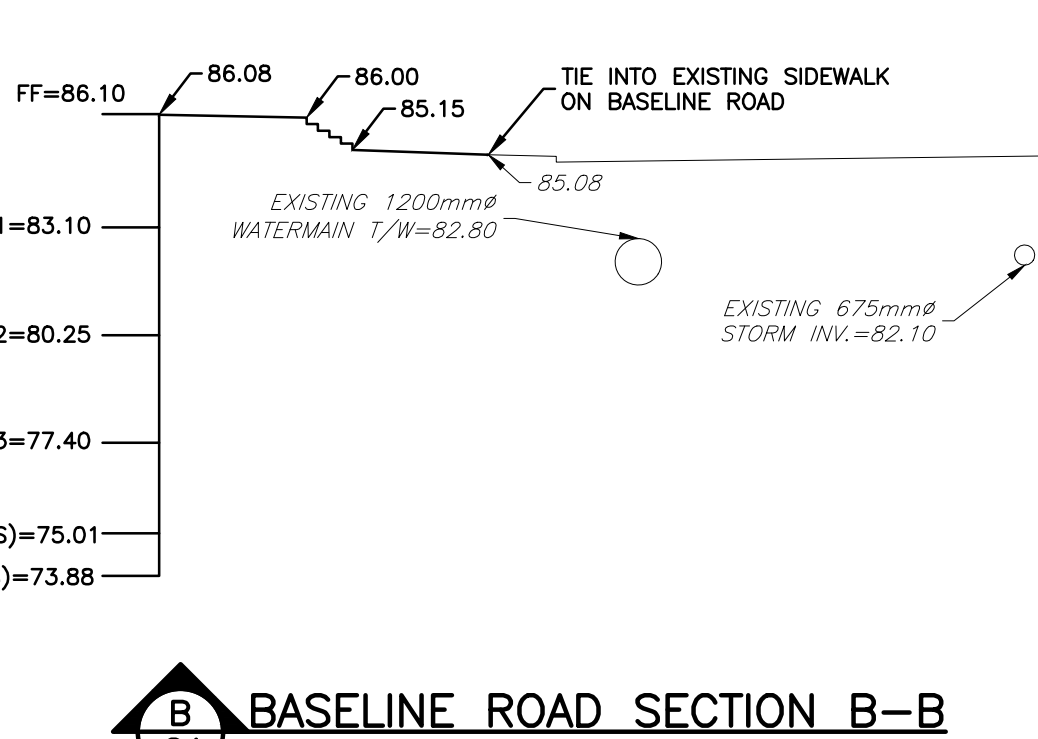
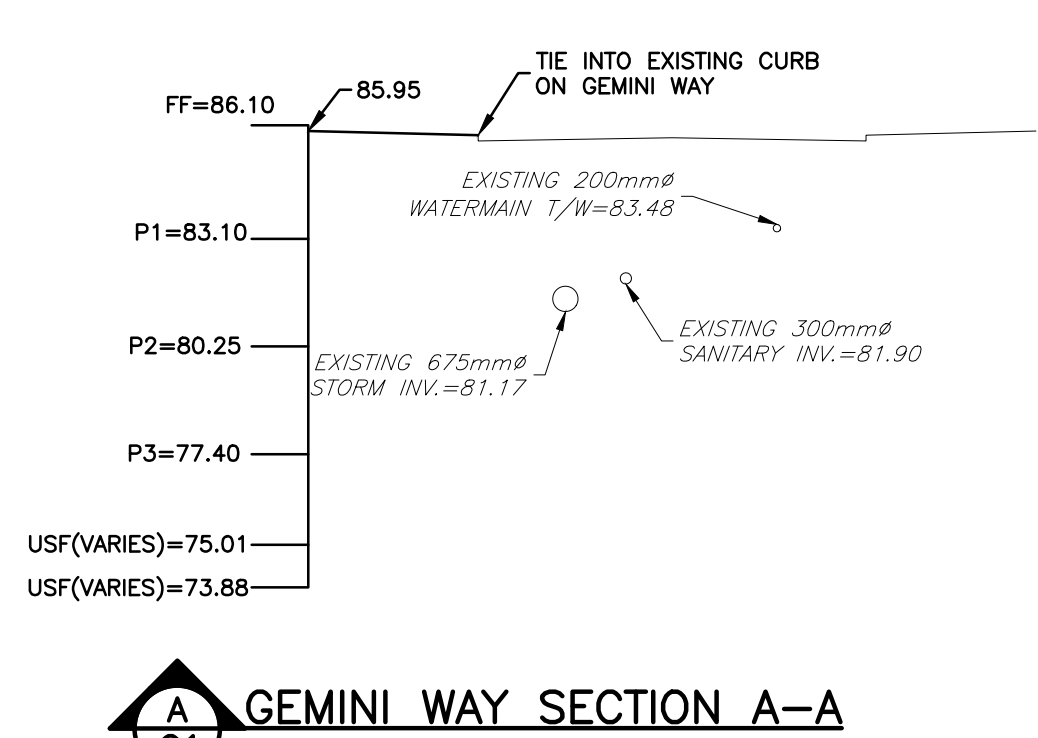
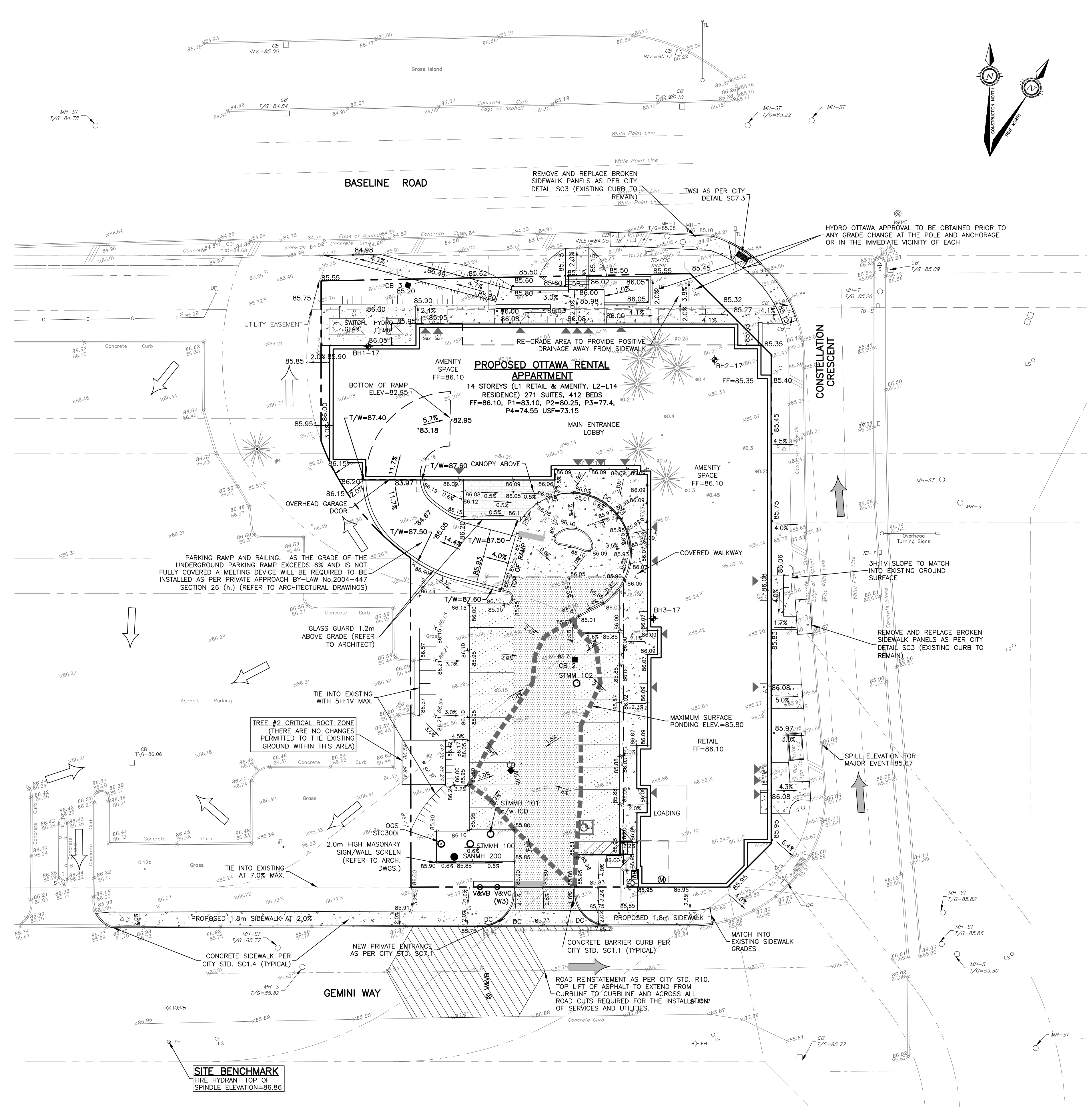
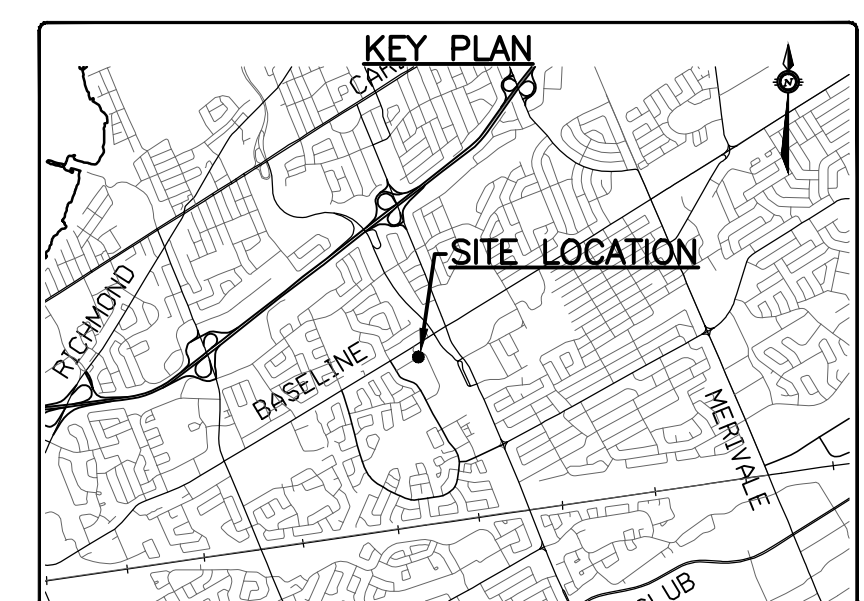


GENERAL NOTES FOR GRADING

- ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.
- GRADING IN GRASSED AREAS WILL BE BETWEEN 2% TO 7%. GRADES IN EXCESS OF 7% WILL REQUIRE A MAXIMUM 3:1 TERRACING.
- SNOW IS NOT PERMITTED TO BE PLACED IN THE RIGHT-OF-WAY UNDER ANY SITUATION. SNOW TO BE REMOVED WITH HIRED SNOW REMOVAL SERVICE.



- EXISTING LEGEND**
- SURVEY MONUMENT PLANTED
 - SURVEY MONUMENT FOUND
 - OVERHEAD WIRES
 - UTILITY POLE
 - LS LIGHT STANDARD
 - CB CATCH BASIN
 - T/G TOP OF GRADE
 - GM GAS METER
 - TB-T TRAFFIC CONTROL BOX
 - MH-T TRAFFIC MANHOLE
 - MH-S STORM SEWER MANHOLE
 - MH-S SANITARY SEWER MANHOLE
 - V&V WATER VALVE AND VALVE BOX
 - FH FIRE HYDRANT
 - EXISTING TREES/SHRUBS
 - B BOLLARD
 - BF BOARD FENCE
 - +85.00 LOCATION OF ELEVATIONS
 - +65.00 TOP OF CURB ELEVATION
 - WR/W WOODEN RETAINING WALL
 - C/L CENTRELINE

- PROPOSED LEGEND**
- PROPERTY LINE
 - SANMH 200 PROPOSED SANITARY MANHOLE
 - STMMH 100 PROPOSED STORM MANHOLE
 - OGS PROPOSED OIL GRIT SEPARATOR
 - CB1 PROPOSED CATCH BASIN
 - RD PROPOSED ROOF DRAIN
 - V&V PROPOSED WATER VALVE & VALVE BOX
 - WM PROPOSED WATER METER
 - RM PROPOSED REMOTE WATER METER
 - Y-SC PROPOSED SIAMSE CONNECTION
 - FF FINISHED FLOOR ELEVATION
 - UFF UNDERSIDE OF FOOTING ELEVATION
 - P1 PARKING LEVEL 1
 - 3.0% PROPOSED SLOPE & DIRECTION OF FLOW
 - 86.66 PROPOSED GRADE
 - (86.36) PROPOSED SWALE GRADE
 - PROPOSED SWALE
 - T/W= PROPOSED TOP OF WALL GRADE
 - T/G= TOP OF GRADE
 - ICD INLET CONTROL DEVICE
 - ONSITE OVERLAND FLOW DIRECTION
 - EXTERNAL OVERLAND FLOW DIRECTION
 - DC PROPOSED BUILDING ENTRY/EXIT
 - DC DEPRESSED CURB/SIDEWALK
 - BH1-17 BOREHOLE LOCATION AND NUMBER

- PAVEMENT STRUCTURES**
- LIGHT DUTY PAVEMENT STRUCTURE
50mm HL3 OR SUPERPAVE 12.5mm
150mm GRANULAR 'A'
300mm GRANULAR 'B' TYPE II
 - HEAVY DUTY PAVEMENT STRUCTURE
40mm HL3 OR SUPERPAVE 12.5mm
150mm GRANULAR 'A'
450mm GRANULAR 'B' TYPE II
 - LANDSCAPING (SEE ARCHITECT PLAN)

APPROVED
By Kersten Nitsche at 10:57 am, Nov 08, 2024

Kersten Nitsche

**KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA**

CAUTION
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

14	REVISED GRADING AROUND TREE #2	09/08/24	SAB	BMT	7	REVISED AS PER CITY COMMENTS	02/08/19	SAB	BMT
13	ISSUED FOR APPROVAL	12/04/24	SAB	BMT	6	REVISED AS PER CITY COMMENTS	14/06/19	SAB	BMT
12	PROPERTY LINE/PARKING UPDATES	24/11/23	SAB	BMT	5	REVISED AS PER CITY COMMENTS	28/03/19	SAB	BMT
11	REVISED RAMP ENTRY GRADING	13/10/23	SAB	BMT	4	RE-ISSUED FOR SITE PLAN APPROVAL	18/12/18	SAB	BMT
10	REMOVED SEATING WALL ALONG CONSTELLATION CRESCENT	17/12/20	SAB	BMT	3	ISSUED FOR REVIEW	20/11/18	AO	BMT
9	ISSUED FOR BUILDING PERMIT	25/06/20	SAB	BMT	2	ISSUED FOR SITE PLAN APPROVAL	24/05/18	SAB	BMT
8	UPDATED TO RENTAL UNITS	12/12/19	MZG	BMT	1	ISSUED FOR CLIENT REVIEW	23/05/18	SAB	BMT
REV	REVISION DESCRIPTION	DATE	BY	APPO	REV	REVISION DESCRIPTION	DATE	BY	APPO

DESIGNED BY	SAB	SCALE	0 2m 4m 10m
CHECKED BY	JLF	HORIZONTAL	1:250
DESIGNED BY	BMT		
CHECKED BY	BMT		
DESIGNED BY	BMT		
CHECKED BY	BMT		
DESIGNED BY	BMT		
CHECKED BY	BMT		

CLIENT	BASELINE CONSTELLATION PARTNERSHIP INC. THEBERGE HOMES 904 LADY ELLEN PLACE OTTAWA, ON. K1Z 5L5
PROJECT	OTTAWA RENTAL APARTMENT 2140 BASELINE ROAD OTTAWA, ONTARIO.
PROJECT NO.	OTT-00245012-AG
SURVEY	FSD
DATE	APRIL 2018
DRAWING NO.	C2

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PROJECT MANAGER	BMT
TITLE	GRADING PLAN
APPROVED BY	BMT