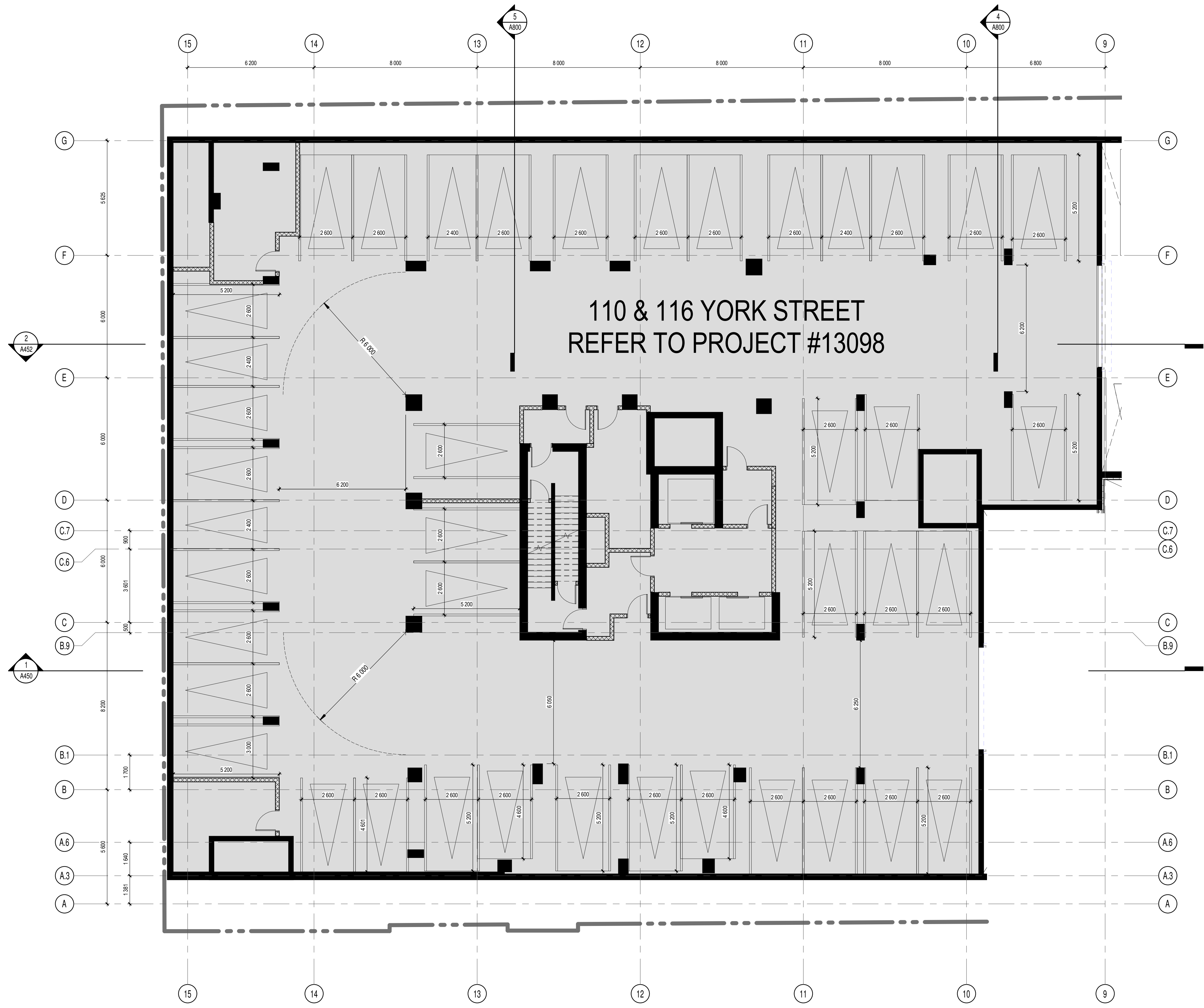
P4A FLOOR PLAN (GEORGE)
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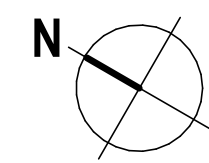


110 & 116 YORK STREET
REFER TO PROJECT #13098

P4B FLOOR PLAN (YORK)

1:100

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A197B



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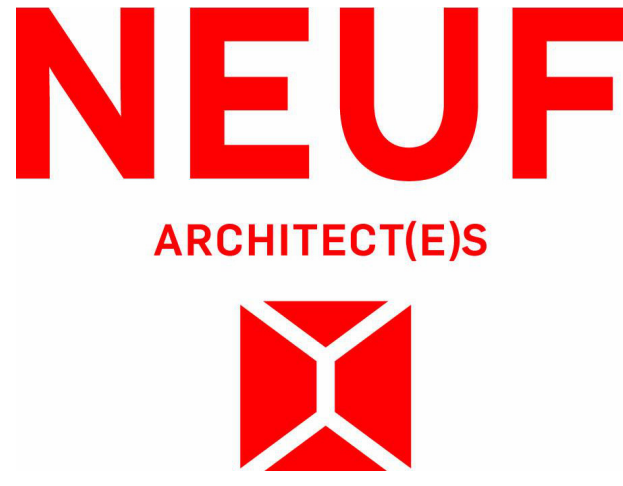
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Client



Project

141 GEORGE STREET

Location

OTTAWA 12810

NO REVISION DATE (yyyy.mm.dd)

LLL FOR COORDINATION 2024.10.23

MMM SITE PLAN REVISION 2024.11.07

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

OCT 2024

Scale

As indicated

Drawing Title

**PARKING LEVEL 4
FLOOR PLAN (YORK)**

Revision

MMM A197B

Dwg Number

D070-12-12-0199

PC2024-0200

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110 & 116 YORK STREET
REFER TO PROJECT #13098

P3 OVERALL FLOOR PLAN
1:150

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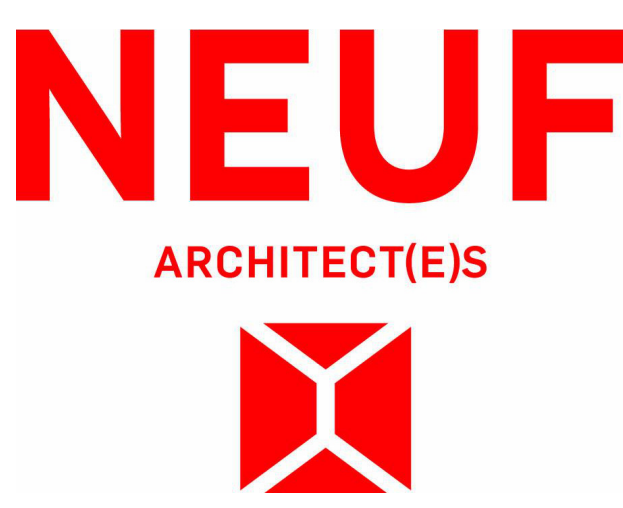
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FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
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SEP 2022

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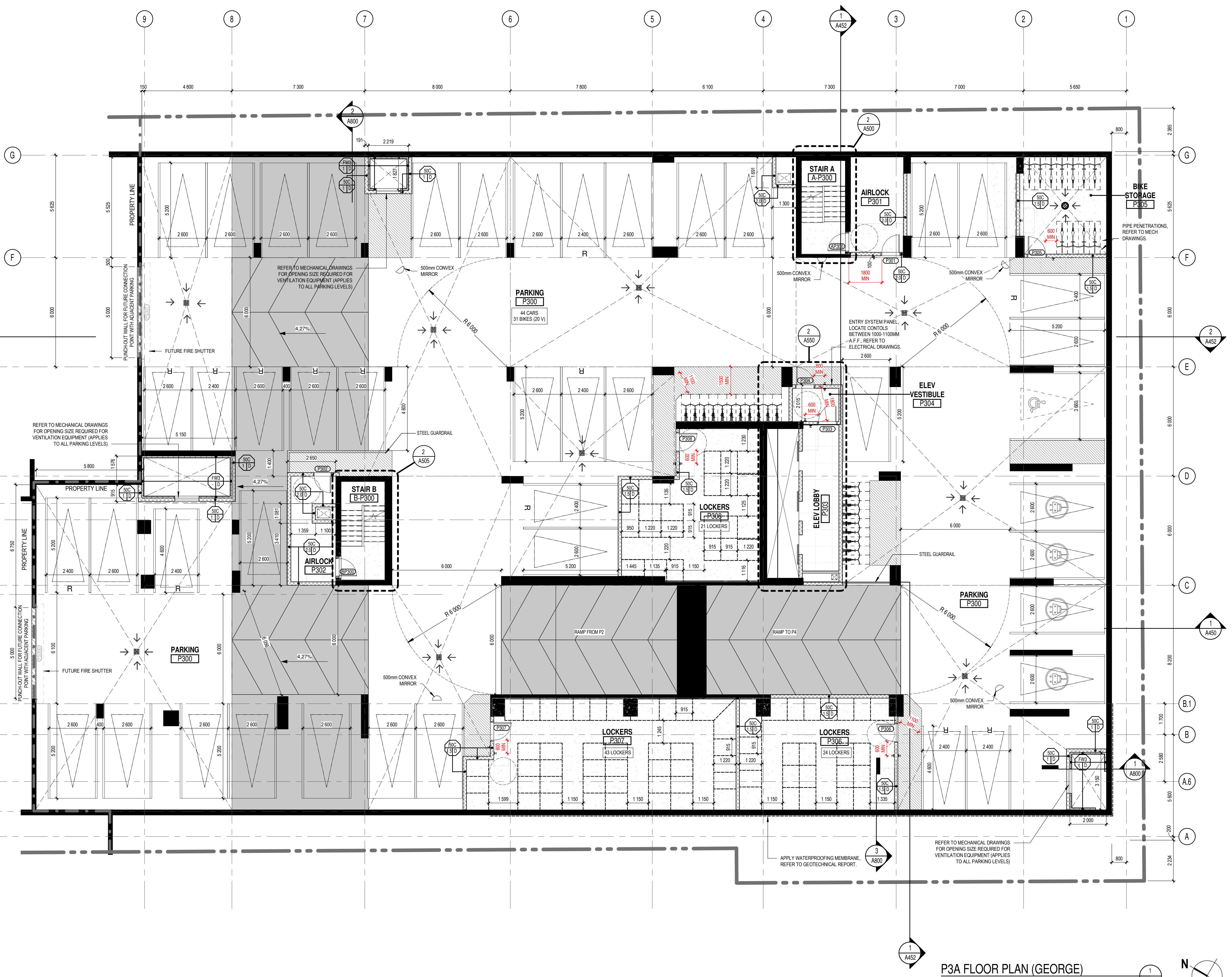
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FLOOR PLAN**

Revision
MMM

Dwg Number
A198

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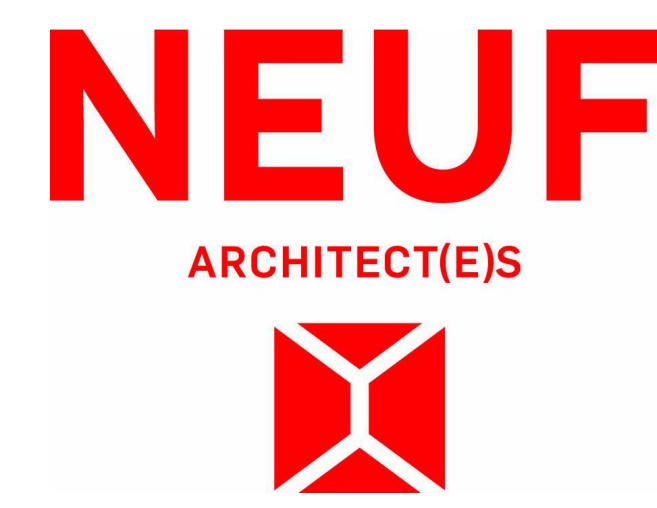
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 7425 Stee Danboro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
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 T 514 847 1117 NEUFarchitectes.com



Project
141 GEORGE STREET

Location
 OTTAWA

No
 12810

NO	REVISION	DATE (yyyy.mm.dd)
JJ	FOR COORDINATION	2023.11.27
KK	FOR COORDINATION	2023.12.14
LL	FOR COORDINATION	2023.12.15
MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.18
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

Drawn by
 SJ

Checked by
 LH

DATE (aa.mm.jj)
 SEP 2022

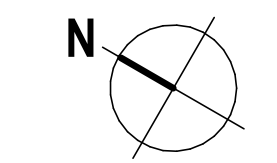
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Drawing Title
PARKING LEVEL 3 FLOOR PLAN (GEORGE)

Revision
MMM

Dwg Number
A198A

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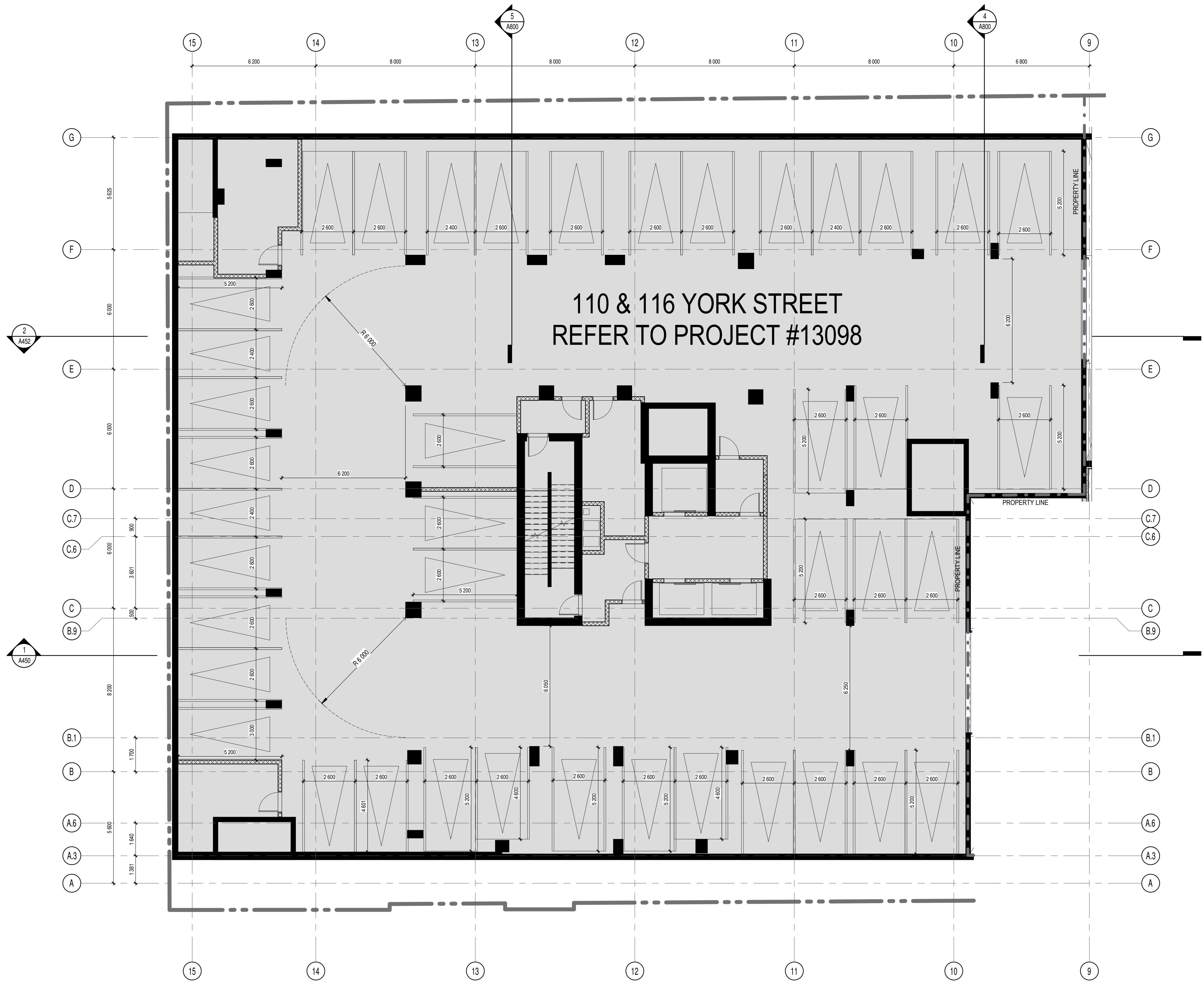


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PC2024-0200 D070-12-10-199 16814

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110 & 116 YORK STREET
REFER TO PROJECT #13098

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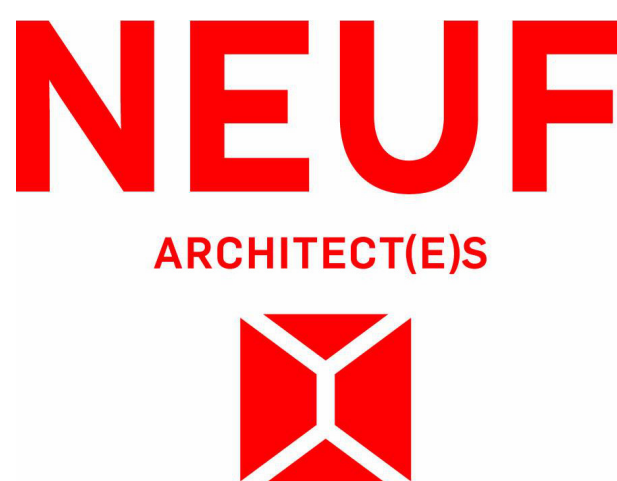
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Seal



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Project

141 GEORGE STREET

Location

OTTAWA 12810

NO	REVISION	DATE (yyyy.mm.dd)
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
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YY	FOR COORDINATION	2024.05.14
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FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
III	SITE PLAN REVISION RESPONSE	2024.08.26
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MMM	SITE PLAN REVISION	2024.11.07

Drawn by
SJ
DATE (aa.mm.jj)
SEP 2022
Drawing Title

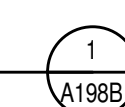
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Scale
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**PARKING LEVEL 3
FLOOR PLAN (YORK)**

Revision
MMM
Dwg Number
A198B

P3B FLOOR PLAN (YORK)

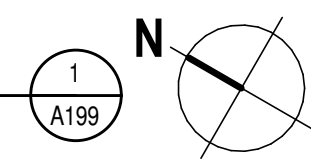
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110 & 116 YORK STREET
REFER TO PROJECT #13098

P2 OVERALL FLOOR PLAN
1 : 150



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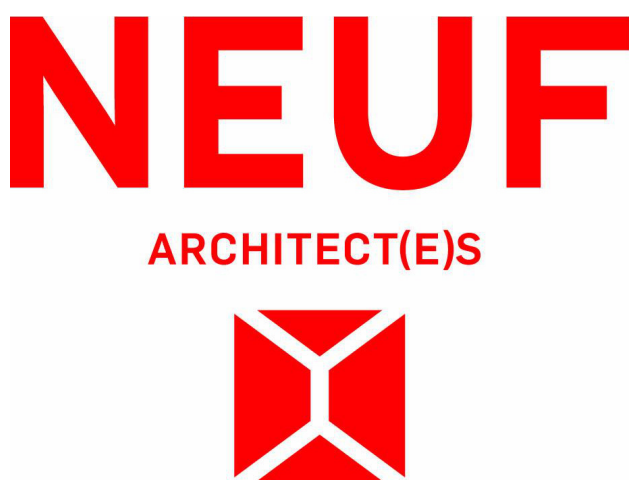
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Location

OTTAWA 12810

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WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
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ZZ	RE ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
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III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

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DATE (aa.mm.jj)

FEB 2024

Drawing Title

PARKING LEVEL 2 FLOOR PLAN

Revision

MMM

Checked by

LC

Scale

1 : 150

Dwg Number

A199

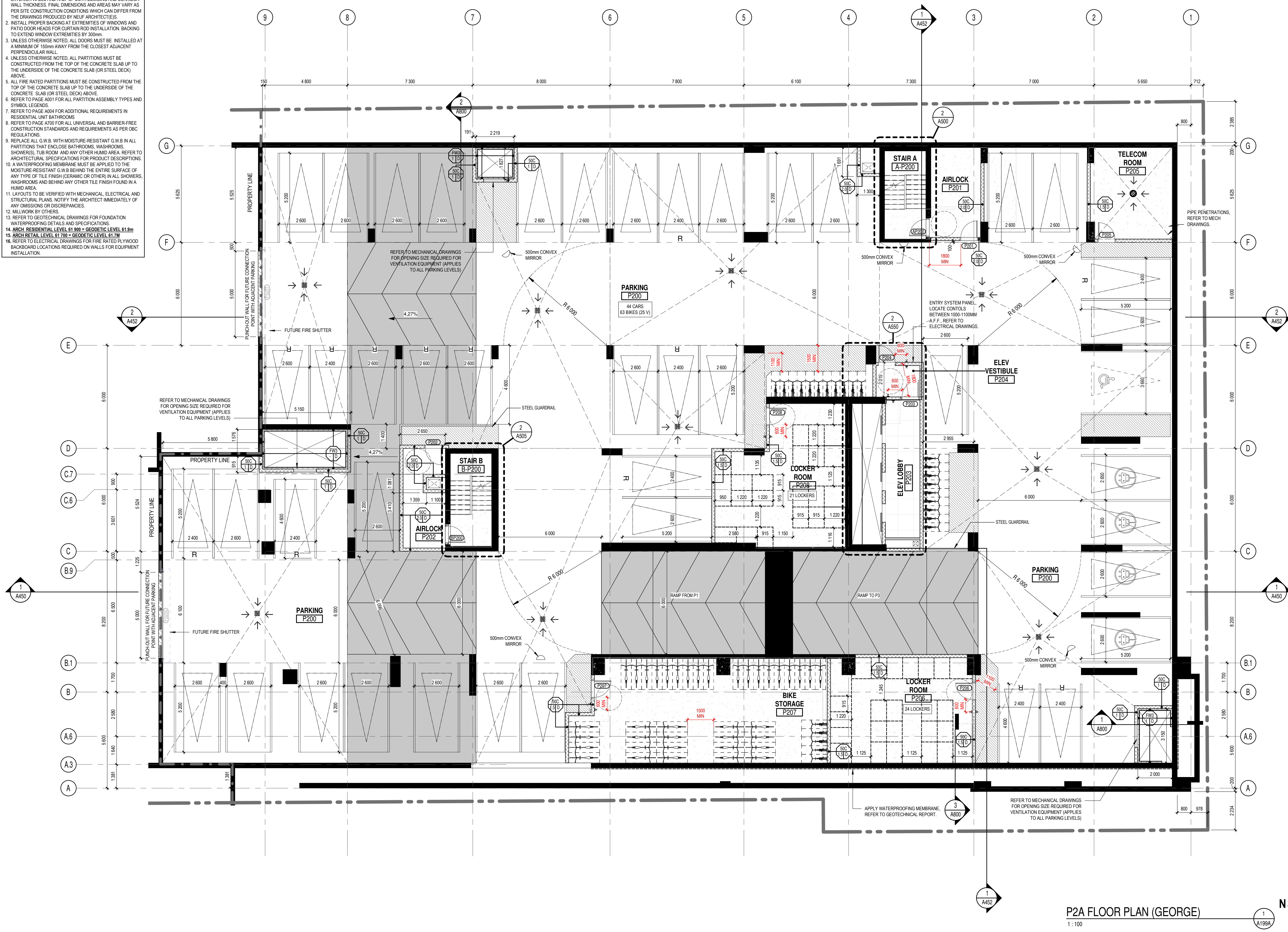
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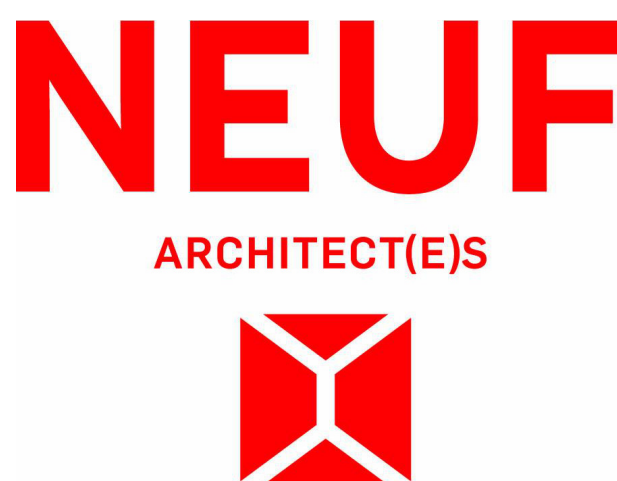
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Client



Project

141 GEORGE STREET

Location
 OTTAWA No. 12810

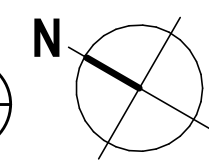
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III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

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 DATE (aa.mm.jj)
 SEP 2022
 Drawing Title
 Scale
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PARKING LEVEL 2 FLOOR PLAN (GEORGE)

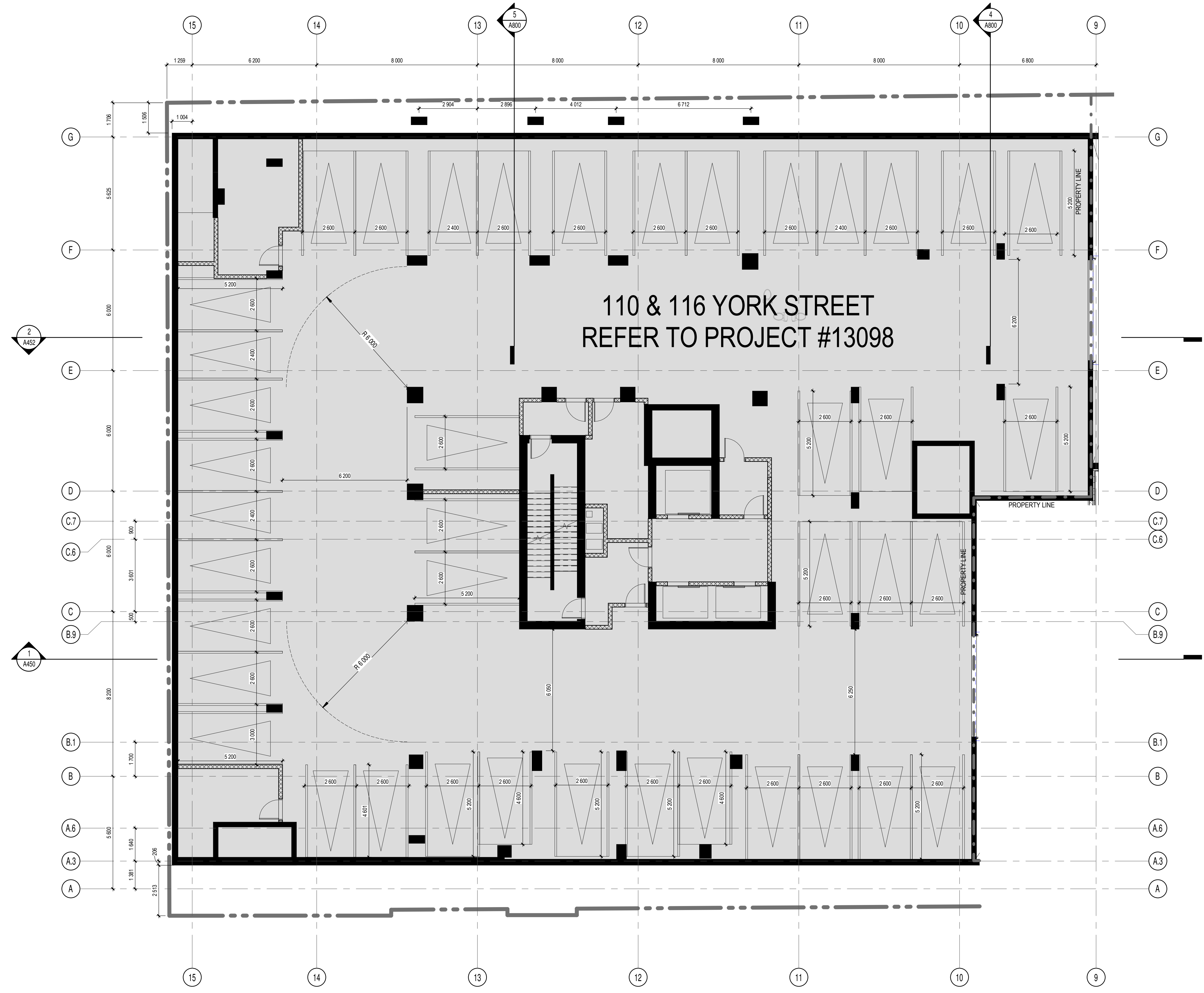
Revision
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 Dwg Number
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P2A FLOOR PLAN (GEORGE)
 1:100



GENERAL NOTES

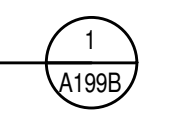
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110 & 116 YORK STREET
REFER TO PROJECT #13098

P2B FLOOR PLAN (YORK)

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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA 12810

NO REVISION DATE (yyyy.mm.dd)

TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
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MMM	SITE PLAN REVISION	2024.11.07

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

FEB 2024

Scale

As indicated

Drawing Title

PARKING LEVEL 2 FLOOR PLAN (YORK)

Revision

MMM

Dwg Number

A199B

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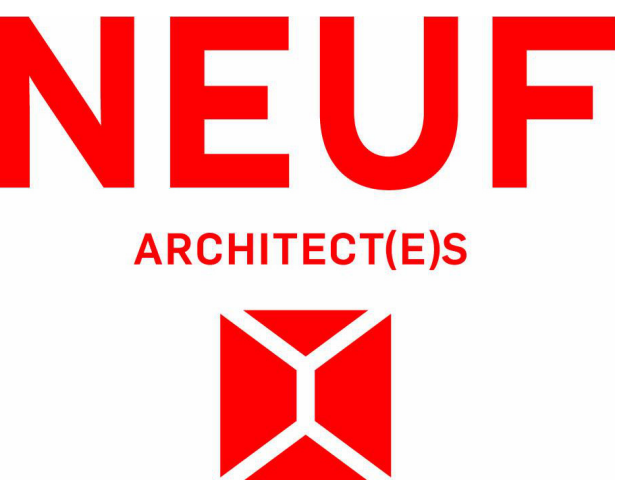
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DATE (aa.mm.jj)

SEP 2022

Drawing Title

PARKING LEVEL 1 OVERALL FLOOR PLAN

Revision

MMM

Checked by

LH

Scale

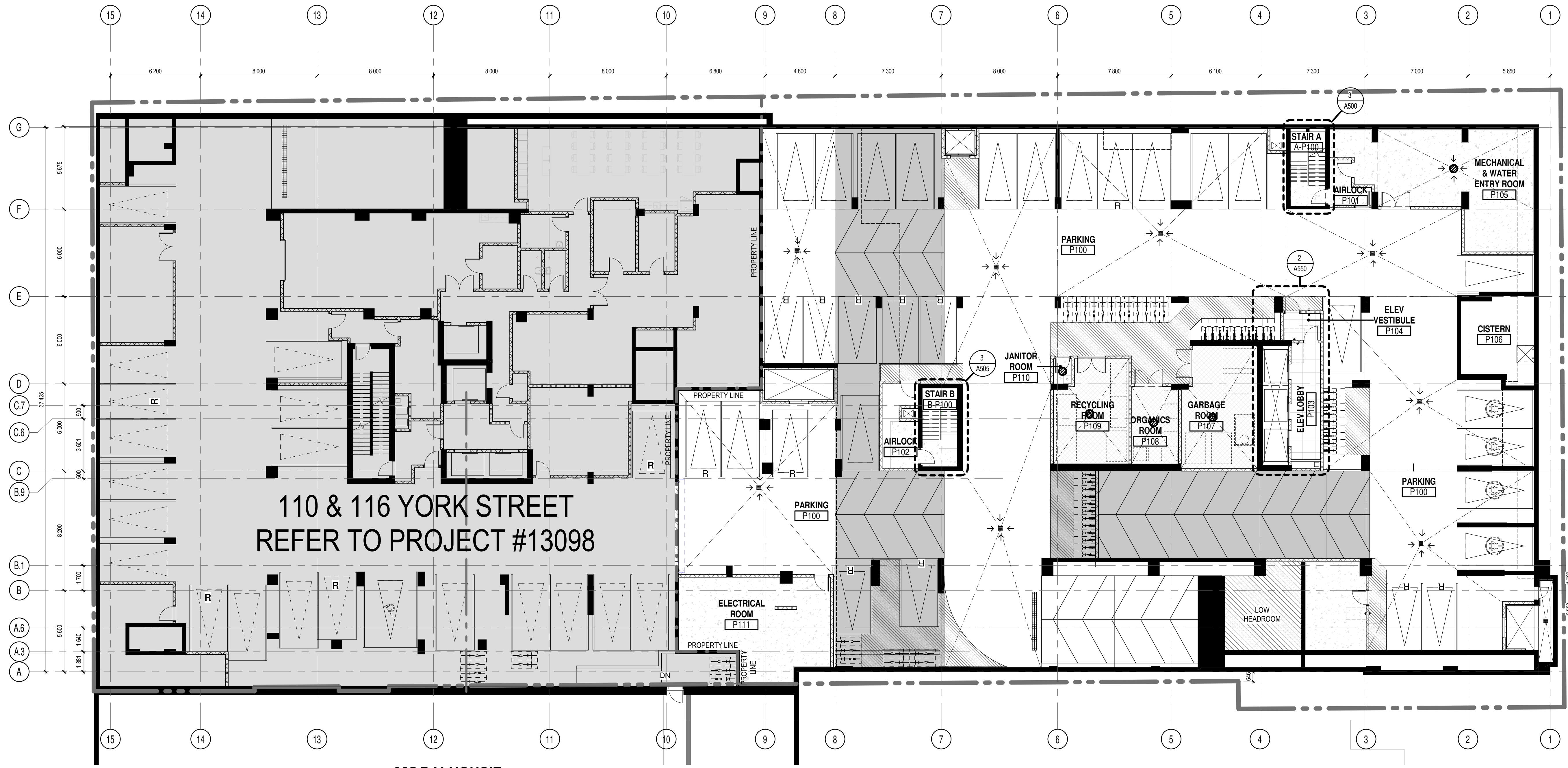
1 : 150

Dwg Number

A200

D070-12-12-0199

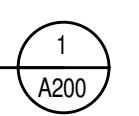
16814



110 & 116 YORK STREET
 REFER TO PROJECT #13098

325 DALHOUSIE
 HOTEL

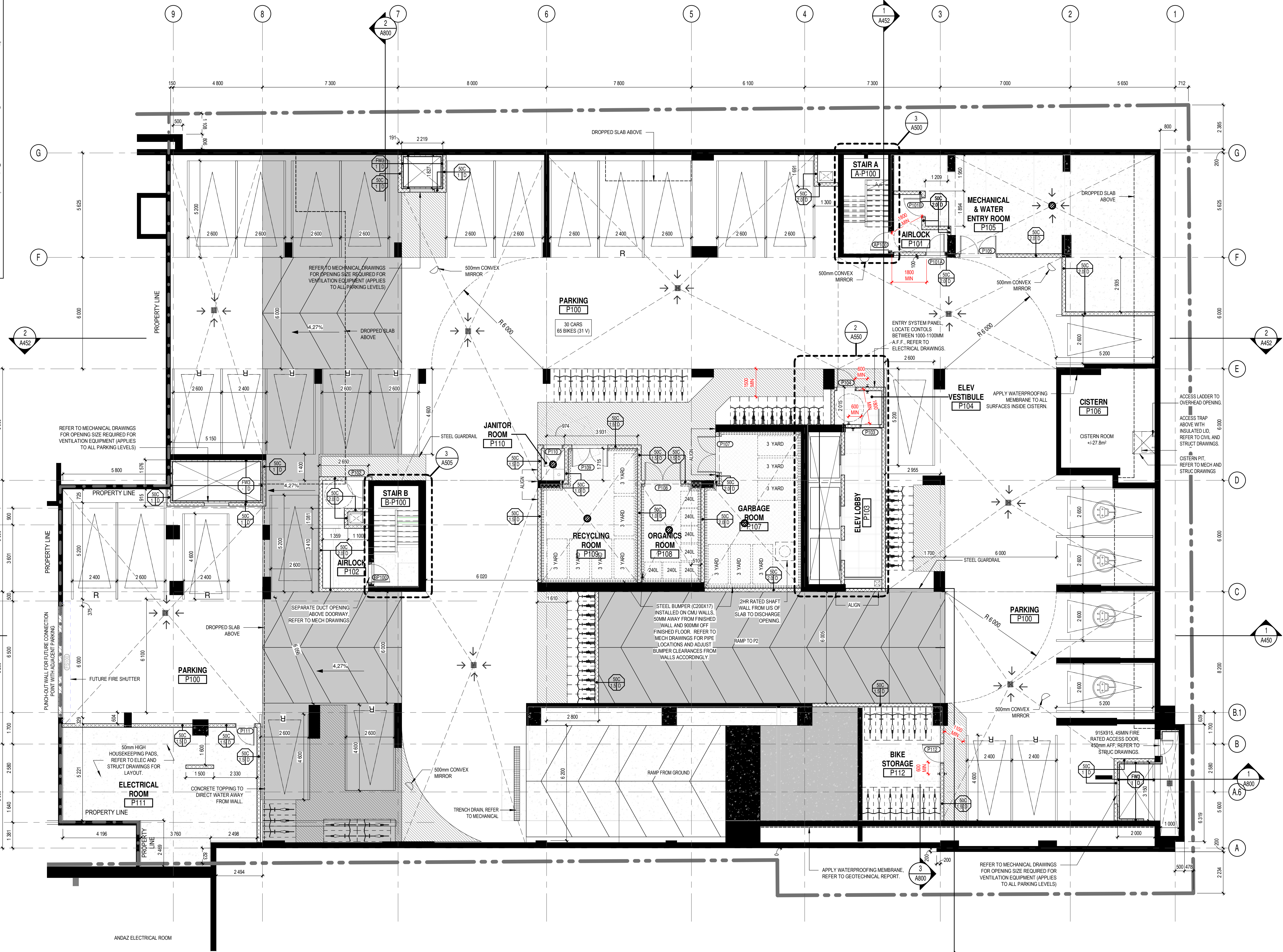
P1 OVERALL FLOOR PLAN
 1 : 150



C:\Fichiers Revit\Locaux\141GS_12810_ARC_R22_splanisU643X.rvt

GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAINROD INSTALLATION, BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
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- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH. RESIDENTIAL LEVEL 61 900 = GEODETIC LEVEL 61.8m
- ARCH. RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED WOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P1A FLOOR PLAN (GEORGE)

1:100

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Mechanical - Electrical Engineer
JAIN
 7425 San Danbro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

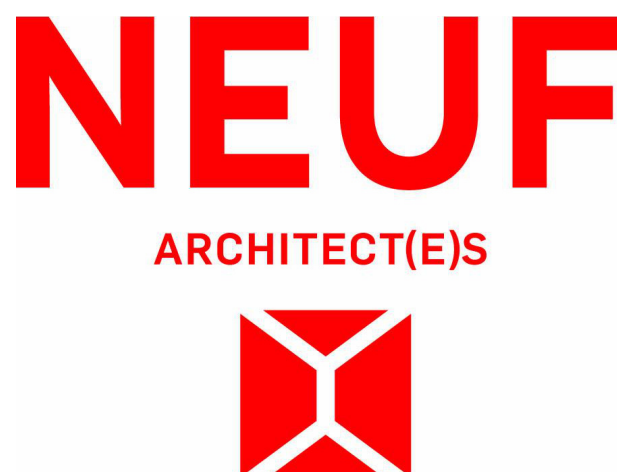
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 T 514 847 1117 NEUFarchitectes.com

Scale



Client



Project

141 GEORGE STREET

Location

OTTAWA No. **12810**

NO	REVISION	DATE (yyyy.mm.dd)
MM	FOR PERMIT	2023.12.21
OO	FOR COORDINATION	2024.01.23
SS	FOR COORDINATION	2024.04.01
TT	FOR COORDINATION	2024.04.04
WW	FOR COORDINATION	2024.05.02
XX	FOR COORDINATION	2024.05.09
YY	FOR COORDINATION	2024.05.14
ZZ	RE-ISSUED FOR SITE PLAN APPROVAL	2024.05.16
AAA	FOR COORDINATION	2024.05.21
CCC	FOR TENDER	2024.05.23
DDD	FOR SHORING COORDINATION	2024.06.03
FFF	FOR REVISED FOUNDATION PERMIT	2024.07.03
GGG	FOR TENDER - ADDENDUM 02	2024.07.09
III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

Drawn by

SJ

Checked by

LH

DATE (aa.mm.jj)

SEP 2022

Scale

As indicated

Drawing Title

PARKING LEVEL 1 FLOOR PLAN (GEORGE)

Revision

MMM

Dwg Number

A200A

D070-12-10199

16814

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Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA 12810

NO REVISION DATE (yyyy.mm.dd)

SS	FOR COORDINATION	2024.04.01
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APPROVAL		
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III	SITE PLAN REVISION RESPONSE	2024.08.26
LLL	FOR COORDINATION	2024.10.23
MMM	SITE PLAN REVISION	2024.11.07

Drawn by: SJ Checked by: LH

DATE (aa.mm.jj): FEB 2024 Scale: As indicated

Drawing Title: PARKING LEVEL 1 FLOOR PLAN (YORK)

Revision: D070-12-12-0199 Dwg Number: A200B

Revision: MMM A200B