

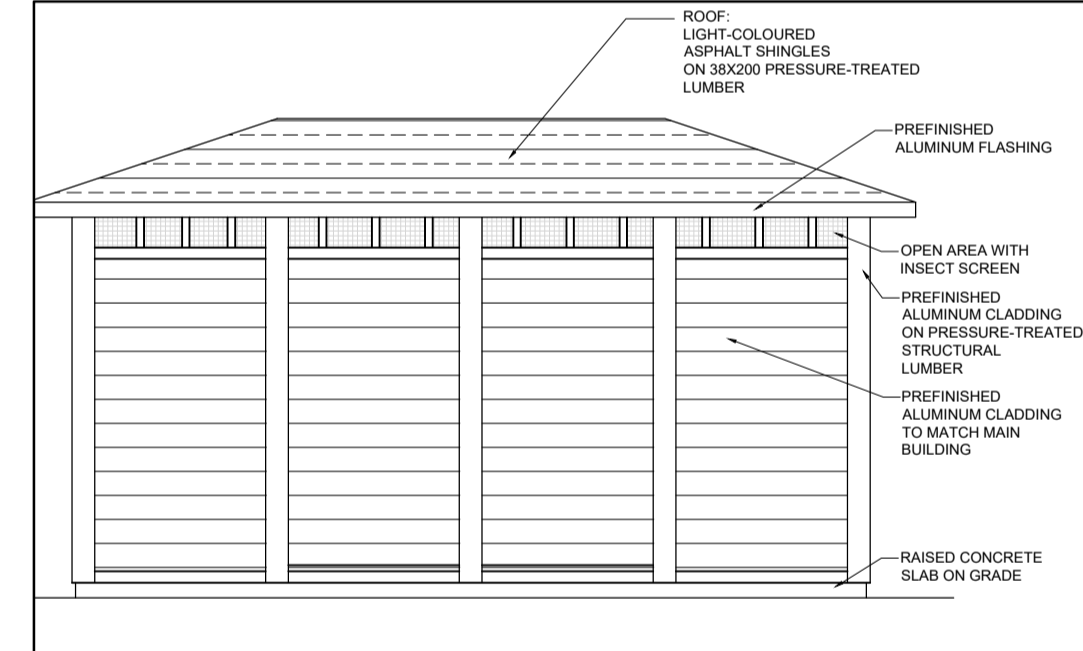
**1 SITE PLAN**  
SCALE = 1 : 100

ZONE MECHANISM	ZONE PROVISION DEVELOPMENT	PROPOSED	IN COMPLIANCE (YES/NO)
MINIMUM LOT AREA (M²)	540 M²	862.76 M	YES
MINIMUM LOT WIDTH	18 M	22.859 M	YES
MINIMUM FRONT YARD SETBACK	6 M	6 M	YES
MINIMUM PERCENTAGE OF LANDSCAPED AREA FOR LOT THAT CONTAINS APARTMENT DWELLING - MID-RISE, HIGH-RISE OR LOW-RISE, STACKED DWELLING, RETIREMENT HOME, OR PLANNED UNIT DEVELOPMENT	30% (258)	OVER 30% (340)	YES
MINIMUM CORNER SIDE YARD SETBACK (NOT APPLICABLE)	4.5 M	N/A	N/A
MINIMUM REAR YARD SETBACK	11 M	11.314 M	YES
MINIMUM INTERIOR SIDE YARD SETBACK	3 M	3 M	YES
MAXIMUM BUILDING HEIGHT	15 M	14.8 M	YES
MAXIMUM FLOOR SPACE INDEX	NONE	N/A	YES
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT (SECTION 110)	3 M (ABUTTING A STREET) NONE (NOT ABUTTING A STREET)	NONE	YES
MINIMUM PARKING	1 VISITOR PARKING SPACE	3 SPACES (1 ACCESSIBLE) YES	
MINIMUM BICYCLE PARKING (SECTION 115)	0.5 PER DWELLING UNIT (10 REQUIRED)	12 OUTDOOR	YES

- GENERAL NOTES:**
- REFER TO SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
  - PROPERTY BOUNDARIES HAVE BEEN ESTABLISHED FROM SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. JUNE 21, 2023.
  - GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON NEW CONSTRUCTION CIVIL PLANS. NEW GRADES TO THE INTO EXISTING GRADES. REFER TO CIVIL DRAWINGS.
  - CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE PRESERVATION.
  - REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHT TING, AND MASTER SITE PLAN.
  - ALL NOTES ARE AS PER CITY/ PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.

**LOT DESCRIPTION:**

PIN: 04425-0027 LT PARTS OF LOTS 49 AND 50; AS IN CT176790; GLOUCESTER REGISTERED PLAN 86 CITY OF OTTAWA



**2 GARBAGE ENCLOSURE - SIDE ELEVATION**  
SCALE = 1 : 50

**PROJECT INFORMATION**

PROJECT: NEW LOW RISE STACKED APARTMENT DWELLING  
MUNICIPAL ADDRESS: 1108 MAISONNEUVE ST, ORLEANS (OTTAWA), ON K1C 1L1  
PIN:  
ZONING USE: RSA - R5A(2179)H(40), RESIDENTIAL ZONE S, APARTMENT DWELLING, LOW RISE, STACKED  
PROPOSED CONSTRUCTION: NEW 4 - STOREY BUILDING  
PROPOSED USE: APARTMENT DWELLING, LOW RISE, STACKED  
BUILDING HEIGHT: 14.901m (48.89 FT)  
GROSS FLOOR AREA: 329.01 m<sup>2</sup> (3 541 SQ FT)

**PARKING STATISTICS:**

STANDARD PARKING:  
2 SPACES OF 2.6m W x 5.2m L (8' - 7" W x 17' - 0" L)

ACCESSIBLE PARKING:  
1 SPACE OF 3.66m W X 5.2m L (12' - 0" W x 17' - 0" L)

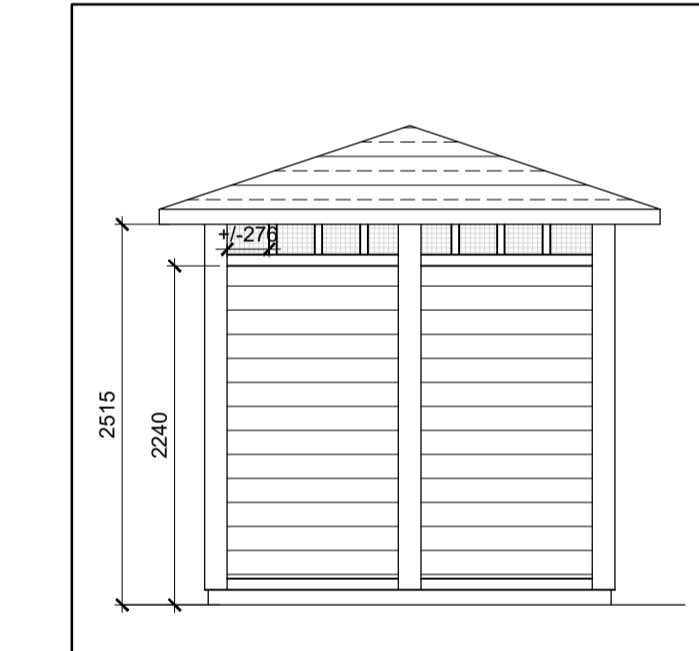
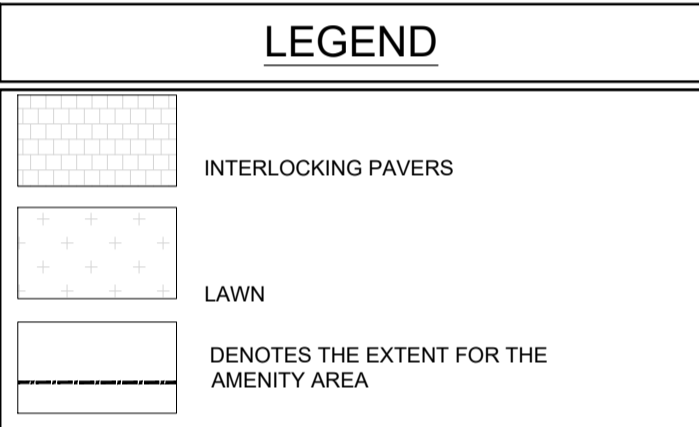
TOTAL PARKING SPACES: 3

BICYCLE PARKING: 12 EXTERIOR COVERED

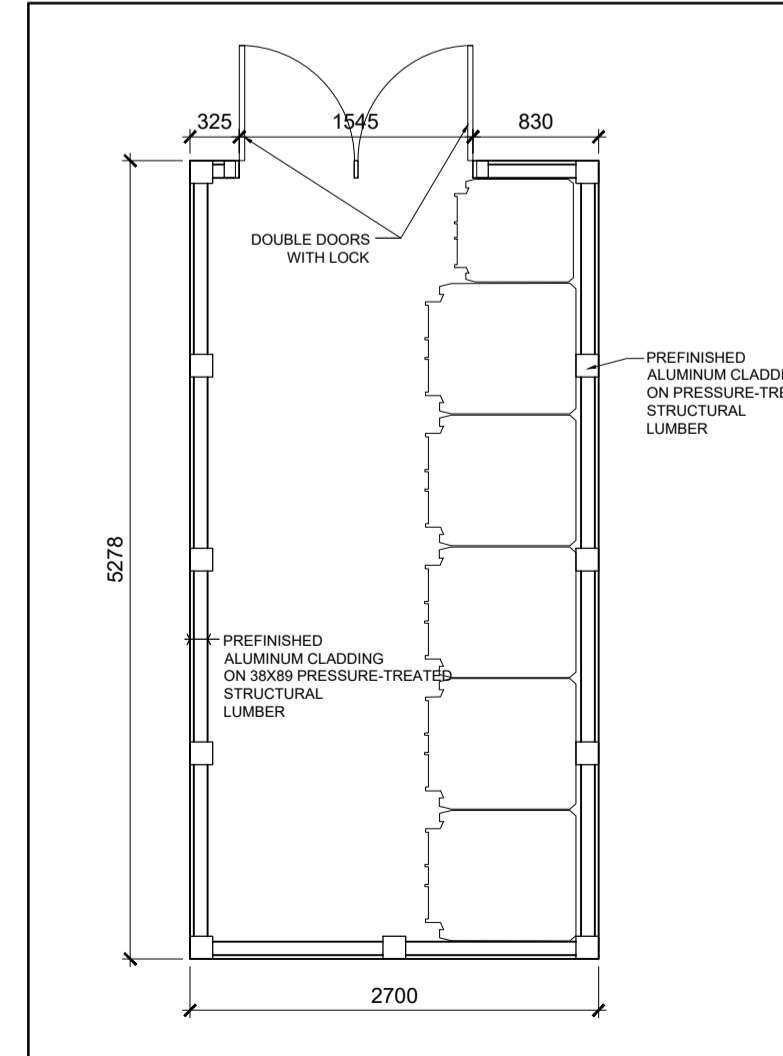
LANDSCAPING:  
REQUIRED 15% OF PARKING AREA

TOTAL PARKING AREA: 133 m<sup>2</sup>  
15% LANDSCAPING REQUIRED: 19.95 m<sup>2</sup>

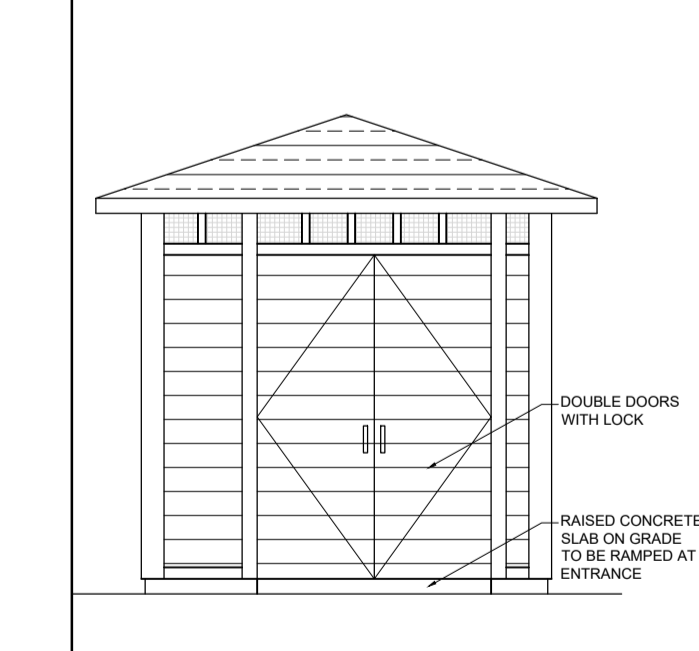
TOTAL LANDSCAPED AREAS PROVIDED: 340 m<sup>2</sup>  
TOTAL AMENITY AREA PROVIDED: min. 72m<sup>2</sup>



**3 GARBAGE ENCLOSURE REAR ELEVATION**  
SCALE = 1 : 50



**4 GARBAGE ENCLOSURE - PLAN**  
SCALE = 1 : 50



**4 GARBAGE ENCLOSURE FRONT ELEVATION**  
SCALE = 1 : 50

CLIENT

SITE AREA: 890.44m<sup>2</sup> (9,584.57 SQ FT)

PROJECT NORTH SEAL

TRUE NORTH

ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE REV.
2024/09/27	REISSUED FOR SPA	7
2024/09/25	REISSUED FOR SPA	6
2024/09/19	ISSUED FOR PERMIT	5
2024/08/28	ISSUED FOR REVIEW	5
2024/07/31	REISSUED FOR SPA	5
2024/07/31	REISSUED FOR SPA	4
2024/07/09	ISSUED FOR COORDINATION	3
2024/06/04	REISSUED FOR SPA	3
2024/05/21	REISSUED FOR SPA	2
2024/05/17	ISSUED FOR SPA	1
2024/05/06	ISSUED FOR REVIEW	1

PROJECT NAME  
**PULSE SOCIETIES LTD.**  
**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve St, Ottawa, ON K1C 1L1

DRAWING TITLE  
**SITE PLAN**

DATE: 09.07.2024 PROJECT NO.: 24-002

SCALE: AS NOTED

DRAWN BY: BR DRAWING NO.: A-100

REVIEWED BY: LCL