

LEGEND

- PROPOSED BUILDING LOCATION
- EXISTING NEIGHBOURING BUILDING
- LANDSCAPED AREA
- CONCRETE/ SIDEWALK
- FIRE ROUTE
- BARRIER-FREE PARKING CLEARANCE
- TACTILE WALKING SURFACE INDICATOR
- FIRE DEPARTMENT CONNECTION
- BUILDING ENTRANCE / EXIT
- PRINCIPAL ENTRANCE (8 TRAVEL PATH EXIT)
- EXIT AT REQUIRED TRAVEL PATH
- FIRE HYDRANT
- BOLLARD
- MANHOLE (SEE CIVIL)
- TRANSFORMER (HYDRO)
- CATCH BASIN (SEE CIVIL)
- LIGHT STANDARD (SEE ELECTRICAL)
- EV CHARGE STATION (SEE ELECTRICAL)
- BARRIER-FREE PARKING
- VEHICULAR TRAFFIC DIRECTION
- CURB
- DEPRESSED CURB
- TREE. SEE LANDSCAPE.
- TYPICAL BIKE RACK
- TYPICAL PARKING
- TYPICAL BF PARKING (TYPE A)

GENERAL SITE PLAN NOTES:

TOPOGRAPHICAL INFORMATION:
PART OF LOT 3 CONCESSION 1 (MARCH)
GEOGRAPHIC TOWNSHIP OF KANATA
CITY OF OTTAWA

SURVEY BY:

SITE AND BUILDING DATA:

NEW SITE SUB-DIVISION AREA	4,624 m²
NEW BUILDING HEIGHT (*1)	11.7M
GROSS BUILDING AREA (1)	1266 m² 13623.23 ft²
GROSS FLOOR AREA (2)	1126 m² 12116.95 ft²

(*1) SEE GROSS BUILDING AREA NOTES BELOW
(*2) SEE GROSS BUILDING AREA NOTES BELOW

GENERAL NOTES:

- FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.
- FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.

GROSS BUILDING AREA:
1. * (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.

2. * GROSS FLOOR AREA (CITY OF OTTAWA ZONING BYLAW):
DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND EXCLUDING:

- INTERIOR PARKING / LOADING (DRIVE THRU).
- FLOOR AREA OCCUPIED BY SHARED MECHANICAL SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING; (BY-LAW 2008-326)
- COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS; (BY-LAW 2008-326)
- BICYCLE PARKING; MOTOR VEHICLE PARKING OR LOADING FACILITIES; COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS;
- COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING; (BY-LAW 2009-326)
- COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT; AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.

ZONING:

ZONING DESIGNATIONS (PART 10):
GM ZONE

ZONING PROVISIONS

MINIMUM LOT WIDTH (m):	N/A
MINIMUM LOT AREA (m²):	N/A
MINIMUM FRONT YARD SETBACK:	3 m
MINIMUM REAR YARD SETBACK:	-
MINIMUM INTERIOR SIDE YARD SETBACK:	-
MINIMUM CORNER SIDE YARD SETBACK:	3 m

BUILDING HEIGHT

MAXIMUM (GM ZONES):
PROPOSED: -

LANDSCAPING (SECTION 110):
REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA

	PARKING (HARDSCAPE) AREA PROVIDED	MIN. LANDSCAPE REQUIREMENT OF 15%
PARKING AREA (HARDSCAPE)	2430 m²	364.6 m²
	LANDSCAPE AREA PROVIDED	
LANDSCAPING		1207 m²

VEHICLE PARKING (SECTION 101):

PERSONAL SERVICE BUSINESS (N64): [3.4 Per 100 m2] : = 1126m2 x 0.034

MINIMUM REQUIRED: 38

PARKING FOR THE PHYSICALLY DISABLED (PARKING BYLAW 2003-530, SECTION 122):

MINIMUM REQUIRED:	- No. [1x TYPE 'A' I 1x TYPE 'B']
NUMBER PROVIDED:	- No. [1x TYPE 'A' I 1x TYPE 'B']

(*) PARKING PROVIDED: PARKING BAY TYPE:

PARK-5-2X2-6	1. SITE PARKING	No. 37
PARK-BF-5-2X3-4-TYPE-A-2	2. BARRIER FREE BAY TYPE A	1
PARK-BF-5-2X2-6-TYPE-B	3. BARRIER FREE BAY TYPE B	1
PARKING TOTAL PROVIDED:		39

BICYCLE PARKING (SECTION 111): -

MINIMUM REQUIRED:	[1 / 500m²] : 1190 / 500 = 3
NUMBER PROVIDED:	3

LOADING ZONE (SECTION 113):

MINIMUM REQUIRED:	-
NUMBER PROVIDED:	1* [3.5M x 9M]

CLIENT:
MINTO COMMUNITIES
200 180 KENT STREET, OTTAWA, ON, K1P 0B6
T: 613 - 404 - 4235

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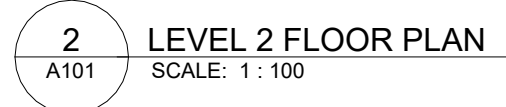
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PROJECT TITLE
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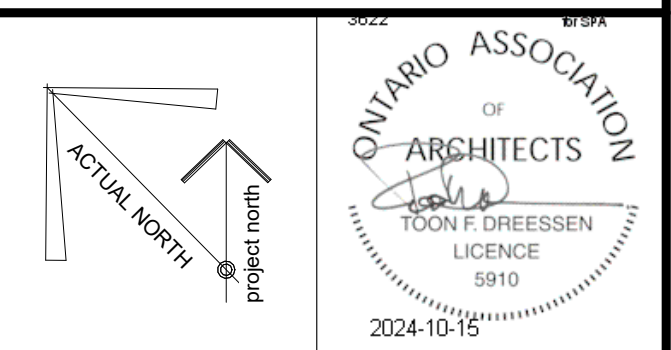
DRAWING TITLE
SITE PLAN

DATE JUN 2024	DRAWN Author	JOB NO. 3622	DRAWING NO. A100
SCALE As indicated	REVIEWED Checker		

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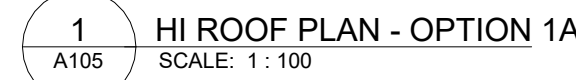
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FLOOR PLANS

DATE JUN 2024	DRAWN Author	JOB NO. 3622	DRAWING NO. A101
SCALE 1 : 100	REVIEWED Checker		

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1. DO NOT SCALE DRAWINGS; ONLY FIGURED
DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS;
FILE REQUEST FOR INTERPRETATION AND REQUEST
CLARITY.
2. IT IS THE RESPONSIBILITY OF THE GENERAL
CONTRACTOR TO VERIFY DIMENSIONS ON SITE;
REPORT DISCREPANCIES TO THE ARCHITECT
PRIORLY.
3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT
CONSTRUCTION TOLERANCE. GENERAL CONTRACTOR
TO COORDINATE THE WORK OF DIFFERENT TRADES
COMING TO THE SITE.
4. ALL WORK DESCRIBED IN THESE DRAWINGS AND
SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT
EDITION OF THE ONTARIO BUILDING CODE (2010)
INCLUDING MOST RECENT AMENDMENTS.
5. DRAWINGS AND SPECIFICATIONS ARE
COMPLEMENTARY AND ARE TO BE READ TOGETHER.

[illegible]

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DRAWING TITLE
ROOF PLAN

DATE JUN 2024	DRAWN GL	JOB NO. 3622	DRAWING NO. A105
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