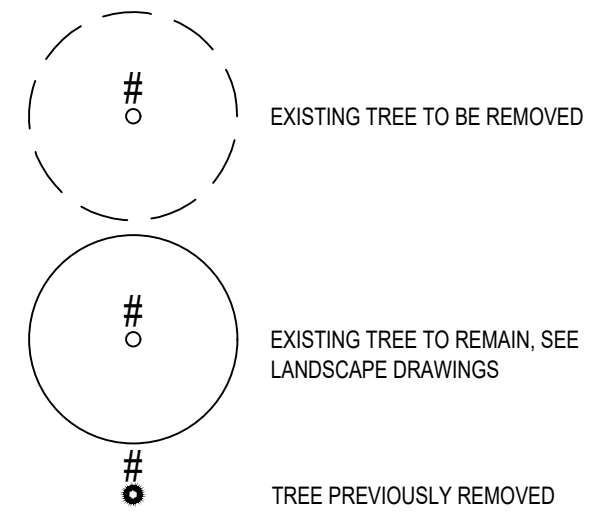


APPROVED
By Kersten Nitsche at 11:07 am, Nov 08, 2024

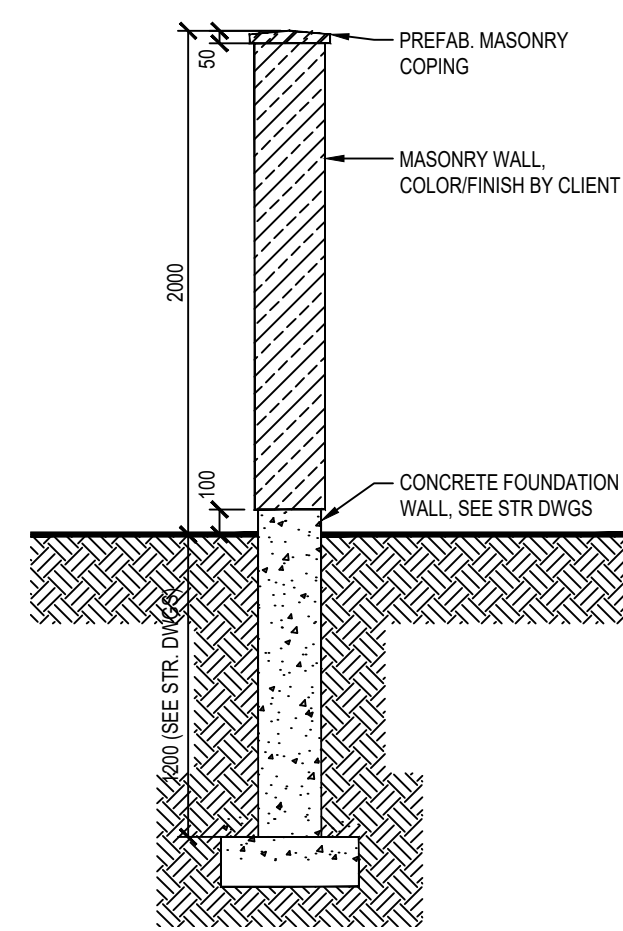
Kersten Nitsche

KERSTEN NITSCHÉ, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

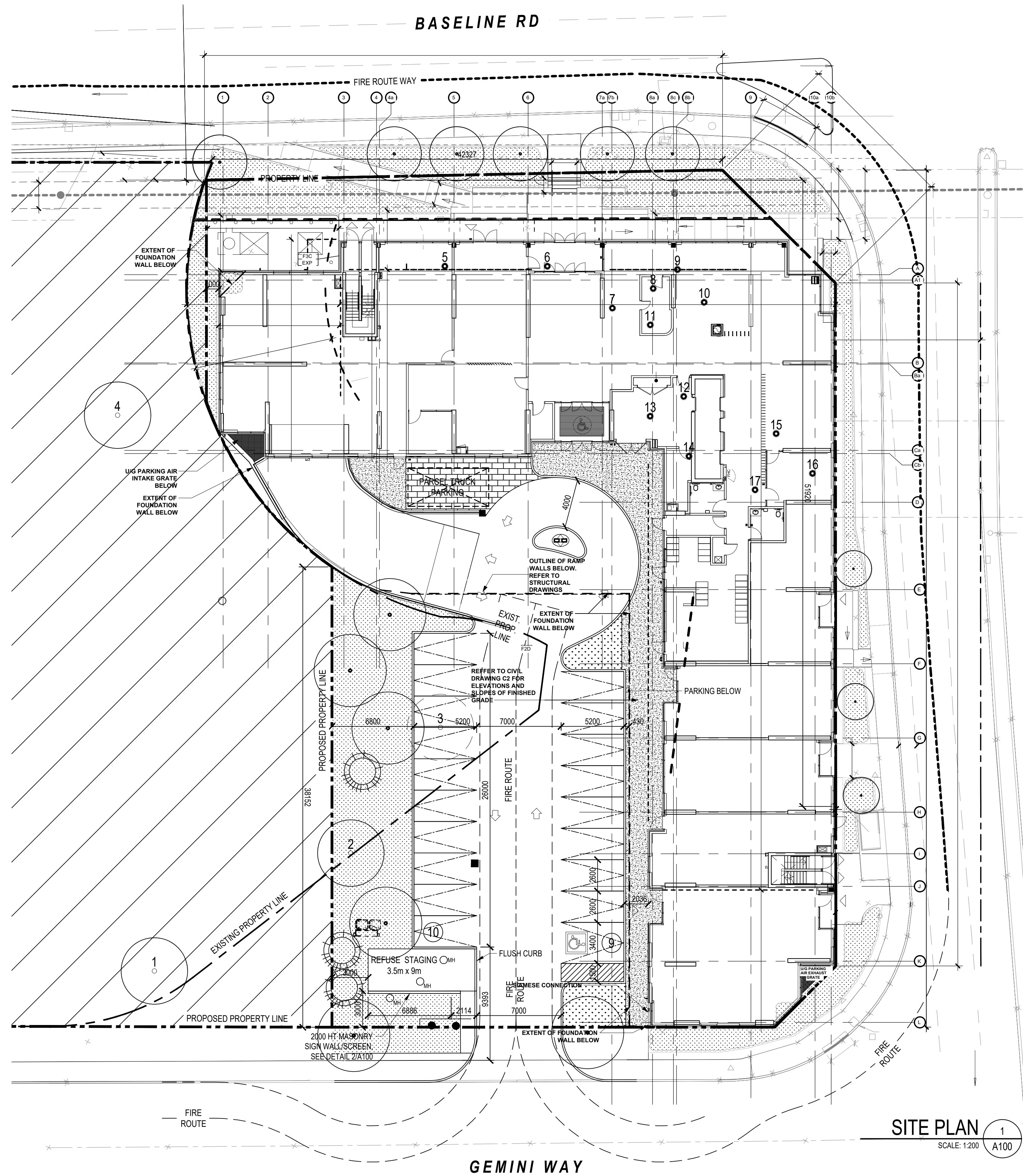
TREE STATUS LEGEND



NOTE: SEE TREE CONSERVATION REPORT FOR ADDITIONAL INFO AND DETAILS



SCREEN WALL DETAIL 2 SCALE: 1:30 A100



PARKING REQUIRED (By-law No.2008-250)

Table 101: MIN PARKING SPACE RATES - R22

ZONING REQUIREMENT (AREA B)	REQUIRED SPACES	PROVIDED SPACES	COMPLY
RETAIL (MIXED USE) (0 REQ'D <1500m²)	0	0	YES
RATE PER DWELLING UNIT	0.20	0.51	YES
# OF PARKING SPACES	53	137	YES
VISITOR PARK'G (0(0-12)+0.1/UNIT (12-267)	26	26	YES
SURFACE PARKING			
U/G PARKING P1		19	
U/G PARKING P2		36	
U/G PARKING P3		39	
U/G PARKING P4		39	
U/G PARKING P4		42	
TOTAL SPACES	79	175	*INCLUDES ACCESSIBLE SPACES
SURPLUS / DEFICIT	96	221%	YES
*ACCESSIBLE SPACES *COUNTED AS PART OF TOTAL SPACES ABOVE			
2(1-30) +2(31-60) +2(61-100)+2(PER 30)	6	6	YES
SMALL CARS	MAX	PROVIDED	
SMALL CAR (2.4x4.6) 40% MAX	40%	10%	YES
	32	17	YES
BICYCLE PARKING - TABLE 111A			
.05 PER DWELLING UNIT	134	286	YES
VERTICAL (MAX)	53(40%)	51	214
HORIZONTAL(MIN)	81	163	72
STACKED	-	72	72

ZONING INFORMATION - ZONING BY-LAW 2008-250
City of Ottawa Official Plan & Baseline-Woodroffe Secondary Plan

Permitted Use:	Yes	NO
MIXED USE	YES	
Part 10 - Mixed Use / Commercial Zones (Sections 185-198)	REQUIRED	PROVIDED
0.10 Lot Area	# / M² / M	M² / M
0.11 Floor Space Index	NO MIN.	3179.3
0.12 Lot Frontage (Min)	N/A	4.3
0.13 Lot Coverage (Max)(Combined)	N/A	53.8
0.14 Building Height (Max) - Sect 9	N/A	47.3%
0.15 Bldg Height # of Storeys (Max)	45m	45m
0.16 Front Yard Setback (Min)	N/A	14
0.16a Hydro Line Setback	N/A	3.3
0.17 Side Yard Setback (Min)	5m	5m
0.18 Rear Yard Setback (Min)	N/A	0.0
0.19 Lot Depth (Min)	N/A	0.0
0.20 Landscaped Area Width (Min)	-	70.7
0.21 Landscape Area of Parking Lot	15%	70.7
0.22 Amenity Space -6sm/unit	N/A	J
L01 amenity area	1602.0	34.3%
L15 amenity area	-	699.0
L15 Roof Amenity Area	-	639.0
	-	310.9

PARKING STANDARDS (SECTION 6.18)

PARKING STALLS - STANDARD	2.6 x 5.2	YES
PARKING STALLS - SMALL SPACE	2.4 x (5.2 or 4.6)	YES
ACC. PARKING - AODA TYPE A&B	4 / 3.4 x 5.2 (+1.5) x 2.75	YES
DRIVE AISLE - TWO WAY AT GRADE	6.7m	YES
DRIVE AISLE - TWO WAY PARK. GARAGE	6.0m	YES
LOADING SPACE - STANDARD	3.5 x 9.0 x 4.2(h)	YES
LOADING SPACE - OVERSIZED	4.3 x 13.0 x 4.2(h)	YES
BICYCLE PARKG, HORIZ - Table 111B	0.60 x 1.8	YES

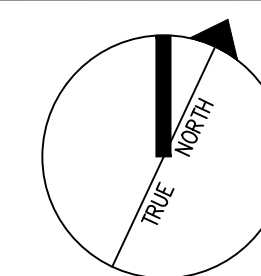
AREAS OF PLAN THAT DO NOT COMPLY WITH ZONING BYLAW

PATH: S:\2023\27_F33-027 OTTAWA - 1 CENTREPOINTE DR. PROPERTY ALIGNMENT\3.0 - DRAWINGS\3.1 - DESIGN\3.1 SITE PLAN\3-07-25 RV\A-100 SITE PLAN R1.9.DWG | PLOTTED ON: 6 August 2024

ISSUED FOR COORDINATION
PROJECT N9-23-027
ISSUE DATE: 06 AUG. 2024

REVISION 1.9

PROPOSED SITE PLAN
A-100



1 CENTREPOINTE DR. PROPERTY ALIGNMENT
2140 BASELINE RD, NEPEAN
(OTTAWA) ON, K2G 6E2
Closest Major Intersection: Hwy 416 & Hwy 417



CLIENT:
THEBERGE HOMES
904 LADY ELLEN PLACE
OTTAWA, ON K1Z 5L5

