

# DRAWING LIST

## ARCHITECTURAL

- A-000C COVER PAGE
- A-001C ABBREVIATED SPECIFICATIONS
- A-002C ABBREVIATED SPECIFICATIONS
- A-003C WALL, FLOOR & ROOF ASSEMBLIES
- A-004C OBC MATRIX, DOORS, FRAMES, WINDOWS & UNIT SCHEDULES
  
- A-050C SITE PLAN - DEMOLITION
- A-100C SITE PLAN - CONSTRUCTION
  
- A-200C BASEMENT FLOOR PLAN
- A-201C 1ST FLOOR PLAN
- A-202C 2ND FLOOR PLAN
- A-203C 3RD FLOOR PLAN
- A-204C 4TH FLOOR PLAN
- A-205C ROOF PLAN
  
- A-400C NORTH & SOUTH - ELEVATIONS
- A-400C BUILDING SECTIONS
- A-405C WALL SECTIONS
  
- A-500C STAIRS PLAN & SECTION DETAILS
  
- A-600C WASHROOM ENLARGED PLANS
- A-601C WASHROOM ELEVATIONS
- A-602C WASHROOM ELEVATIONS
- A-610C SECTION DETAILS

24-002-C

ISSUED FOR PERMIT  
2024.09.19

ARCHITECTURAL

(L+D)

LALANDE + DOYLE ARCHITECTS INC. Tel: 613.233.2800 159 Holland Ave.  
www.lplad.com Fax: 613.233.1008 Ottawa, Ontario K1Y 0Y2



PULSE SOCIETIES LTD.  
ORLEANS DEVELOPMENT

1108 Maisonneuve Street, Orleans (Ottawa), ON





**PARTITION ASSEMBLY**  
SHAFT WALL - 2 HOUR FRR

**DESCRIPTION**

- 1/2" SHEETROCK FIRECODE C 2 HOUR ULC DES W452, SA926 A-30, CORE GYPSUM PANELS, FACE LAYER JOINTS FINISHED
- 2-1/2" C-H STUDS, 25 GAUGE, 24" O.C.
- 1" SHEETROCK GYPSUM LINER PANELS

**NOTE:**  
ULC DES W452, SYSTEM B

**TYPE** P4

**PARTITION ASSEMBLY**  
FIRE-RATED DEMISING WALLS

**DESCRIPTION**

- 5/8" SHEETROCK FIRECODE C CORE GYPSUM PANELS
- 2X4" WOOD STUDS @ 16" O.C.
- 3" SOUND ATTENUATION FIRE WOOL
- RESILIENT CHANNEL ONE SIDE
- JOINTS FINISHED

**NOTE:**  
1 HOUR UL DES U327 A-24  
STC 50 BBN-760903

**TYPE** P1

**PARTITION ASSEMBLY**  
EXTERIOR WALL - SIDING (CEMENT)

**DESCRIPTION**

- 5/16" PREFINISHED CEMENT SIDING
- 1X3" WOOD STRAPPING @ 16" O.C.
- 1/2" OSB SHEETING
- 2" SEMI-RIGID MINERAL INSULATION
- 6 MIL VAPOUR BARRIER
- ALL WINDOW AND DOOR OPENING ENGINEERED IN TO BE LINED WITH MEMBRANE
- R24 MINERAL WOOL INSULATION
- 2" X 4" FRAMING (STUDS, HEADERS, LVL'S AND PARALLAMS AS NECESSARY)
- 1X3" FURRING
- 1/2" GYPSUM BOARD

**NOTE:**

**TYPE** W1

**ROOF ASSEMBLY**

**DESCRIPTION**

- MOD BIT MEMBRANE ROOFING
- PROTECTION BOARD
- TAPERED RIGID INSULATION
- 3/4" ROOF SHEATHING
- 14" ENGINEERED WOOD JOISTS
- 14" MINERAL WOOL INSULATION
- 1/2" OSB SHEETING
- 5/8" GYPSUM BOARD
- SUSPENDED GYPSUM BOARD CEILING

**NOTE:**

**TYPE** R1

**PARTITION ASSEMBLY**  
FIRE-RATED DEMISING WALLS

**DESCRIPTION**

- 3 1/2" BRICK ANCHORED TO STRUCTURE
- 5/8" SHEETROCK FIRECODE C CORE GYPSUM PANELS
- 2X4" WOOD STUDS @ 16" O.C.
- 3" SOUND ATTENUATION FIRE WOOL
- 5/8" SHEETROCK FIRECODE C CORE GYPSUM PANELS
- RESILIENT CHANNEL ONE SIDE
- JOINTS FINISHED

**NOTE:**  
1 HOUR UL DES U327 A-24  
STC 50 BBN-760903

**TYPE** P1A

**PARTITION ASSEMBLY**  
EXTERIOR WALL - SIDING (METAL/WOOD)

**DESCRIPTION**

- 1/2" PREFINISHED METAL SIDING
- 1X3" WOOD STRAPPING @ 16" O.C.
- SILL GASKETS
- 2" SEMI-RIGID MINERAL INSULATION
- 1/2" OSB SHEETING
- 6 MIL VAPOUR BARRIER
- ALL WINDOW AND DOOR OPENING ENGINEERED IN TO BE LINED WITH MEMBRANE
- R24 MINERAL WOOL INSULATION
- 2" X 4" FRAMING (STUDS, HEADERS, LVL'S AND PARALLAMS AS NECESSARY)
- 1X3" FURRING
- 1/2" GYPSUM BOARD

**NOTE:**

**TYPE** W2

**FLOOR ASSEMBLY**

**DESCRIPTION**

- FLOOR FINISH - REFER TO SPECS
- 3/4" THICK LEVEL ROCK® BRAND 2500 SERIES FLOOR UNDERLAYMENT
- SOUND MAT - 1 LAYER 1/8" THICK LEVEL ROCK® BRAND SAMAN™ SOUND ATTENUATION MAT
- SUBFLOORING: 1 LAYER 5/8" T&G PLYWOOD SUBFLOOR
- STRUCTURAL WOOD MEMBERS: 1 LAYER 1-2" ENGINEERED WOOD JOISTS, SPACED MAX. 24" O.C.
- INSULATION: 1 LAYER 3-1/2" UNFACED MINERAL WOOL
- RESILIENT CHANNEL: 1 LAYER 25 GA. RESILIENT CHANNELS SPACED 16" O.C. (SOUND TESTED WITH RC BELLEGGES)
- GYPSUM PANEL: 1 LAYER 5/8" SHEETROCK® ECOMART GYPSUM PANEL (UL TYPE ULX™)

**NOTE:**  
1 HOUR UL DES L530  
ASTC 57 TO 59  
AIC: 54 TO 56

**TYPE** F1

**PARTITION ASSEMBLY**  
BASIC INTERIOR PARTITION

**DESCRIPTION**

- 1/2" GYPSUM BOARD
- 2X4" STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

**NOTE:**

**TYPE** P2

**PARTITION ASSEMBLY**  
EXTERIOR WALL - BRICK

**DESCRIPTION**

- 3 1/2" BRICK VENEER
- FEROFAST THERMAL BRACKETS
- 1" ENGINEERED DRAINAGE & VENTILATION MAT
- 2" SEMI-RIGID MINERAL INSULATION
- AIR MEMBRANE
- 1/2" SHEATHING
- 6" MINERAL WOOL BATT INSULATION
- 6" VAPOUR BARRIER
- 5/8" GYPSUM BOARD

**NOTE:**

**TYPE** W3

**FLOOR ASSEMBLY**

**DESCRIPTION**

- FINISHED FLOORING AS PER OWNER SPEC.
- 5/8" T&G PLYWOOD SUB FLOOR
- PRELINED W.D. JOISTS @ 16"
- SAFB BETWEEN JOISTS
- RESILIENT METAL CHANNELS @ 16" O.C.
- 1 LAYERS OF 5/8" TYPE X GB

**NOTE:**  
1 HOUR UL DES L530

**TYPE** F2

**PARTITION ASSEMBLY**  
FIRE-RATED CONCRETE BLOCK WALL

**DESCRIPTION**

- 8" REINFORCED CONCRETE BLOCK
- 1/2" GYPSUM BOARD, LAMINATED TO BLOCK

**NOTE:**

**TYPE** P3

**PARTITION ASSEMBLY**  
FOUNDATION WALL - UNDERGROUND

**DESCRIPTION**

- TWO LAYERS OF WATER RESISTIVE BARRIER
- 1" GMB THERMAL DRAIN BOARD
- NEW CONCRETE FOUNDATION WALL
- VAPOUR BARRIER
- 1" COMFORTBATT (R4) NAILED TO WALL
- 2X4 WOOD STUDS FILED WITH 3.5" HEATLOK SOYA SPRAYED INSULATION
- 1/2" GYPSUM BOARD

**NOTE:**

**TYPE** W4

**FLOOR ASSEMBLY**

**DESCRIPTION**

- FLOOR FINISH - REFER TO SPECS
- 3/4" THICK DRYCORE ENGINEERED SUBFLOOR (REFER TO STRUCTURAL)
- 6" COMPACTED SAND
- 2" THICK RIGID INSULATION
- MINIMUM 6" COMPACTED GRAVEL
- UNDISTURBED SOIL

**NOTE:**

**TYPE** F3

**PARTITION ASSEMBLY**  
ELEVATOR SHAFT WALL

**DESCRIPTION**

- 1/2" PREFINISHED METAL SIDING
- 1X3" WOOD STRAPPING @ 16" O.C.
- SILL GASKETS
- 2" SEMI-RIGID MINERAL INSULATION
- 1/2" OSB SHEETING
- VAPOUR BARRIER
- CONCRETE ELEVATOR SHAFT WALL

**NOTE:**

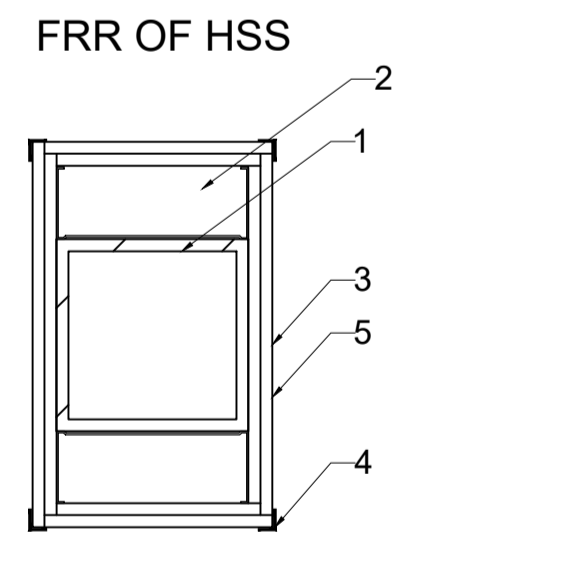
**TYPE** W5

### ONTARIO BUILDING CODE - MATRIX

**FIRM NAME:** LALANDE + DOYLE ARCHITECTS INC.  
**CERTIFICATE OF PRACTICE NUMBER:** 4302  
 159 HOLLAND AVE.  
 OTTAWA, ON K1P 6E5  
 T: 613.233.2900 F: 613.233.1008

**NAME OF PROJECT:** ORLEANS DEVELOPMENT - NEW 4-STORY MULTI-RESIDENTIAL BUILDING  
**LOCATION:** 1108 MAISONNEUVE STREET, ORLEANS (OTTAWA), ON

ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX 3			OBC REFERENCE		
	EXISTING	NEW	ALTERATION	EXISTING	NEW	ALTERATION
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE			PART 3 1.1.2.2.1 [a]		
2	MAJOR OCCUPANCY(S): C - RESIDENTIAL			3.1.2.1.(1)		
3	BUILDING AREA (m²): EXISTING: 0 m² NEW: 329.01 m² TOTAL: 329.01 m²			1.4.1.2 [A]		
4	GROSS AREA (m²): EXISTING: 0 m² NEW: 1,316.04 m² TOTAL: 1,316.04 m²			1.4.1.2 [A]		
5	NUMBER OF STOREYS: ABOVE GRADE: 4 BELOW GRADE: 1			1.4.1.2 [A] & 3.2.1.1.		
6	NUMBER OF STREETS/ FIRE FIGHTER ACCESS: 2			3.2.2.10. & 3.2.5.		
7	BUILDING CLASSIFICATION: 3.2.2.45, Group C, up to 4 Storeys, Sprinklered			3.2.2.45.		
8	SPRINKLER SYSTEM PROPOSED: <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS, EXISTING <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED			3.2.2.45.		
9	STANDPIPE REQUIRED: <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.9.		
10	FIRE ALARM REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.4.		
11	WATER SERVICE/ SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.5.7.		
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.2.6.		
13	CONSTRUCTION RESTRICTIONS: <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMB. <input checked="" type="checkbox"/> BOTH PERMITTED REQUIRED			3.2.2.24.		
14	MEZZANINE(S) AREA (m²):			3.2.1.1.(3) - (8).		
15	OCCUPANT LOAD BASED ON: <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING					
BASEMENT FLOOR: 6 BEDROOMS - 12 PERSONS						
FIRST FLOOR: 4 BEDROOMS - 8 PERSONS						
SECOND FLOOR: 6 BEDROOMS - 12 PERSONS						
THIRD FLOOR: 6 BEDROOMS - 12 PERSONS						
FOURTH FLOOR: 5 BEDROOMS - 10 PERSONS						
TOTAL: 54 PERSONS						
16	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> YES (UNITS)			3.8. & CSA B651-04		
17	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.3.1.2. & 3.3.1.19.		
18	REQUIRED FIRE RESISTANCE RATING (FRR) EXISTING BUILDING			3.2.2.45. & 3.2.1.4.		
NEW BUILDING FLOORS: 1H				UL DES L530		
ROOF: 0 H				NOT REQUIRED - SPRINKLERS		
MEZZANINE:				NOT APPLICABLE		
REQUIRED FRR BETWEEN SUITES:						
ELEVATOR HOISTWAY						
MECHANICAL/ELECTRICAL ROOMS:						
VERTICAL SERVICE SPACES						
19	STC RATINGS					
MINIMUM STC RATINGS						
1. BETWEEN UNITS: 50 BBN-760903						
2. ELEVATOR HOISTWAY: 55						
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS			TABLE 3.2.3.1 D		
WALL				COMBUSTIBLE CONST.		
NORTH				COMB. CONST. CLADDING		
SOUTH				NON-COMB. CONST.		
EAST						
WEST						
21	WASHROOMS: OBC 3.7.4.5: ONE WASHROOM PER UNIT - 20 UNITS = 20 WASHROOMS					



- GENERAL NOTES:**
- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK SITE AND WILL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF MEASUREMENTS AND OBSERVATIONS.
  - CONTRACTOR WILL REPORT ANY ERRORS, OMISSIONS OR DEFECTS TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORK. VERIFY EXISTING CONDITIONS ON SITE AND ADJUST AS NECESSARY.
  - ALL WORK SHALL BE PERFORMED:
    - ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF QUEBEC BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS.
    - IN ACCORDANCE WITH MANUFACTURERS' LITERATURE FOR INSTALLATION AND MAINTENANCE.
  - DO NOT SCALE DRAWINGS: IF NO DIMENSIONS IS GIVEN REFER TO THE AUTHOR OF THE DRAWINGS.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS REGARDING FOOTINGS, FOUNDATIONS, WOOD FRAME STRUCTURE AND ALL OTHER STRUCTURAL COMPONENTS OF THE BUILDING.
  - IT IS FORBIDDEN TO REPRODUCE IN WHOLE OR IN PART THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR. I+D ARCHITECTS OWN EXCLUSIVE COPYRIGHTS ON THIS DOCUMENT.
  - NO COPY OF THIS PLAN WITHOUT THE WRITTEN CONSENT IS PERMITTED. ANY OFFENDER IS SUBJECT TO PROSECUTION. IF ADDITIONAL COPIES ARE REQUIRED, PLACE A REQUEST WITH THE ARCHITECTS. PRINTING COST WILL APPLY.
  - FOUNDATION WALLS SHOULD NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS CURING STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUBFLOOR IS REQUIRED TO STABILIZE THE WALL PRIOR TO BACKFILL.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FOOTINGS, COLUMNS, BEAMS, ETC.
  - PROVIDE FLOOR DRAINS BENEATH LAUNDRY MACHINES. REFER TO MECHANICAL.

CLIENT

PROJECT NORTH

TRUE NORTH

ARCHITECTURAL

MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE DESCRIPTION ISSUE REV.

19/09/2024	ISSUED FOR PERMIT	3
30/08/2024	ISSUED FOR PERMIT REVIEW	2
19/09/2024	ISSUED FOR COORDINATION	1

PROJECT NAME

**PULSE SOCIETIES LTD.**

**ORLEANS DEVELOPMENT - PRR**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

OBC MATRIX, GENERAL NOTES, ASSEMBLIES

DATE PROJECT NO.

09.07.2024 24-002C

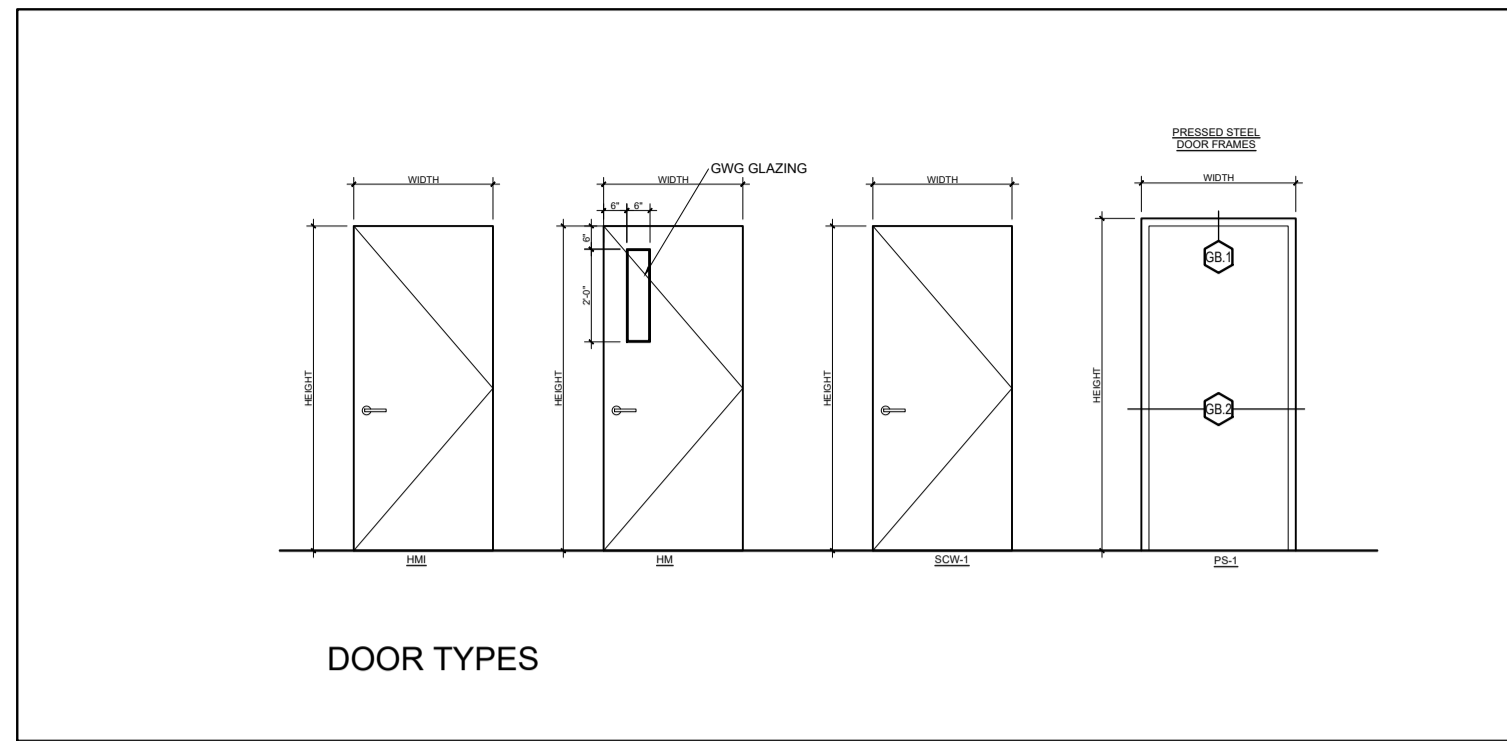
SCALE AS NOTED

DRAWN BY DRAWING NO.

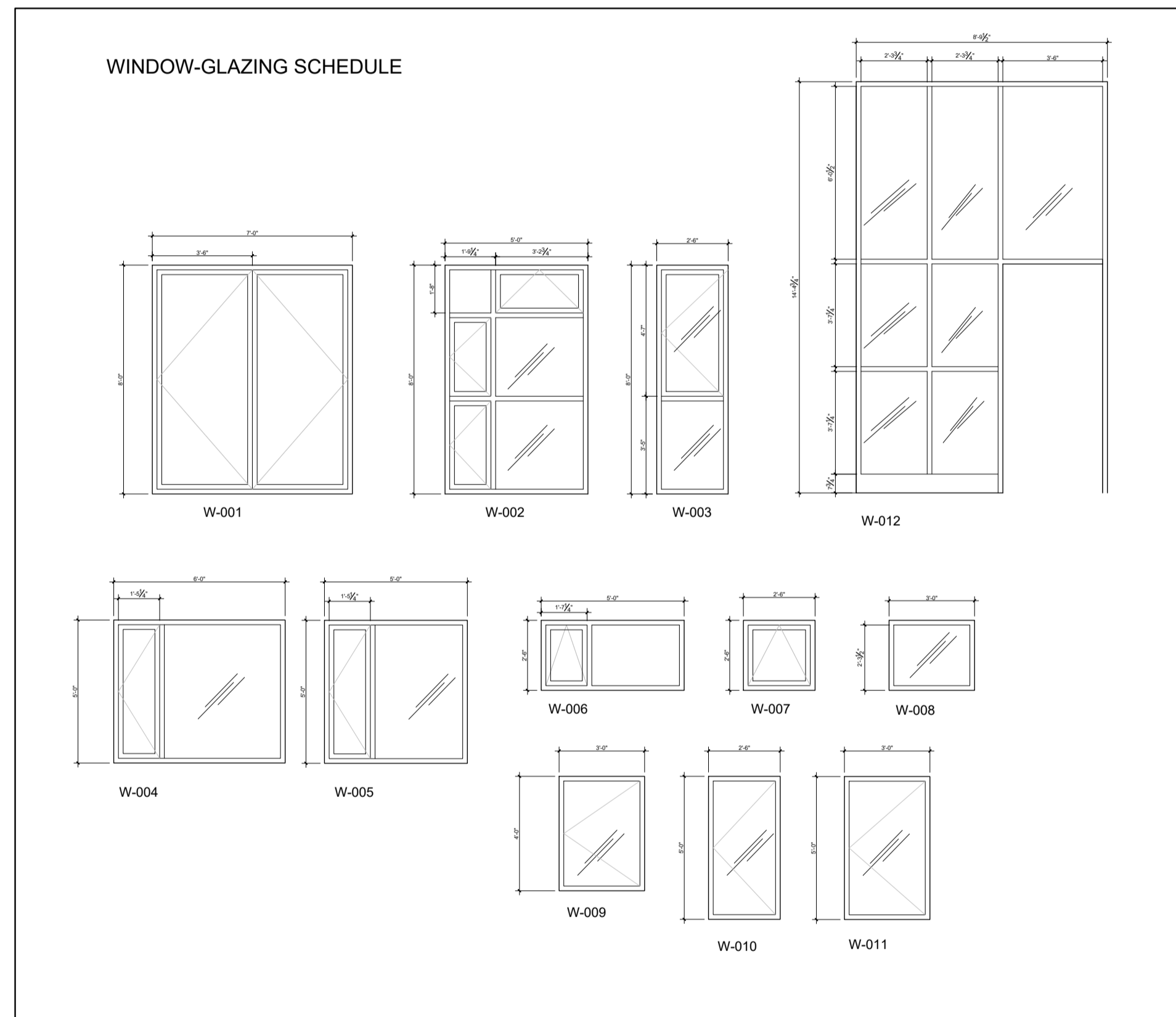
BR A-003

REVIEWED BY LCL





DOOR SCHEDULE								
No.	QTT.	LOCATION	TYPE	DIMENSIONS	FRAME	FRR	HARDWARE	NOTES
D01	1	EXTERIOR ENTRANCE DOOR	ALUMINUM-CLAD WOOD	3'-4" X 8'-0"	ALUMINUM		LOCKSET W/ CLOSER, WEATHERSTRIPPING, POWER OPENER	GLAZED SIDELIGHT & TRANSOM (SEE ELEVATION)
D02	1	INTERIOR ENTRANCE DOOR	ALUMINUM-CLAD WOOD	3'-4" X 8'-0"	ALUMINUM		CLOSER, WEATHERSTRIPPING, POWER OPENER	GLAZED SIDELIGHT & TRANSOM (SEE ELEVATION)
D03	2	EXIT DOOR	HOLLOW METAL INSULATED	3'-0" X 8'-0"	STEEL		LOCKSET & DEADBOLT	
D04	10	STAIRWELL DOOR	HOLLOW METAL	3'-0" X 8'-0"	STEEL	45 MIN.	CLOSER, PASSAGE SET	
D05	16	APART. ENTRANCE DOOR	SOLID CORE WOOD	3'-2" X 8'-0"	WOOD	45 MIN.	LOCKSET & DEADBOLT W/ CLOSER, DOOR VIEWER	
D06	4	ACCESSIBLE APART. ENTRANCE DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD	45 MIN.	LOCKSET & DEADBOLT W/ CLOSER, DOOR VIEWER	
D07	16	BEDROOM DOOR	SOLID CORE WOOD	2'-8" X 8'-0"	WOOD		PRIVACY SET	
D08	4	ACCESSIBLE BEDROOM DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD		PRIVACY SET	
D09	16	WASHROOM DOOR	SOLID CORE WOOD	2'-8" X 8'-0"	WOOD		PRIVACY SET	
D10	4	ACCESSIBLE WASHROOM DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD		PRIVACY SET	



UNIT SCHEDULE				
	UNIT No.	AREA (ft²)	No. of BEDROOMS	REMARKS
BASEMENT	UNIT 1	598 SQ FT	STUDIO	ACCESSIBLE
	UNIT 2	453 SQ FT	STUDIO	
	UNIT 3	590 SQ FT	1 BEDROOM	
	UNIT 4	451 SQ FT	STUDIO	
	UNIT 5	578 SQ FT	1 BEDROOM	
1ST FLOOR	UNIT 6	600 SQ FT	STUDIO	ACCESSIBLE
	UNIT 7	454 SQ FT	STUDIO	
	UNIT 8	588 SQ FT	1 BEDROOM	
	UNIT 9	455 SQ FT	STUDIO	
	UNIT 10	575 SQ FT	1 BEDROOM	
2ND FLOOR	UNIT 11	578 SQ FT	STUDIO	ACCESSIBLE
	UNIT 12	452 SQ FT	STUDIO	
	UNIT 13	548 SQ FT	1 BEDROOM	
	UNIT 14	455 SQ FT	STUDIO	
	UNIT 15	859 SQ FT	2 BEDROOMS	
3RD FLOOR	UNIT 16	578 SQ FT	1 BEDROOM	
	UNIT 17	452 SQ FT	STUDIO	
	UNIT 18	455 SQ FT	1 BEDROOM	
	UNIT 19	455SQ FT	STUDIO	
4TH FLOOR	UNIT 20	859 SQ FT	2 BEDROOMS	
	UNIT 21	578 SQ FT	1 BEDROOM	
	UNIT 22	727 SQ FT	1 BEDROOM	ACCESSIBLE
	UNIT 23	749 SQ FT	1 BEDROOM	ACCESSIBLE
	UNIT 24	859 SQ FT	2 BEDROOMS	

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PROJECT NORTH

TRUE NORTH



ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE REV.
19/09/2024	ISSUED FOR PERMIT	3
30/08/2024	ISSUED FOR PERMIT REVIEW	2
19/08/2024	ISSUED FOR COORDINATION	1

PROJECT NAME  
**PULSE SOCIETIES LTD.  
ORLEANS DEVELOPMENT - PRR**

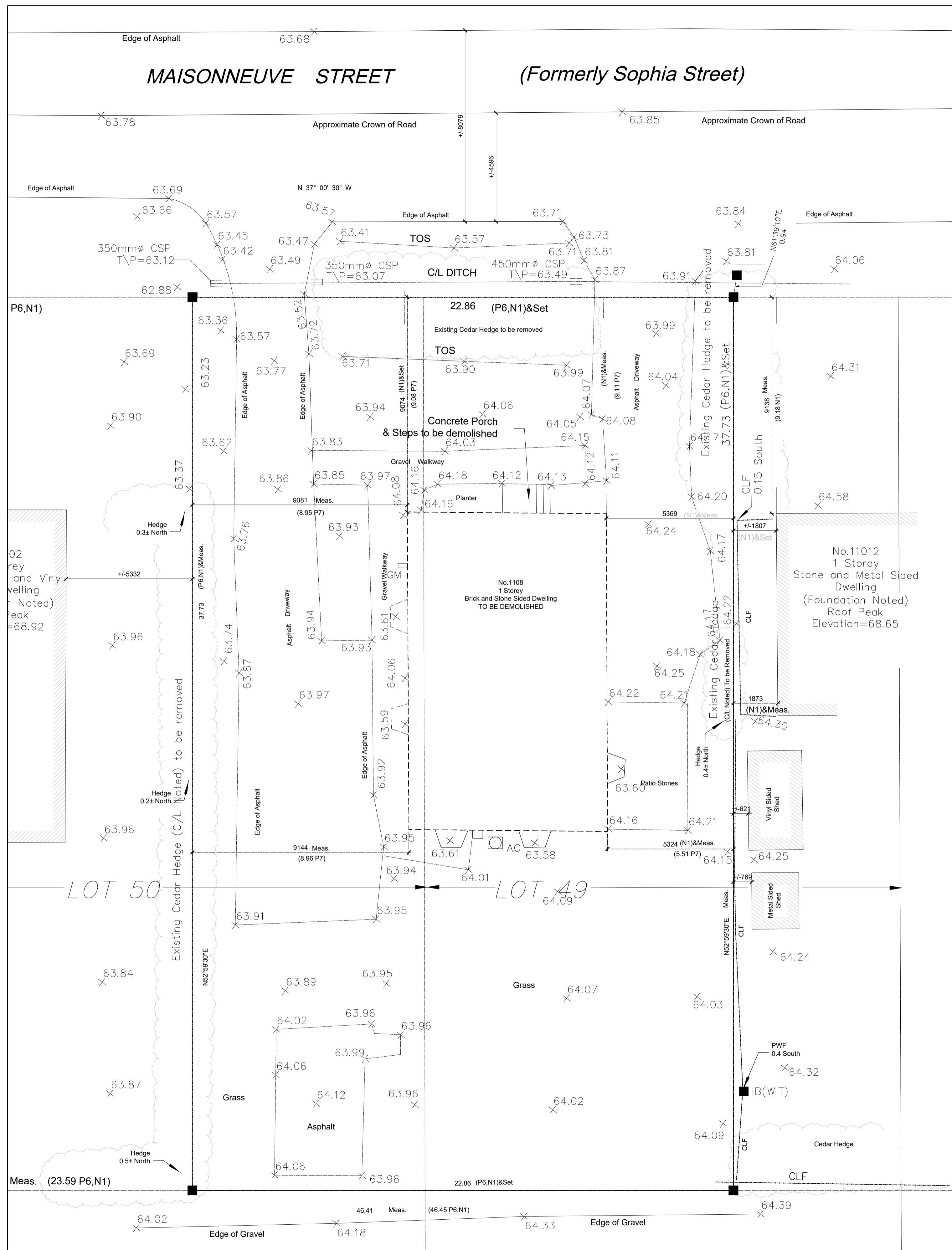
1108 Maisonneuve street, Ottawa, ON

DRAWING TITLE

DOOR, FRAME, WINDOW & UNIT SCHEDULES

DATE: 09.07.2024  
SCALE: AS NOTED  
PROJECT NO.: **24-002C**

DRAWN BY: BR  
REVIEWED BY: LCL  
DRAWING NO.: **A-004**



**1** DEMOLITION - SITE PLAN  
 AD100 SCALE = 1 : TBD

1. REFER TO SURVEY BY FARLEY, SMITH AND DENIS SURVEYING LTD.
1. ALL GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON SITE PLAN. NEW GRADES TO TIE INTO EXISTING GRADES.
2. CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
3. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE PRESERVATION.
4. REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHT FIXING, AND MASTER SITE PLAN.
5. ALL NOTES ARE AS PER CITY / PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.

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PROJECT NORTH



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CIVIL

DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	3
2024/08/28	ISSUED FOR REVIEW	2
2024/05/06	ISSUED FOR REVIEW	1

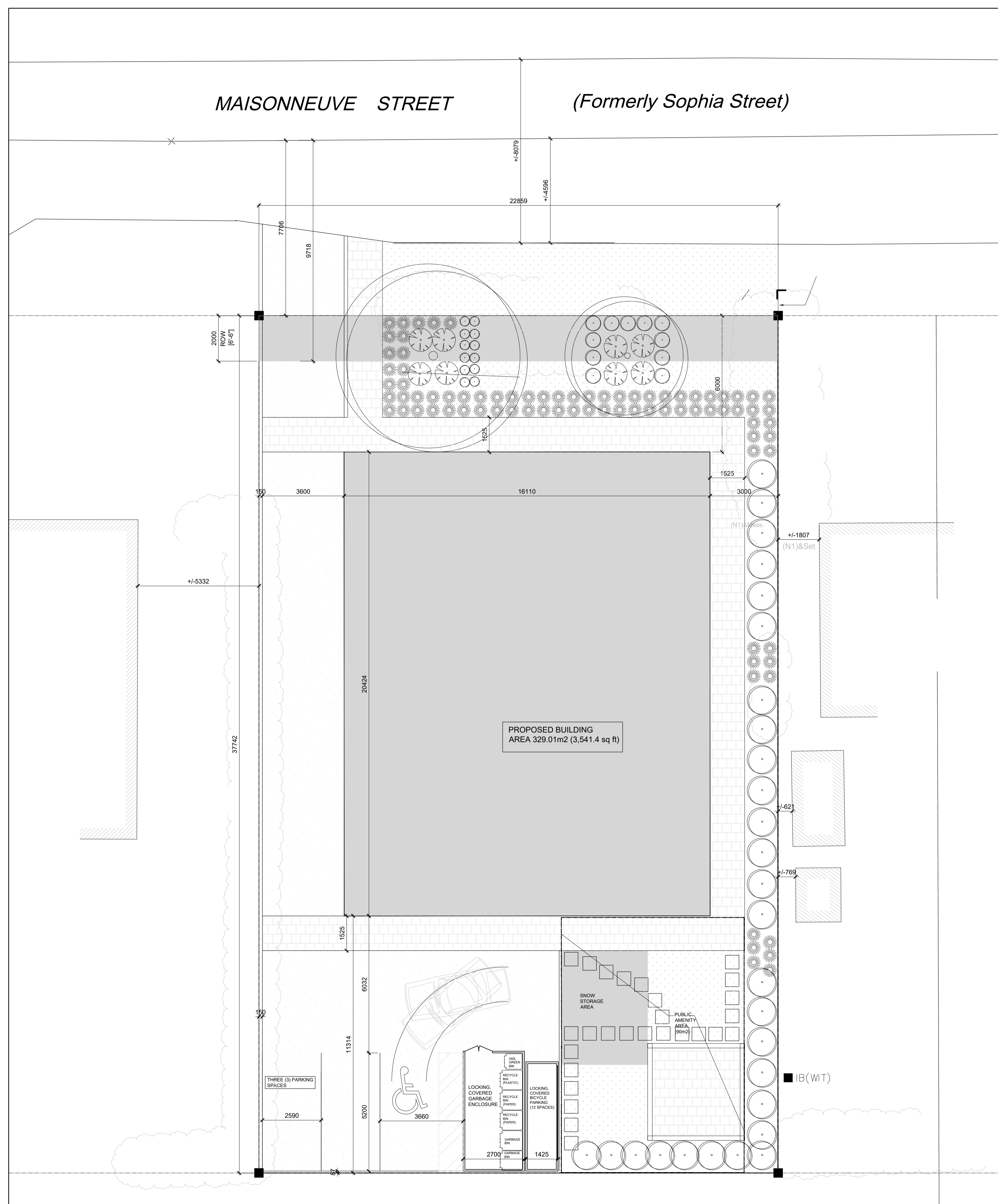
PROJECT NAME  
**PULSE SOCIETIES LTD.**  
**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve St, Ottawa, ON K1C 1L1

DRAWING TITLE

**SITE PLAN - DEMOLITION**

DATE	PROJECT NO.
09.07.2024	<b>24-002</b>
SCALE	AS NOTED
DRAWN BY	DRAWING NO.
BR	<b>A-050</b>
REVIEWED BY	LCL



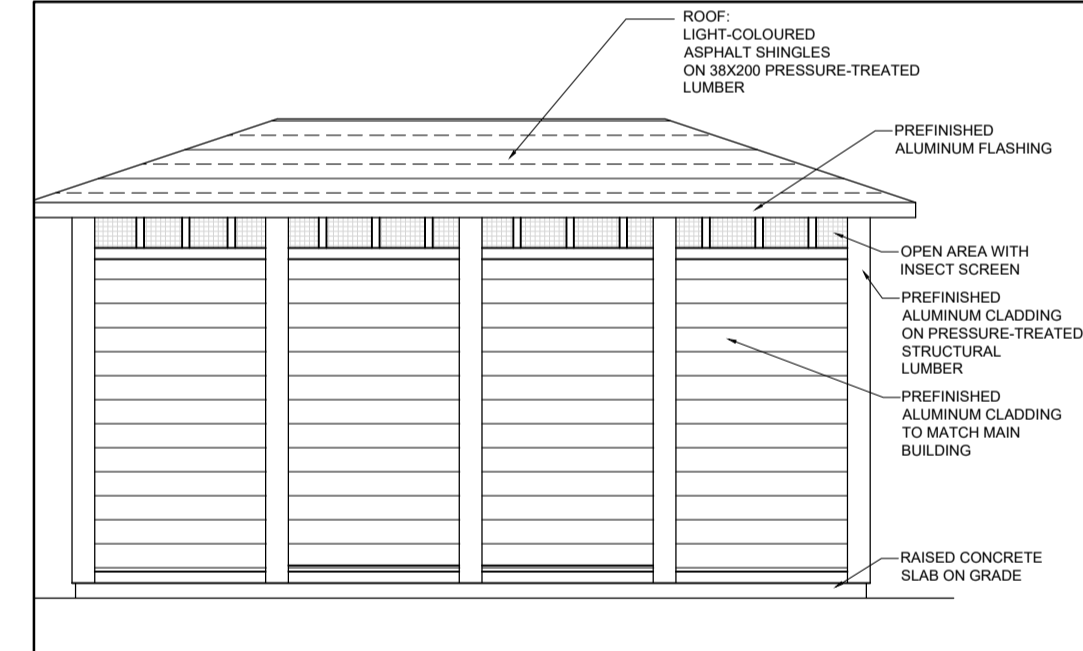
**1 SITE PLAN**  
SCALE = 1 : 100

ZONE MECHANISM	ZONE PROVISION DEVELOPMENT	PROPOSED	IN COMPLIANCE (YES/NO)
MINIMUM LOT AREA (M²)	540 M²	862.76 M	YES
MINIMUM LOT WIDTH	18 M	22.859 M	YES
MINIMUM FRONT YARD SETBACK	6 M	6 M	YES
MINIMUM PERCENTAGE OF LANDSCAPED AREA FOR LOT THAT CONTAINS APARTMENT DWELLING - MID-RISE, HIGH-RISE OR LOW-RISE, STACKED DWELLING, RETIREMENT HOME, OR PLANNED UNIT DEVELOPMENT	30% (258.5)	MORE THAN 30%	YES
MINIMUM CORNER SIDE YARD SETBACK (NOT APPLICABLE)	4.5 M	N/A	N/A
MINIMUM REAR YARD SETBACK	11 M	11.314 M	YES
MINIMUM INTERIOR SIDE YARD SETBACK	3 M	3 M	YES
MAXIMUM BUILDING HEIGHT	15 M	14.8 M	YES
MAXIMUM FLOOR SPACE INDEX	NONE	N/A	YES
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT (SECTION 110)	3 M (ABUTTING A STREET) NONE (NOT ABUTTING A STREET)	NONE	YES
MINIMUM PARKING	1 VISITOR PARKING SPACE	3 SPACES (1 ACCESSIBLE) YES	
MINIMUM BICYCLE PARKING (SECTION 115)	0.5 PER DWELLING UNIT (10 REQUIRED)	12 OUTDOOR	YES

- GENERAL NOTES:**
- REFER TO SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
  - PROPERTY BOUNDARIES HAVE BEEN ESTABLISHED FROM SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. JUNE 21, 2023.
  - GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON NEW CONSTRUCTION CIVIL PLANS. NEW GRADES TO TIE INTO EXISTING GRADES. REFER TO CIVIL DRAWINGS.
  - CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE PRESERVATION.
  - REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHT FIXING, AND MASTER SITE PLAN.
  - ALL NOTES ARE AS PER CITY/PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.

**LOT DESCRIPTION:**

PIN: 04425-0027 LT  
PARTS OF LOTS 49 AND 50; AS IN CT176790; GLOUCESTER REGISTERED PLAN 86  
CITY OF OTTAWA



**2 GARBAGE ENCLOSURE - SIDE ELEVATION**  
SCALE = 1 : 50

**PROJECT INFORMATION**

PROJECT: NEW LOW RISE STACKED APARTMENT DWELLING  
MUNICIPAL ADDRESS: 1108 MAISONNEUVE ST, ORLEANS (OTTAWA), ON K1C 1L1  
PIN:  
ZONING USE: RSA - R5A(2179)H(40), RESIDENTIAL ZONE S, APARTMENT DWELLING, LOW RISE, STACKED  
PROPOSED CONSTRUCTION: NEW 4 - STOREY BUILDING  
PROPOSED USE: APARTMENT DWELLING, LOW RISE, STACKED  
BUILDING HEIGHT: 14.901m (48.89 FT)  
GROSS FLOOR AREA: 329.01 m² (3 541 SQ FT)

**PARKING STATISTICS:**

STANDARD PARKING:  
2 SPACES OF 2.6m W x 5.2m L (8' - 7" W x 17' - 0" L)

ACCESSIBLE PARKING:  
1 SPACE OF 3.66m W X 5.2m L (12' - 0" W x 17' - 0" L)

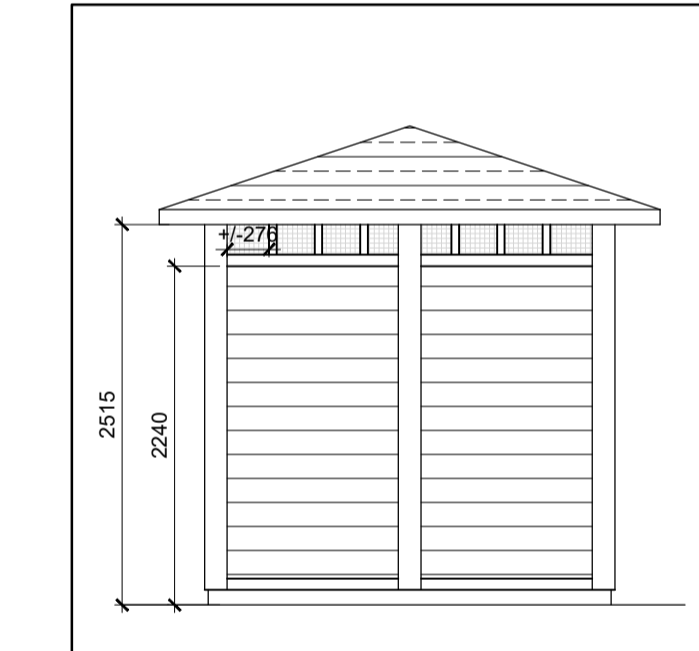
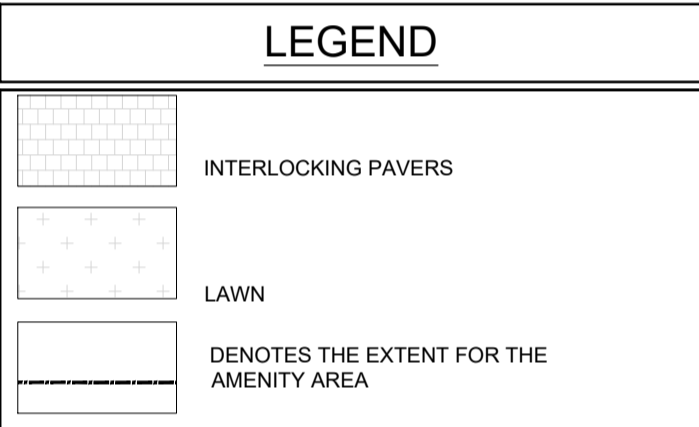
TOTAL PARKING SPACES: 3

BICYCLE PARKING: 12 EXTERIOR COVERED

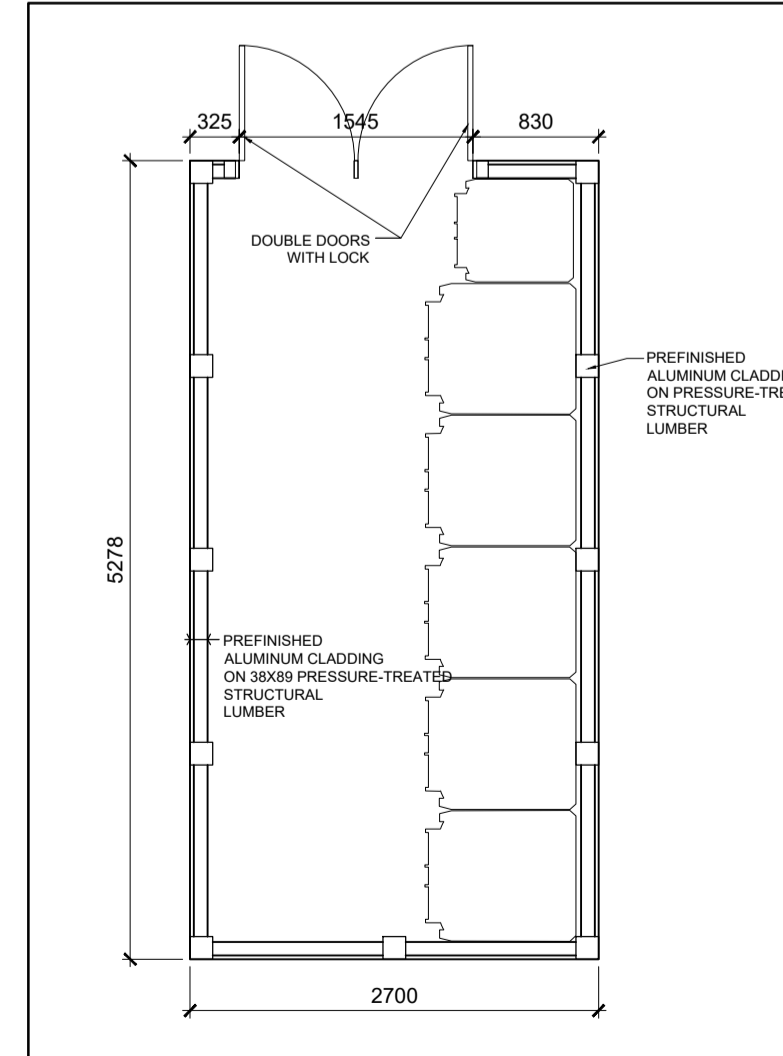
LANDSCAPING:  
REQUIRED 15% OF PARKING AREA

TOTAL PARKING AREA: 127.4 m²  
15% LANDSCAPING REQUIRED: 19.11 m²

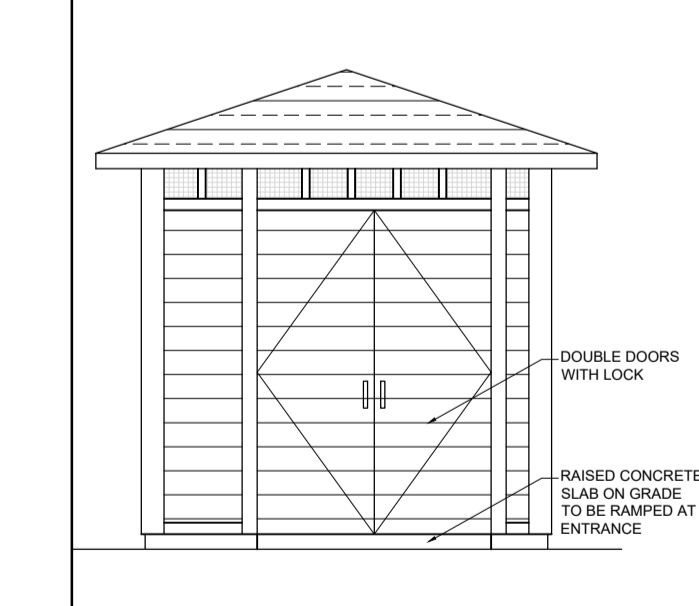
TOTAL LANDSCAPED AREAS PROVIDED: 345.7 m²  
TOTAL EXTERIOR AMENITY AREA PROVIDED: 72m²



**3 GARBAGE ENCLOSURE REAR ELEVATION**  
SCALE = 1 : 50



**4 GARBAGE ENCLOSURE - PLAN**  
SCALE = 1 : 50



**4 GARBAGE ENCLOSURE FRONT ELEVATION**  
SCALE = 1 : 50

CLIENT

SITE AREA: 890.44m² (9,584.57 SQ FT)

PROJECT NORTH

TRUE NORTH

ARCHITECTURAL

**(L+D)** LALANDE + DOYLE ARCHITECTS INC.  
www.l+d.ca  
Tel: 613.233.2900  
Fax: 613.233.1008  
159 Neilson Ave  
Ottawa, Ontario K1Y 0Y2

ONTARIO ASSOCIATION OF ARCHITECTS  
LOUISE CATHERINE LALANDE  
LICENCE 4683

MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	5
2024/08/28	ISSUED FOR REVIEW	5
2024/07/31	REISSUED FOR SPA	5
2024/07/31	REISSUED FOR SPA	4
2024/07/09	ISSUED FOR COORDINATION	3
2024/06/04	REISSUED FOR SPA	3
2024/05/21	REISSUED FOR SPA	2
2024/05/17	ISSUED FOR SPA	1
2024/05/06	ISSUED FOR REVIEW	1

PROJECT NAME  
**PULSE SOCIETIES LTD.**  
**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve St, Ottawa, ON K1C 1L1

DRAWING TITLE  
**SITE PLAN**

DATE  
09.07.2024

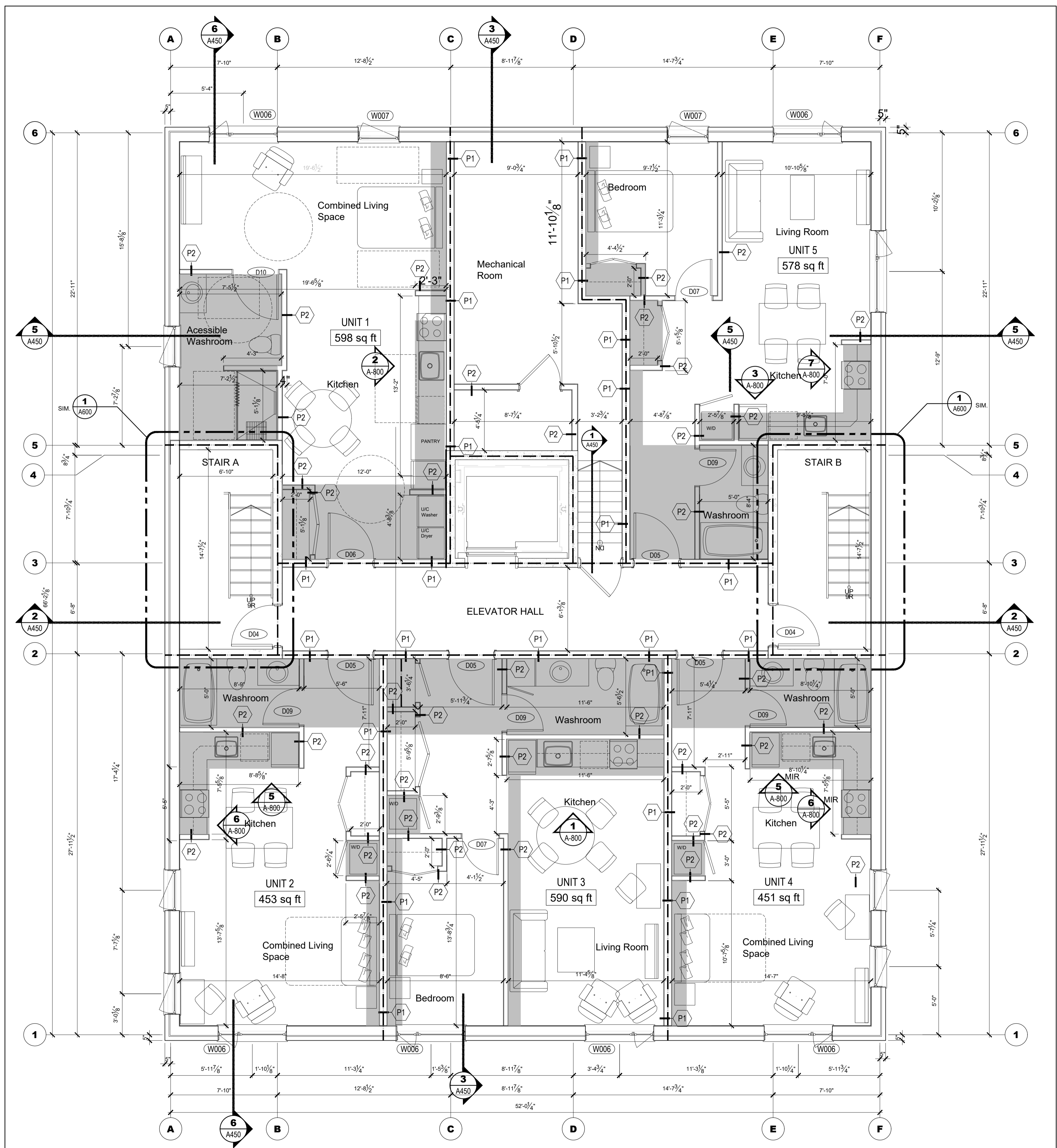
SCALE  
AS NOTED

DRAWN BY  
BR

REVIEWED BY  
LCL

PROJECT NO.  
**24-002**

DRAWING NO.  
**A-100**



**1 B1SEMENT FLOOR PLAN**  
 SCALE = 1/4" = 1'-0"

- GENERAL NOTES:**
- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK SITE AND WILL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF MEASUREMENTS AND OBSERVATIONS.
  - CONTRACTOR WILL REPORT ANY ERRORS, OMISSIONS OR DEFECTS TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORK. VERIFY EXISTING CONDITIONS ON SITE AND ADJUST AS NECESSARY.
  - ALL WORK SHALL BE PERFORMED:  
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 - IN ACCORDANCE WITH MANUFACTURERS' LITERATURE FOR INSTALLATION AND MAINTENANCE.
  - DO NOT SCALE DRAWINGS. IF NO DIMENSIONS IS GIVEN REFER TO THE AUTHOR OF THE DRAWINGS.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS REGARDING FOOTINGS, FOUNDATIONS, WOOD FRAME STRUCTURE AND ALL OTHER STRUCTURAL COMPONENTS OF THE BUILDING.
  - REFER TO CONSULTING ENGINEERING CONSULTANTS FOR ANY ISSUES AFFECTING STRUCTURAL AND/OR GEOTECHNICAL (SOILS).
  - IT IS FORBIDDEN TO REPRODUCE IN WHOLE OR IN PART THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR. L+D ARCHITECTS OWN EXCLUSIVE COPYRIGHTS ON THIS DOCUMENT.
  - NO COPY OF THIS PLAN WITHOUT THE WRITTEN CONSENT IS PERMITTED. ANY OFFENDER IS SUBJECT TO PROSECUTION. IF ADDITIONAL COPIES ARE REQUIRED, PLACE A REQUEST WITH THE ARCHITECTS. PRINTING COST WILL APPLY.
  - FOUNDATION WALLS SHOULD NOT BE BICKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS CURING STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUBFLOOR IS REQUIRED TO STABILIZE THE WALL PRIOR TO BICKFILL.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FOOTINGS, COLUMNS, BEAMS, ETC.
  - REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL ELEMENTS.

- UNIT 1:** 598 SQ FT  
**UNIT 2:** 453 SQ FT  
**UNIT 3:** 590 SQ FT  
**UNIT 4:** 451 SQ FT  
**UNIT 5:** 578 SQ FT  
**UNIT 6:** 600 SQ FT  
**UNIT 7:** 454 SQ FT  
**UNIT 8:** 588 SQ FT  
**UNIT 9:** 455 SQ FT  
**UNIT 10:** 575 SQ FT  
**UNIT 11:** 578 SQ FT  
**UNIT 12:** 452 SQ FT  
**UNIT 13:** 548 SQ FT  
**UNIT 14:** 455 SQ FT  
**UNIT 15:** 859 SQ FT  
**UNIT 16:** 578 SQ FT  
**UNIT 17:** 452 SQ FT  
**UNIT 18:** 548 SQ FT  
**UNIT 19:** 455 SQ FT  
**UNIT 20:** 859 SQ FT  
**UNIT 21:** 578 SQ FT  
**UNIT 22:** 727 SQ FT  
**UNIT 23:** 749 SQ FT  
**UNIT 24:** 859 SQ FT

**LEGEND**

- DENOTES 1-HOUR FIRE-RATED PARTITION
- DENOTES BULKHEAD TO ACCOMMODATE MECHANICAL DUCTING. UNDERSIDE OF BULKHEADS TO BE AT 8'-0" ABOVE FINISHED FLOOR.
- DENOTES STRUCTURAL BEAM - REFER TO STRUCTURAL

CLIENT

PROJECT NORTH

TRUE NORTH

ARCHITECTURAL

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 Ottawa, Ontario K1Y 0Y2  
 TEL: 613.233.2900  
 FAX: 613.233.2008  
 LOUISE CATHERINE LALANDE  
 LICENCE 4683

MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE	REV.
2024/09/19	ISSUED FOR PERMIT	4	3
2024/09/10	ISSUED FOR COORDINATION		3
2024/08/28	ISSUED FOR REVIEW		2
2024/08/23	ISSUED FOR REVIEW & COORDINATION		1

PROJECT NAME  
**PULSE SOCIETIES LTD.**  
**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE  
**B1SEMENT FLOOR PLAN**

DATE  
 09.07.2024

PROJECT NO.  
**24-002C**

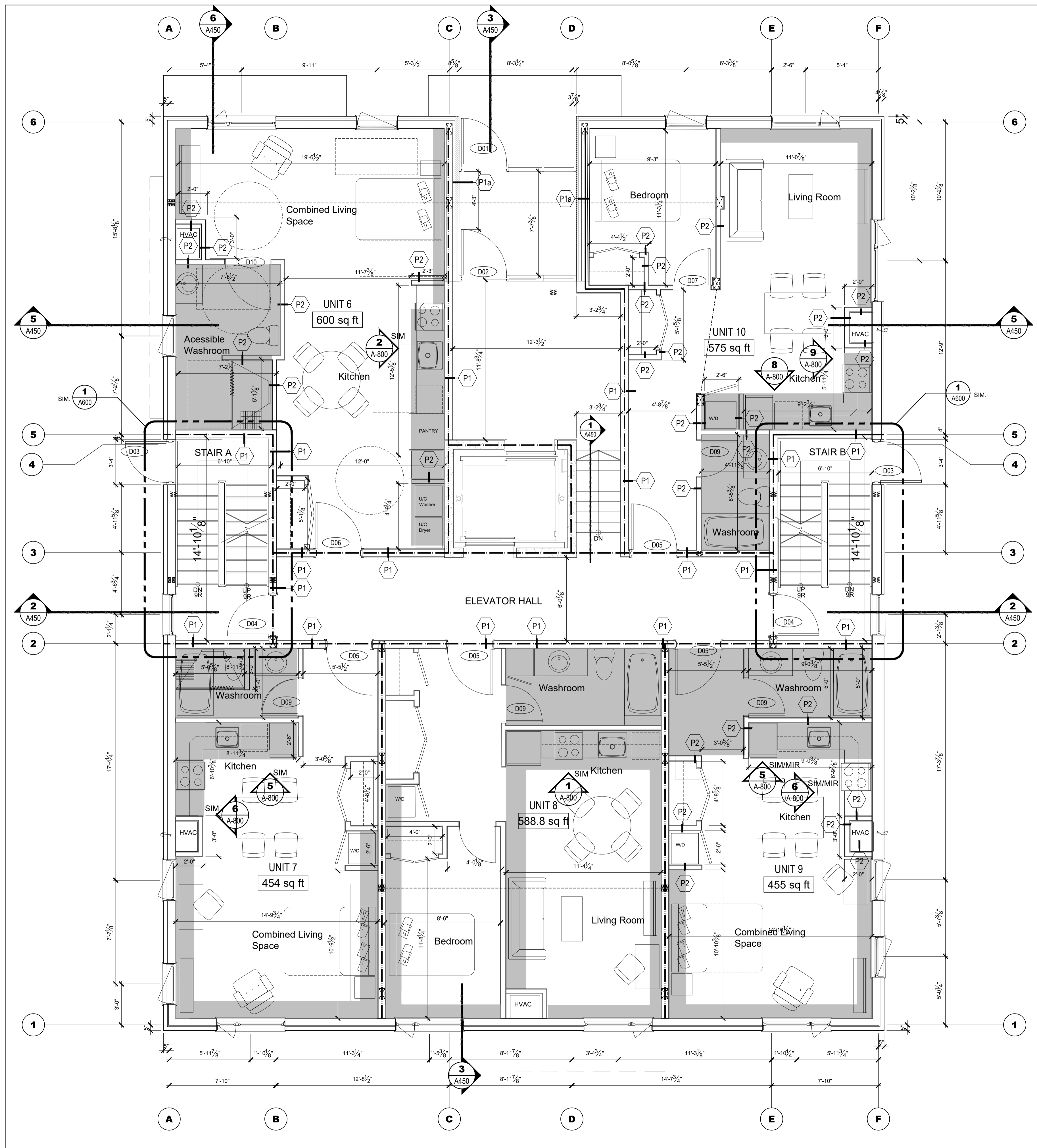
SCALE  
 AS NOTED

DRAWN BY  
 BR

DRAWING NO.  
**A-200**

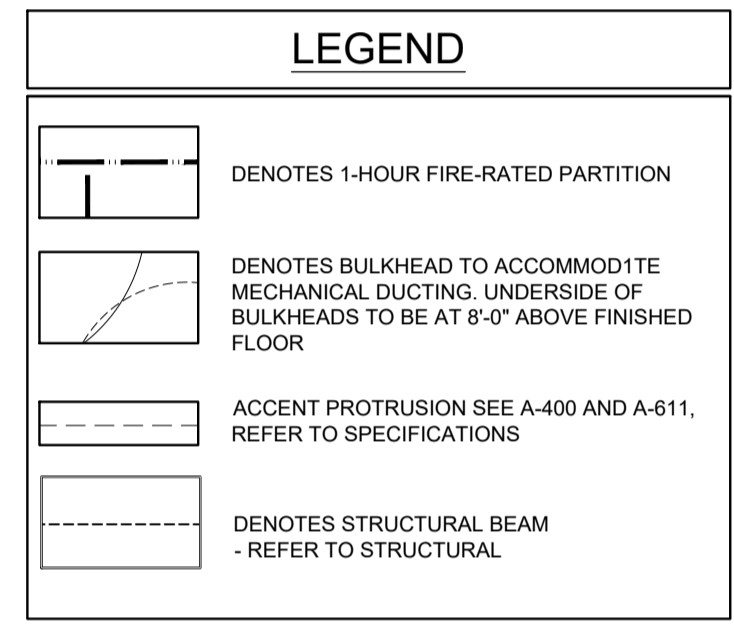
REVIEWED BY  
 LCL





**1** FIRST FLOOR PLAN  
 SCALE = 1/4" = 1'-0"

- GENERAL NOTES:**
- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK SITE AND WILL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF MEASUREMENTS AND OBSERVATIONS.
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  - FOUNDATION WALLS SHOULD NOT BE BICKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS CURING STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUBFLOOR IS REQUIRED TO STABILIZE THE WALL PRIOR TO BICKFILL.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FOOTINGS, COLUMNS, BEAMS, ETC.
  - REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL ELEMENTS.



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DATE	DESCRIPTION	ISSUE	REV.
2024/09/19	ISSUED FOR PERMIT	4	
2024/09/10	ISSUED FOR COORDINATION	3	
2024/08/28	ISSUED FOR REVIEW	2	
2024/08/23	ISSUED FOR REVIEW & COORDINATION	1	

PROJECT NAME  
**PULSE SOCIETIES LTD.**

**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

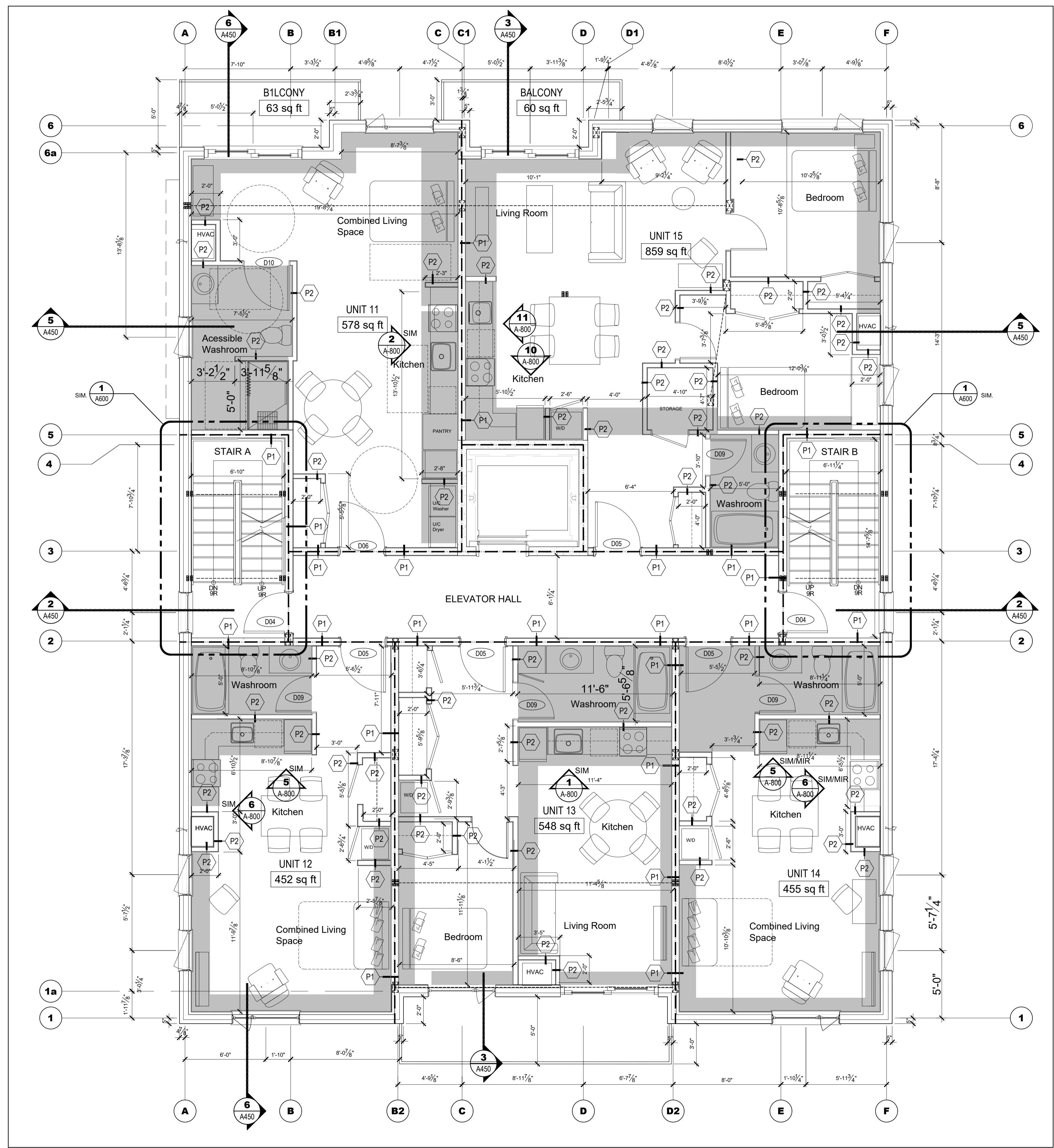
**FIRST FLOOR PLAN**

DATE 23.08.2024 PROJECT NO. **24-002C**

SCALE AS NOTED

DRAWN BY BR DRAWING NO. **A-201**

REVIEWED BY LCL



**1** SECOND FLOOR PLAN  
SCALE = 1/4" = 1'-0"

- GENERAL NOTES:**
- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK SITE AND WILL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF MEASUREMENTS AND OBSERVATIONS.
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  - FOUNDATION WALLS SHOULD NOT BE B1CKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS CURING STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUBFLOOR IS REQUIRED TO STABILIZE THE WALL PRIOR TO B1CKFILL.
  - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FOOTINGS, COLUMNS, BEAMS, ETC.
  - REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL ELEMENTS.

**LEGEND**

	DENOTES 1-HOUR FIRE-RATED PARTITION
	DENOTES BULKHEAD TO ACCOMMODATE MECHANICAL DUCTING. UNDERSIDE OF BULKHEADS TO BE AT 8'-0" ABOVE FINISHED FLOOR
	ACCENT PROTRUSION SEE A-400, REFER TO SPECIFICATIONS
	DENOTES STRUCTURAL BEAM - REFER TO STRUCTURAL

CLIENT

PROJECT NORTH



TRUE NORTH

ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

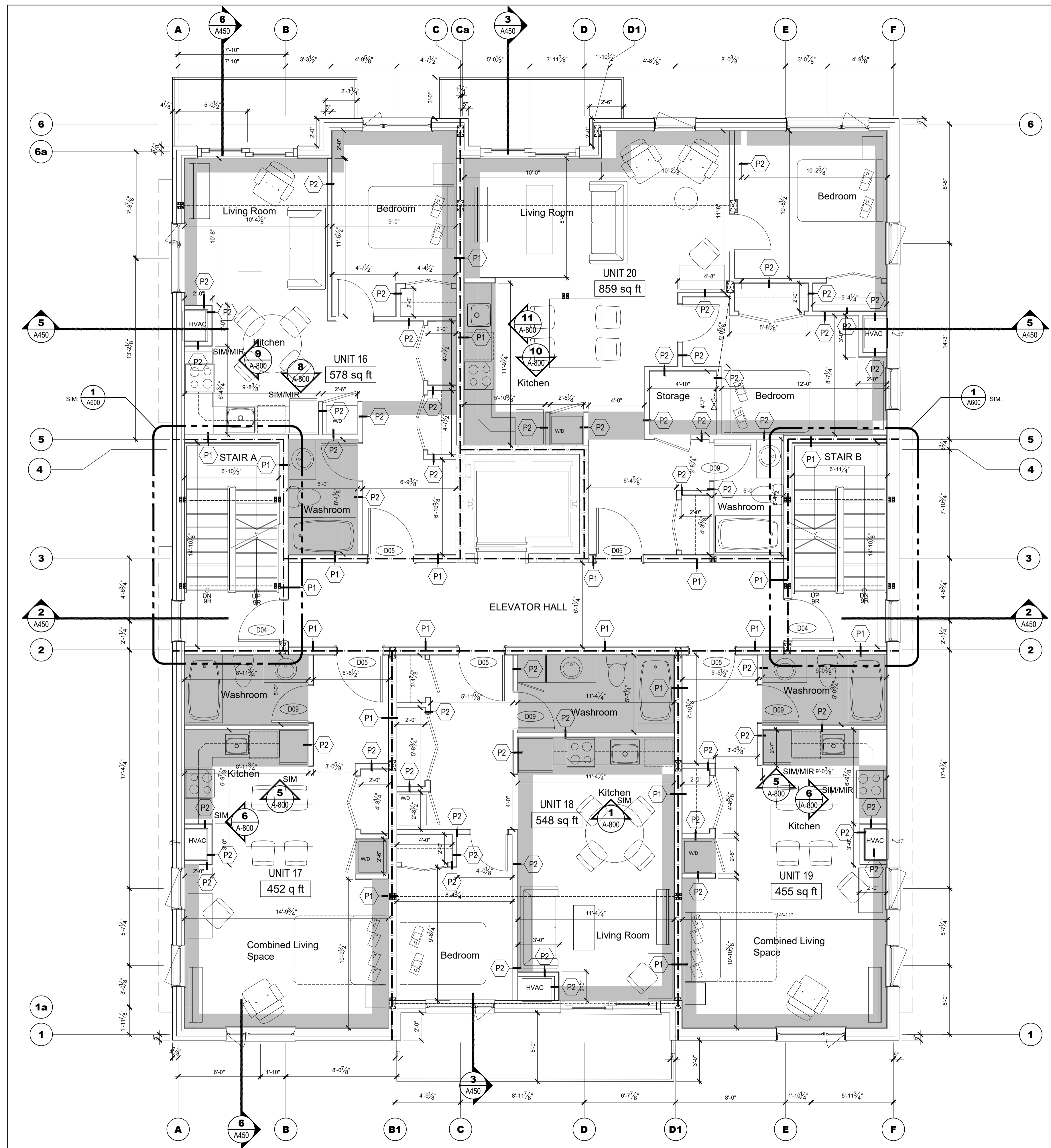
DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	4
2024/09/10	ISSUED FOR COORDINATION	3
2024/08/28	ISSUED FOR REVIEW	2
2024/8/23	ISSUED FOR REVIEW & COORDINATION	1

PROJECT NAME  
**PULSE SOCIETIES LTD.  
ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE  
**SECOND FLOOR PLAN**

DATE 09.07.2024	PROJECT NO. <b>24-002C</b>
SCALE AS NOTED	
DRAWN BY BR	DRAWING NO. <b>A-202</b>
REVIEWED BY LCL	



**1** THIRD FLOOR PLAN  
 SCALE = 1/4" = 1'-0"

**GENERAL NOTES:**

- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK
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- REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL ELEMENTS.

**LEGEND**

	NOTES 1-HOUR FIRE-RATED PARTITION
	NOTES BULKHEAD TO ACCOMMODATE MECHANICAL DUCTING. UNDERSIDE OF BULKHEADS TO BE AT 8'-0" ABOVE FINISHED FLOOR
	ACCENT PROTRUSION SEE A-400. REFER TO SPECIFICATIONS
	NOTES STRUCTURAL BEAM - REFER TO STRUCTURAL

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PROJECT NORTH

TRUE NORTH

ARCHITECTURAL

**(L+D)** LALANDE + DOYLE ARCHITECTS INC.  
 www.l+d.ca  
 Tel: 613.233.2900  
 Fax: 613.233.3008  
 199 Holland Ave  
 Ottawa, Ontario K1Y 0Y2

LOUISE CATHERINE LALANDE  
 LICENCE 4683

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CIVIL

DATE	DESCRIPTION	ISSUE	REV.
2024/09/19	ISSUED FOR PERMIT	4	
2024/09/10	ISSUED FOR COORDINATION	3	
2024/08/28	ISSUED FOR REVIEW	2	
2024/08/23	ISSUED FOR REVIEW & COORDINATION	1	

PROJECT NAME

**PULSE SOCIETIES LTD.**

**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

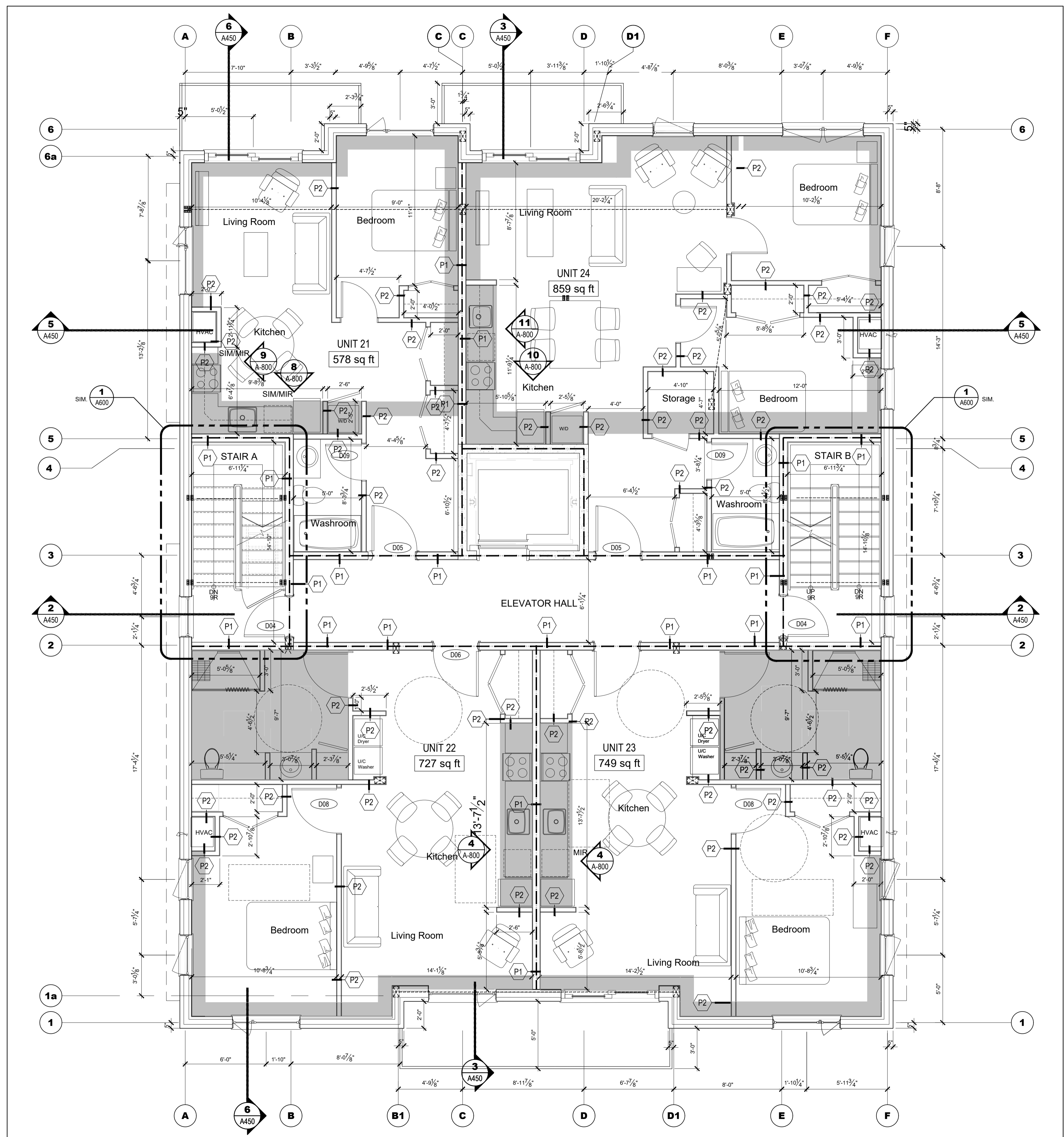
THIRD FLOOR PLAN

DATE 09.07.2024 PROJECT NO. 24-002C

SCALE AS NOTED

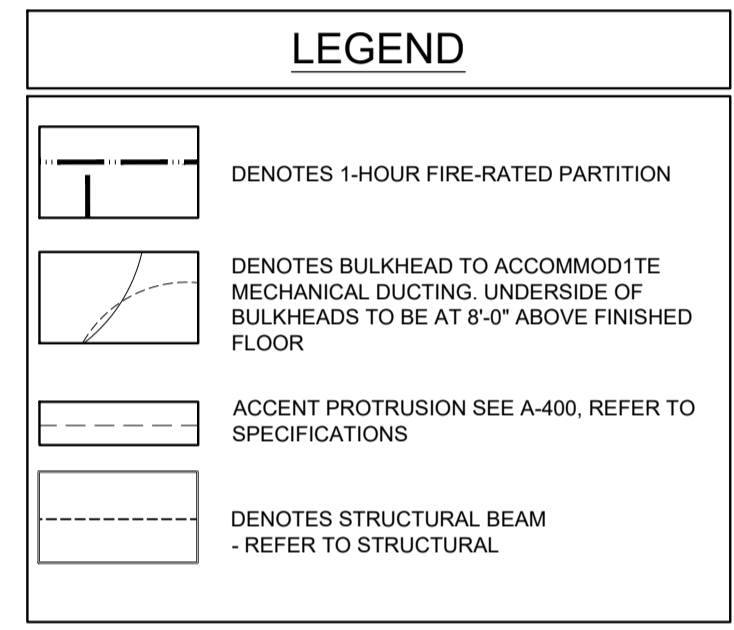
DRAWN BY BR DRAWING NO. A-203

REVIEWED BY LCL



**1** FOURTH FLOOR PLAN  
 SCALE = 1/4" = 1'-0"

- GENERAL NOTES:**
- FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT BEFORE CONTINUING THE WORK.
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  - REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, FOOTINGS, COLUMNS, BEAMS, ETC.
  - REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL ELEMENTS.



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PROJECT NORTH



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MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE	REV.
2024/09/19	ISSUED FOR PERMIT	4	
2024/09/10	ISSUED FOR COORDINATION	3	
2024/08/28	ISSUED FOR REVIEW	2	
2024/08/23	ISSUED FOR REVIEW & COORDINATION	1	

PROJECT NAME  
**PULSE SOCIETIES LTD.**

**ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

FOURTH FLOOR PLAN

DATE  
 09.07.2024

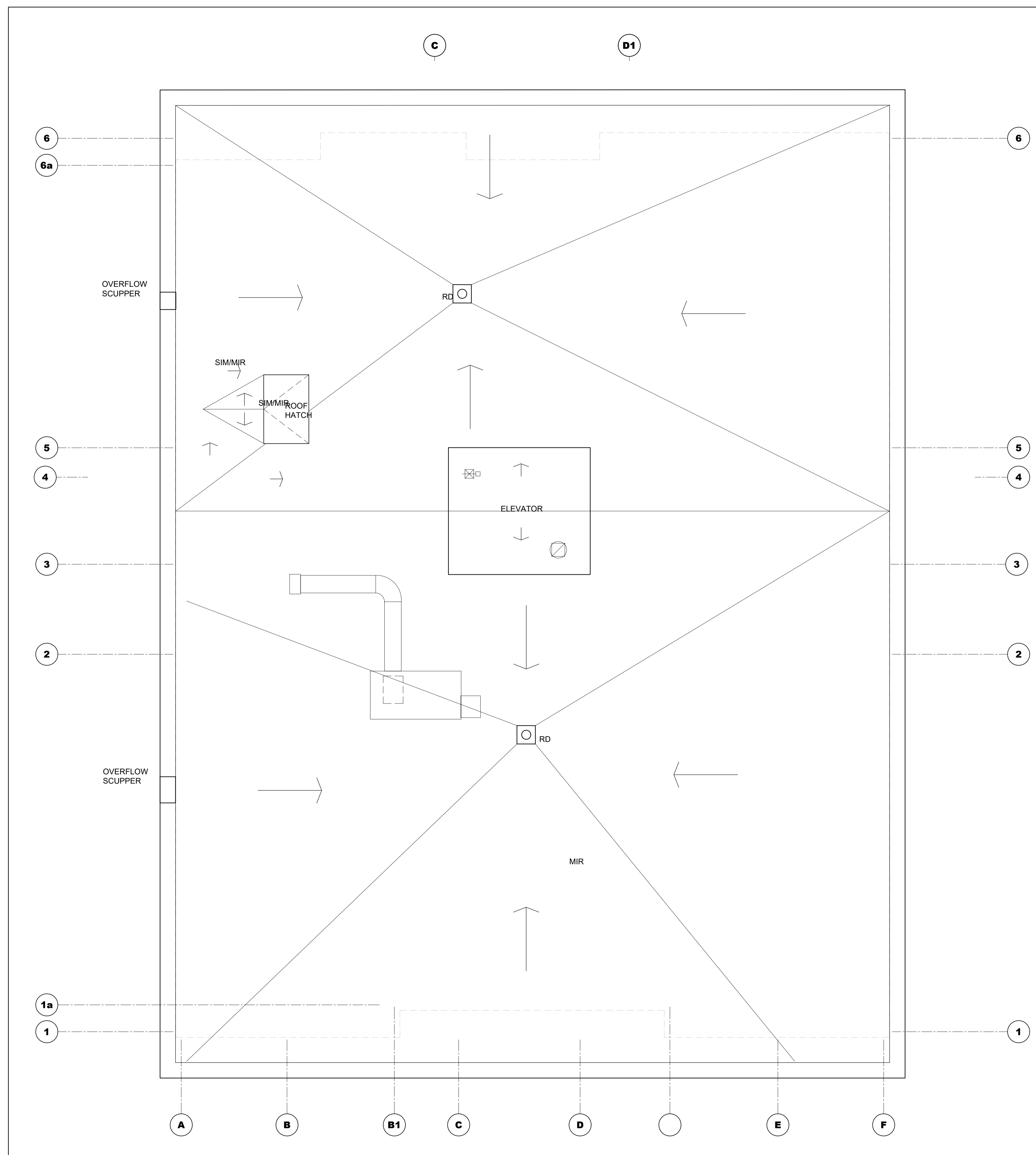
SCALE  
 AS NOTED

DRAWN BY  
 BR

REVIEWED BY  
 LCL

PROJECT NO.  
**24-002C**

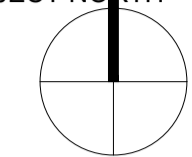
DRAWING NO.  
**A-204**



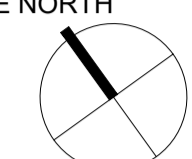
**1** ROOF PLAN  
SCALE = 1/4" = 1'-0"

CLIENT

PROJECT NORTH



TRUE NORTH



ARCHITECTURAL



**(L+D)** LALANDE + DOYLE ARCHITECTS INC.  
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129 Neilson Ave  
Ottawa, Ontario K1P 0Y2

MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE REV.
19/09/2024	ISSUED FOR PERMIT	3
28/08/2024	ISSUED FOR REVIEW	2
10/08/2024	ISSUED FOR REVIEW	1

PROJECT NAME

**PULSE SOCIETIES LTD  
ORLEANS DEVELOPMENT - PRR**

1108 Maisonneuve Street, Ottawa, ON K1C 1L1

DRAWING TITLE

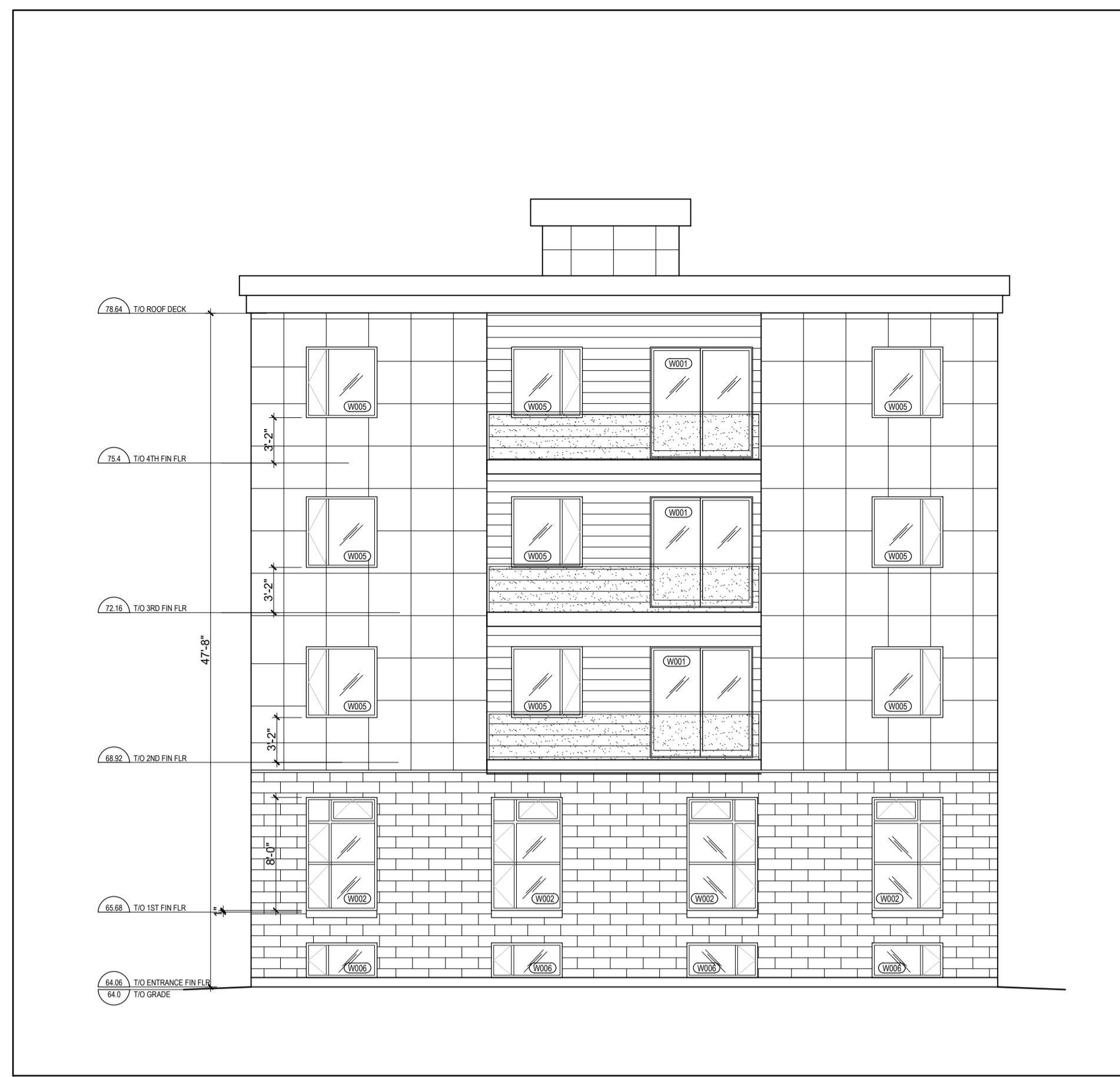
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DATE 20.08.2024 PROJECT NO. **24-002C**

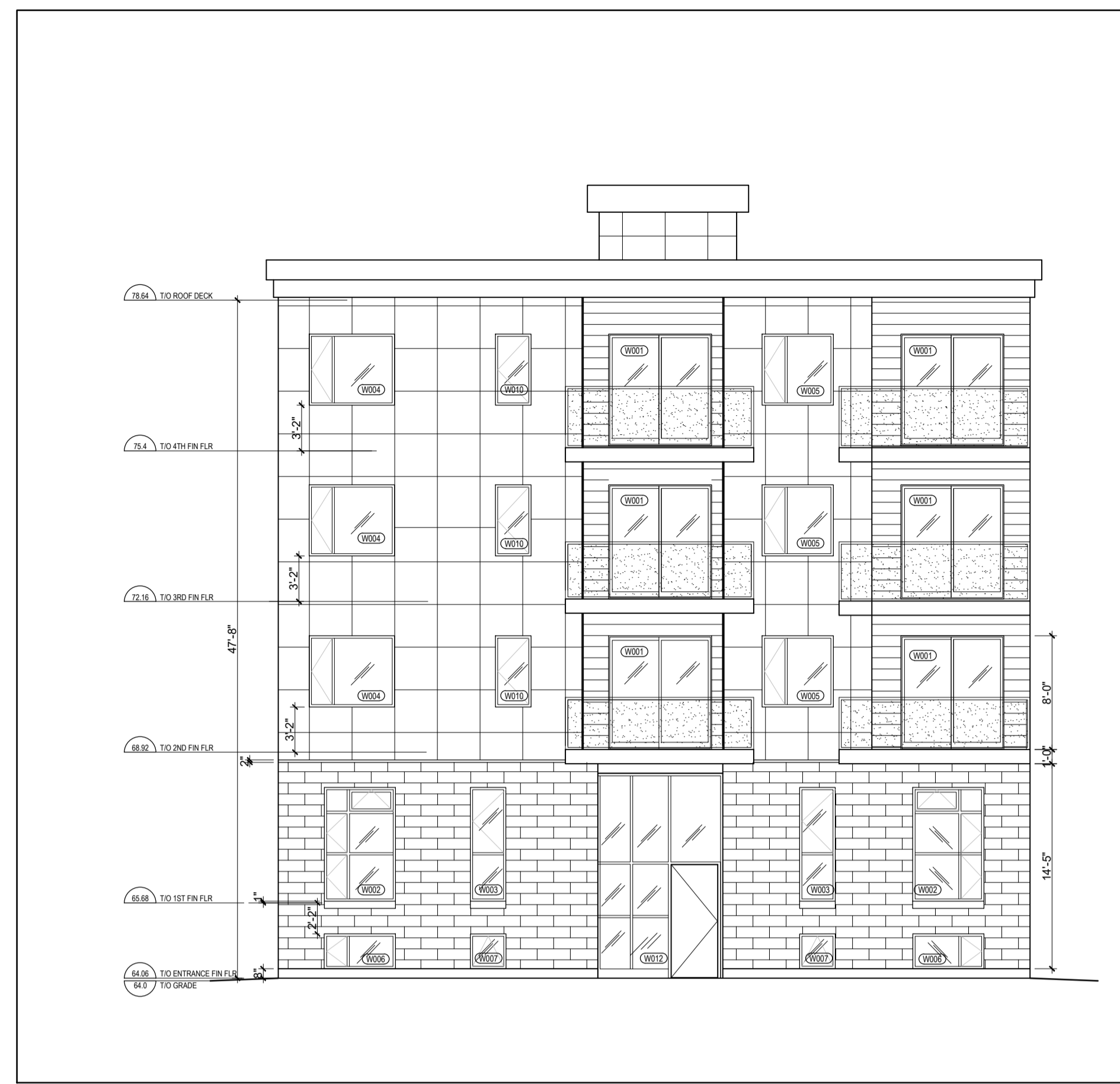
SCALE AS NOTED

DRAWN BY BR DRAWING NO. **A-250**

REVIEWED BY LCL

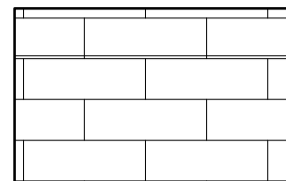
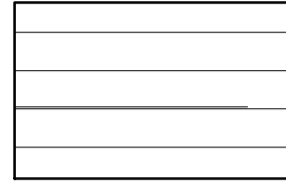
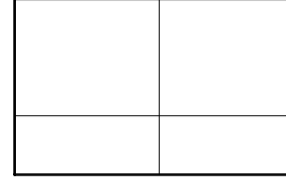


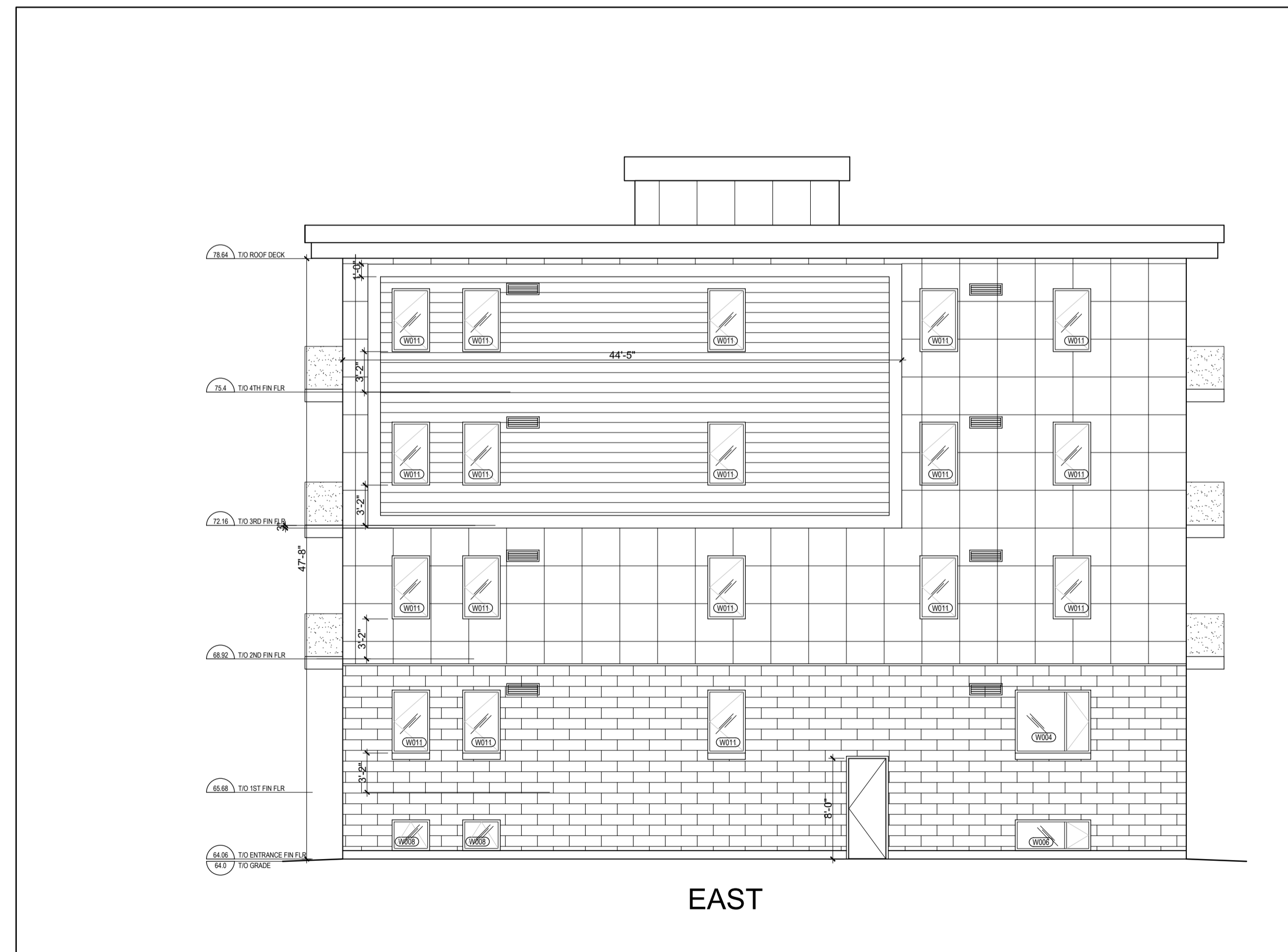
**2** SOUTH FAÇADE  
A-400 SCALE = 1/8" = 1'-0"



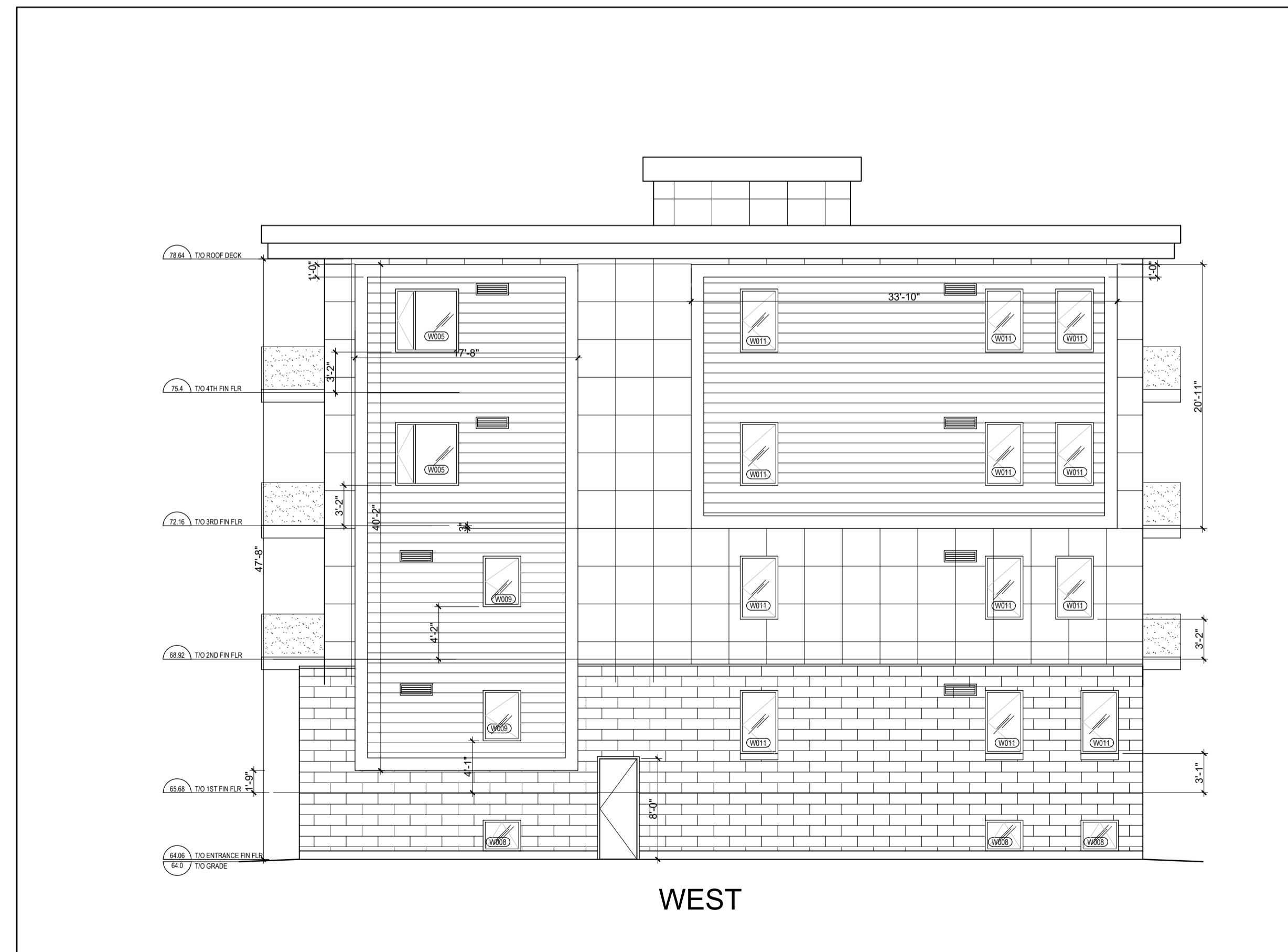
**1** NORTH FAÇADE  
A-400 SCALE = 1/8" = 1'-0"

**LEGEND:**

-  BRICK
-  PREFINISHED ALUMINUM CLADDING
-  PREFINISHED CEMENT CLADDING



**4** EAST FAÇADE  
A-400 SCALE = 1/8" = 1'-0"



**3** WEST FAÇADE  
A-400 SCALE = 1/8" = 1'-0"

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**(L+D)** LALANDE + DOYLE ARCHITECTS INC.  
www.l+d.ca  
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Fax: 613.233.2008  
159 Neilson Ave  
Ottawa, Ontario K1Y 0Y2

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DATE	DESCRIPTION	ISSUE	REV.
19/09/2024	ISSUED FOR PERMIT	2	
28/08/2024	ISSUED FOR REVIEW	1	

PROJECT NAME  
**PULSE SOCIETES LTD. |  
ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve Street, Orleans (Ottawa), ON

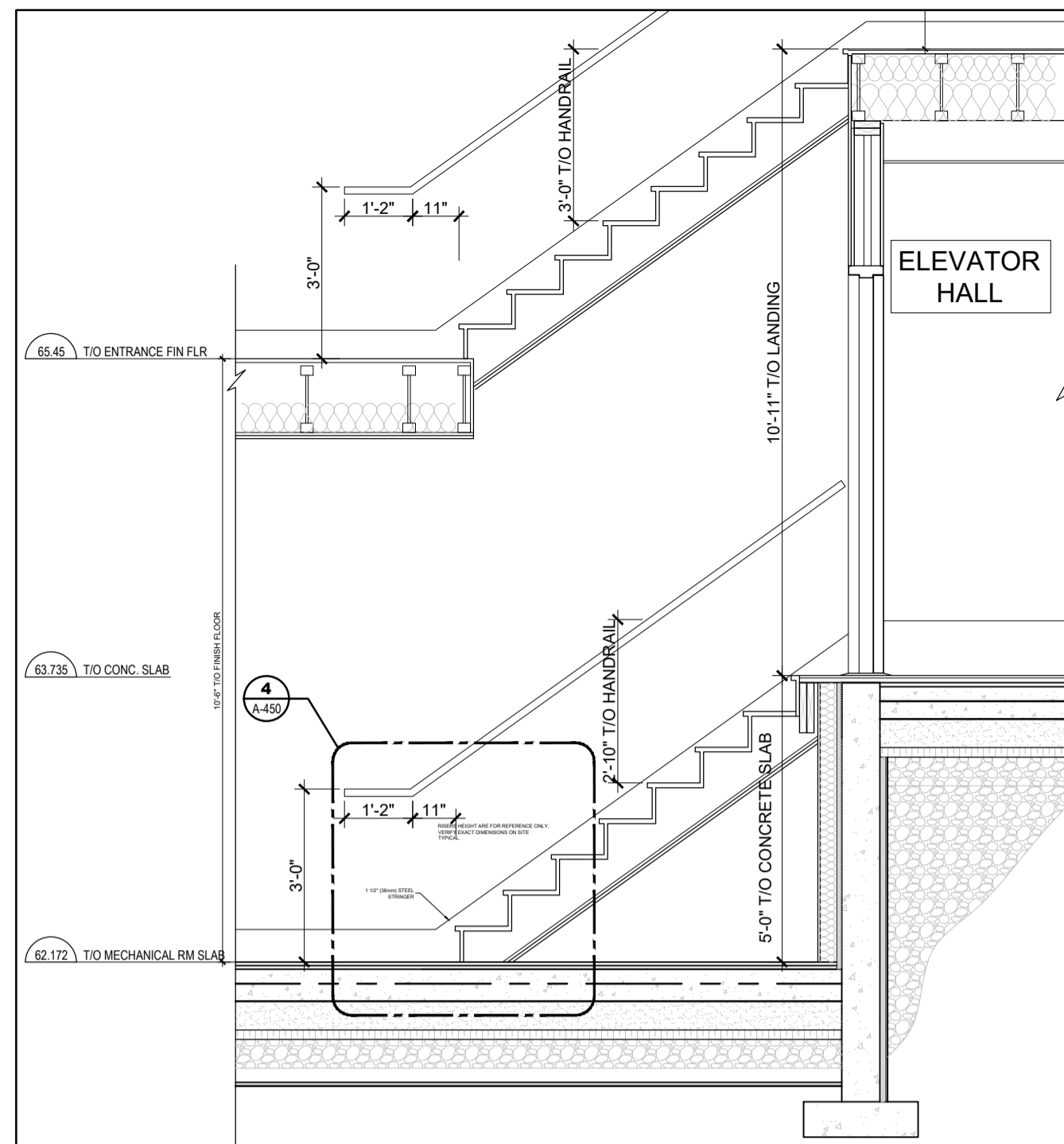
DRAWING TITLE  
**ELEVATIONS**

DATE: 10/07/2024 PROJECT NO.: **24-002C**

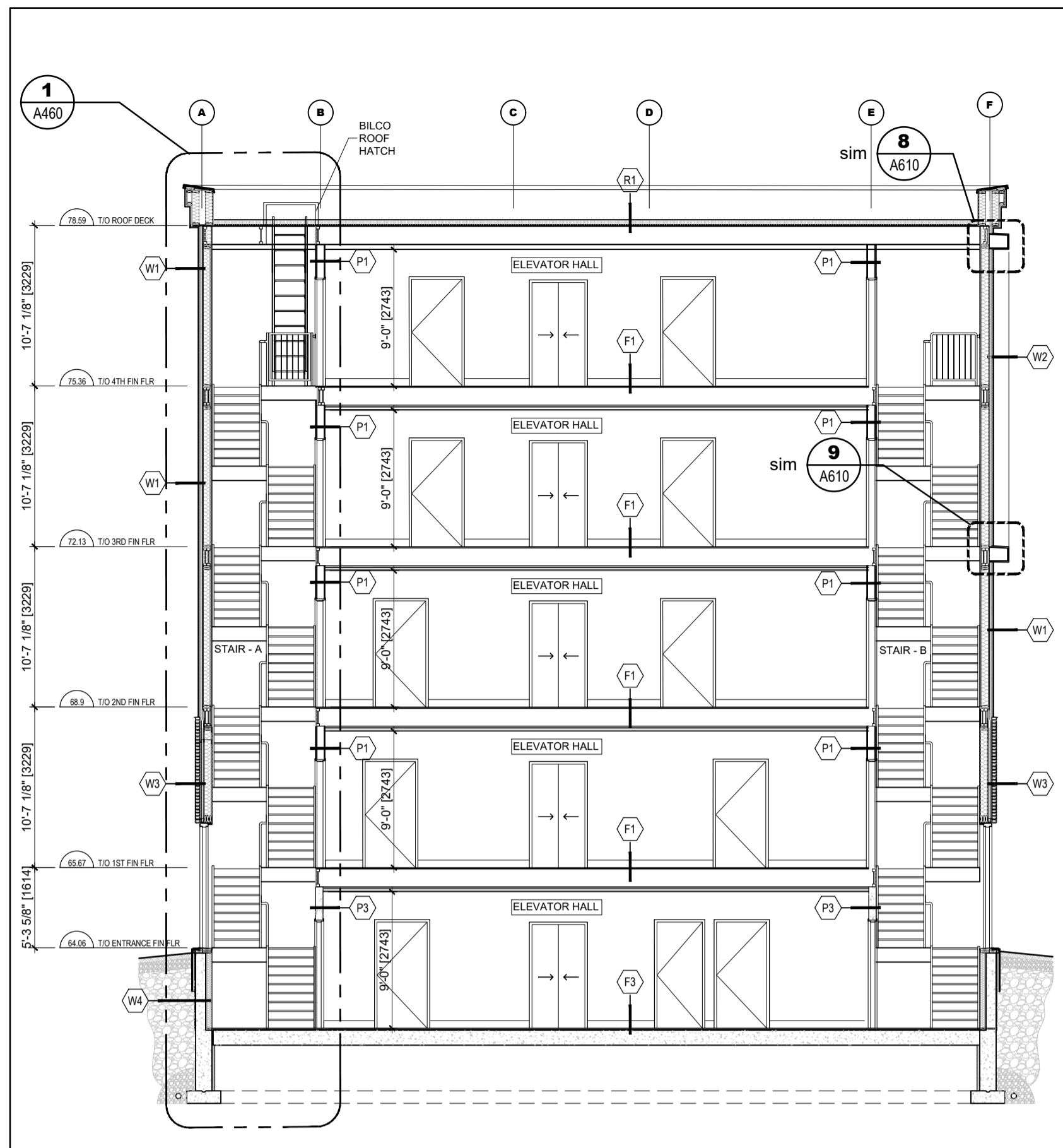
SCALE: AS NOTED

DRAWN BY: BR DRAWING NO.: **A-400**

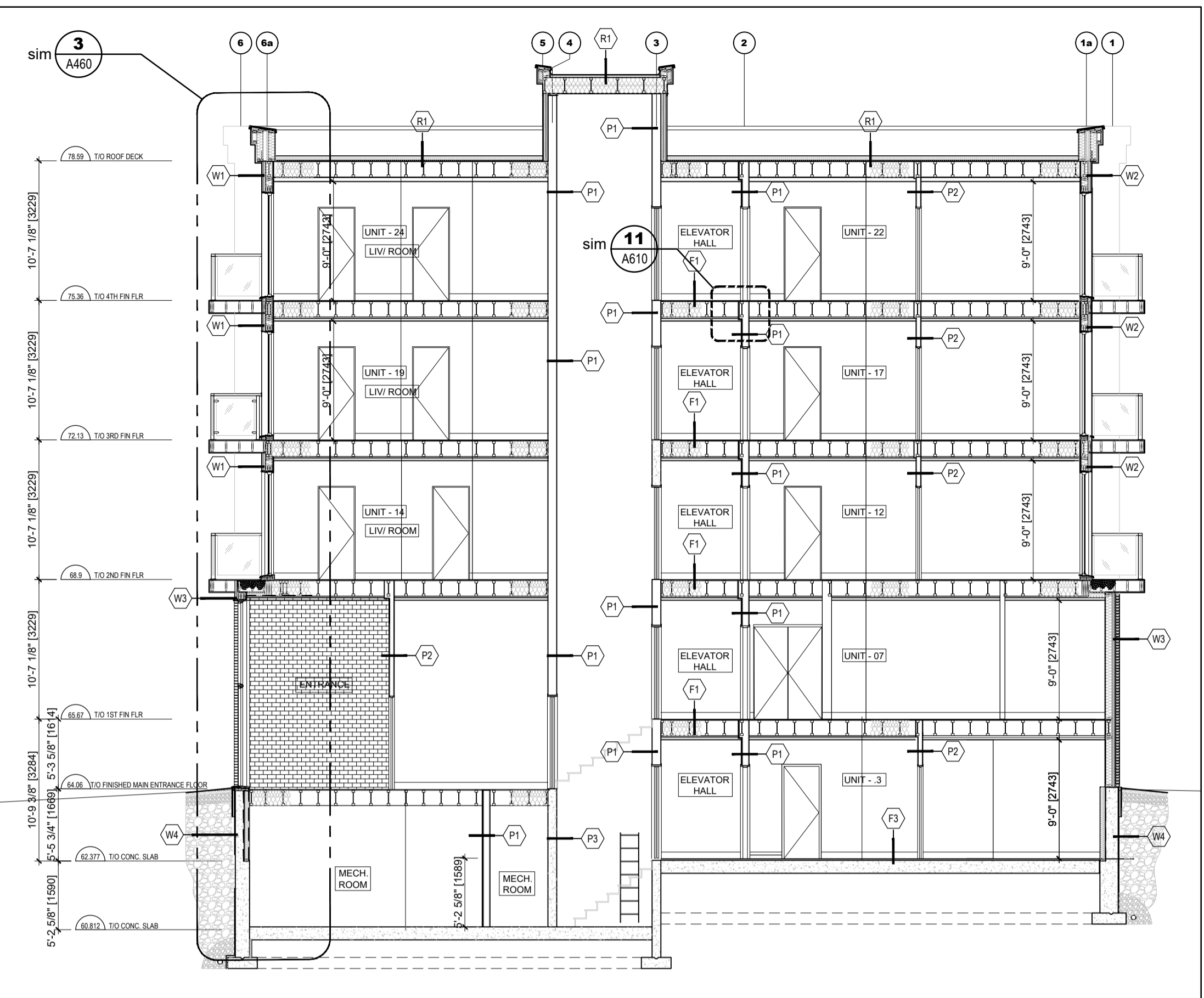
REVIEWED BY: LCL



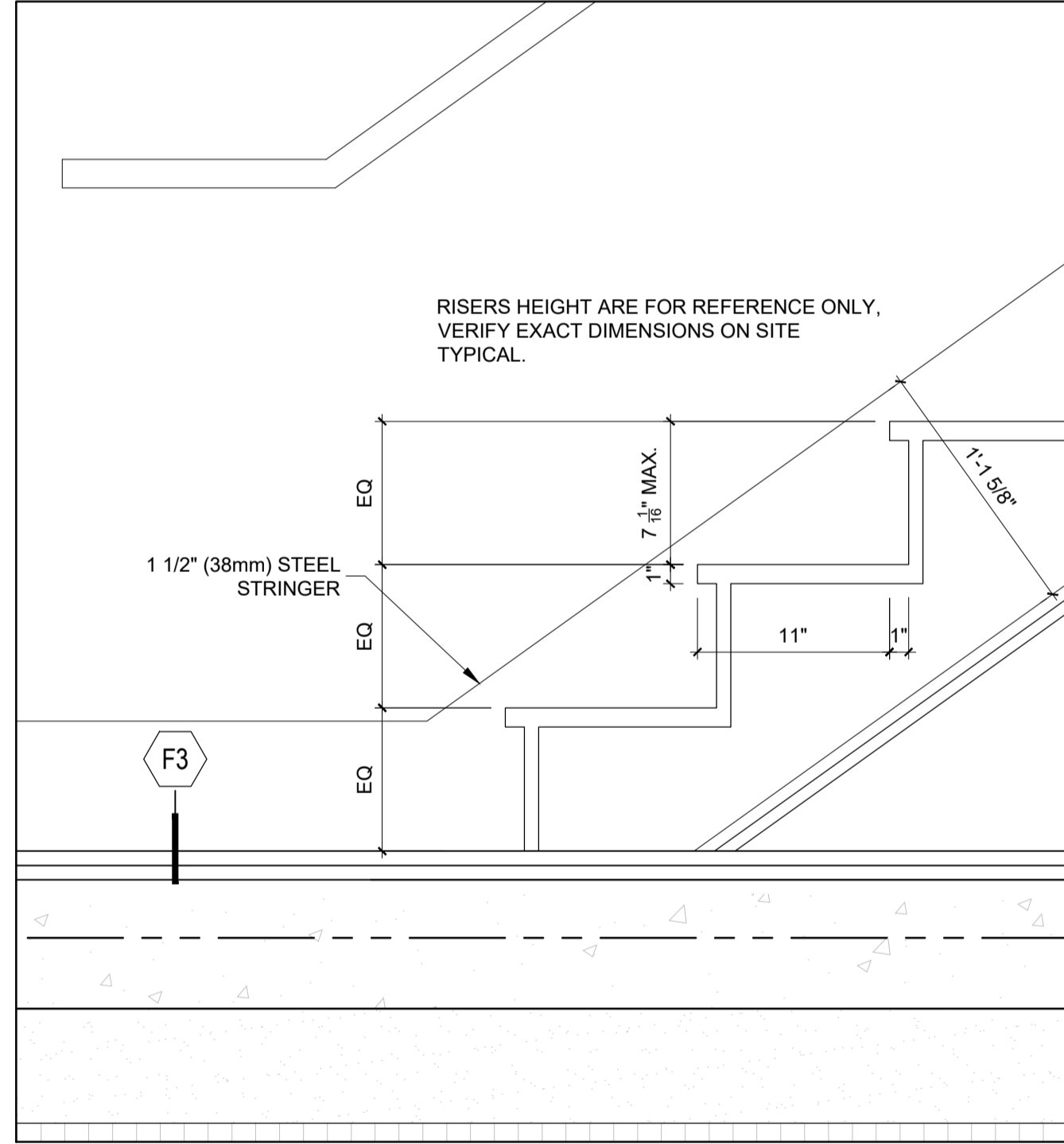
**1 SECTION DETAIL**  
A-450 SCALE = 3/8" = 1'-0"



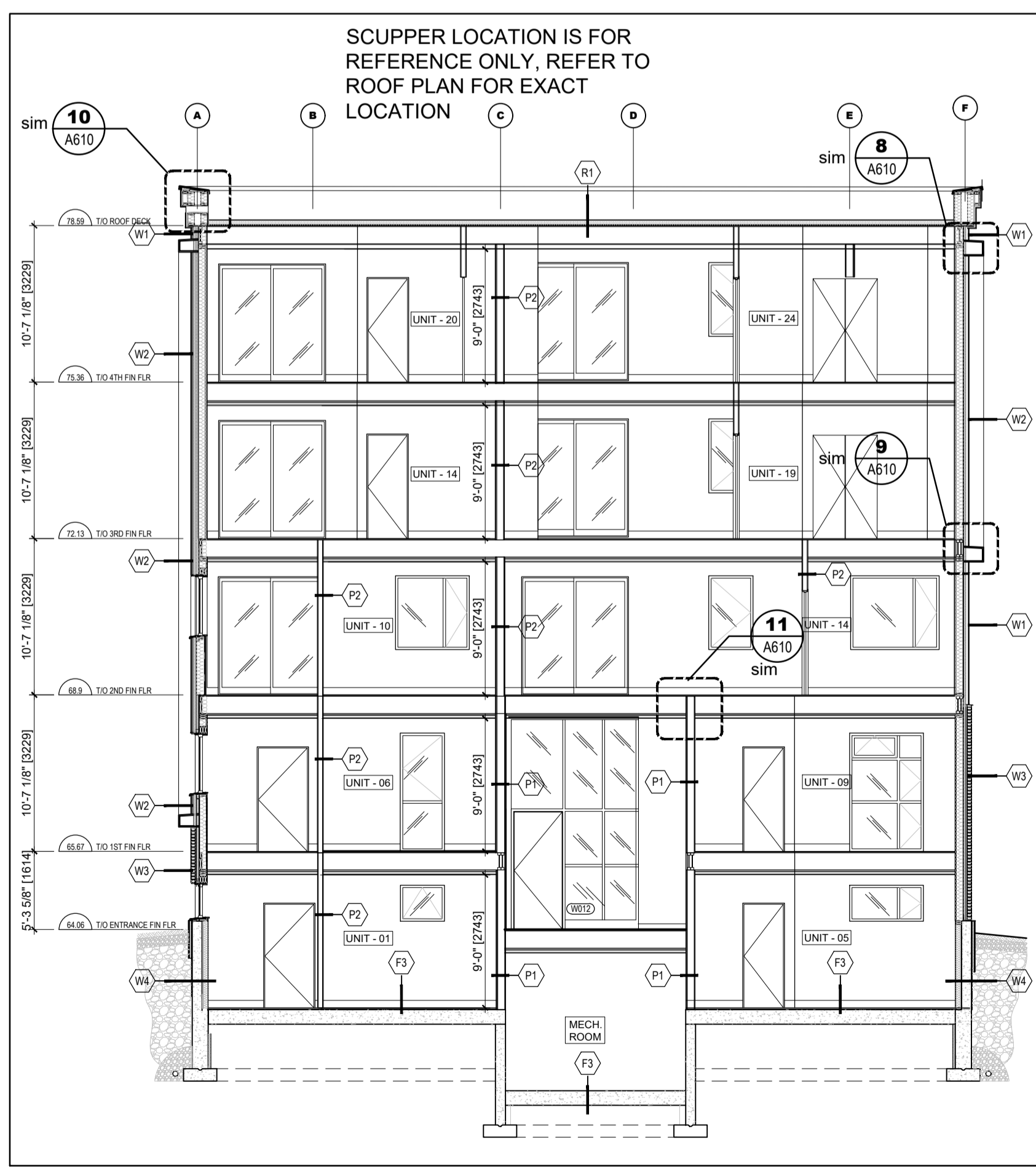
**2 CROSS-SECTION**  
A-450 SCALE = 1/8" = 1'-0"



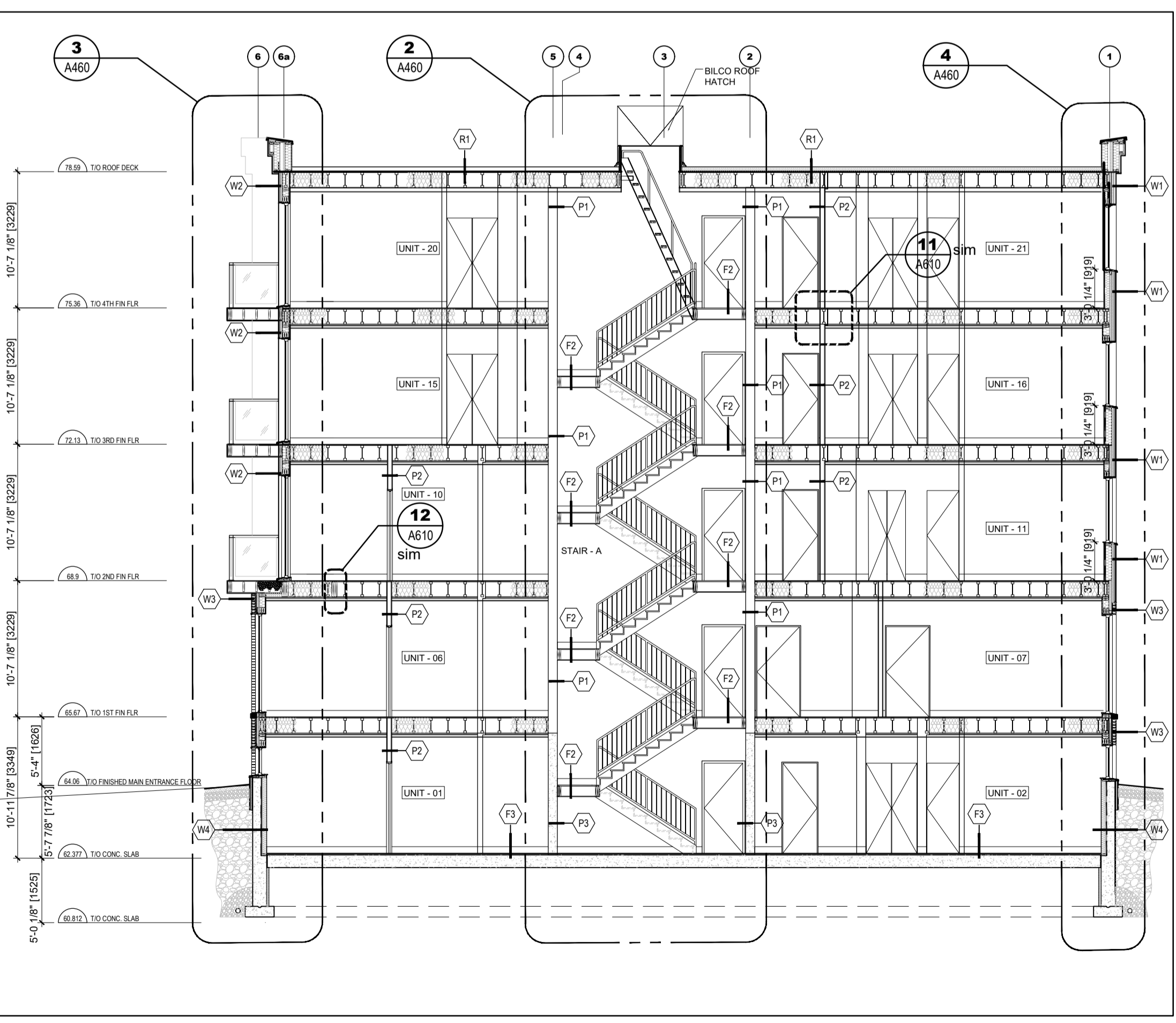
**3 LONGITUDINAL SECTION**  
A-450 SCALE = 1/8" = 1'-0"



**4 STAIR SECTION DETAIL TYPICAL**  
A-450 SCALE = 1-1/2" = 1'-0"



**5 SECTION DETAIL**  
A-450 SCALE = 1/8" = 1'-0"



**6 STAIR SECTION DETAIL TYPICAL**  
A-450 SCALE = 1/8" = 1'-0"

**NOTES:**

- STAIRS, HAND RAILS AND GUARDS SHALL COMPLY TO 3.3.4.7 OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC)
- THREADS SHALL HAVE A RUN NOT LESS THAN 280 (11") AND NOT MORE THAN 355 (14") EXCLUDING NOSING TYPICAL
- RISERS SHALL HAVE A HEIGHT OF NOT LESS THAN 125mm (4 15/16") AND NOT MORE THAN 180mm (7 1/16") BETWEEN SUCCESSIVE TREADS
- GUARDS SHALL BE CONTINUOUS AND HAVE A HEIGHT OF NOT LESS THAN 1070mm (42 1/8")
- HANDRAIL SHALL BE CONTINUOUS AND HAVE A HEIGHT OF NOT LESS THAN 915 (36")

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19/09/2024	ISSUED FOR PERMIT	2
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PROJECT NAME

**PULSE SOCIETIES LTD**  
**ORLEANS DEVELOPMENT - PRR**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

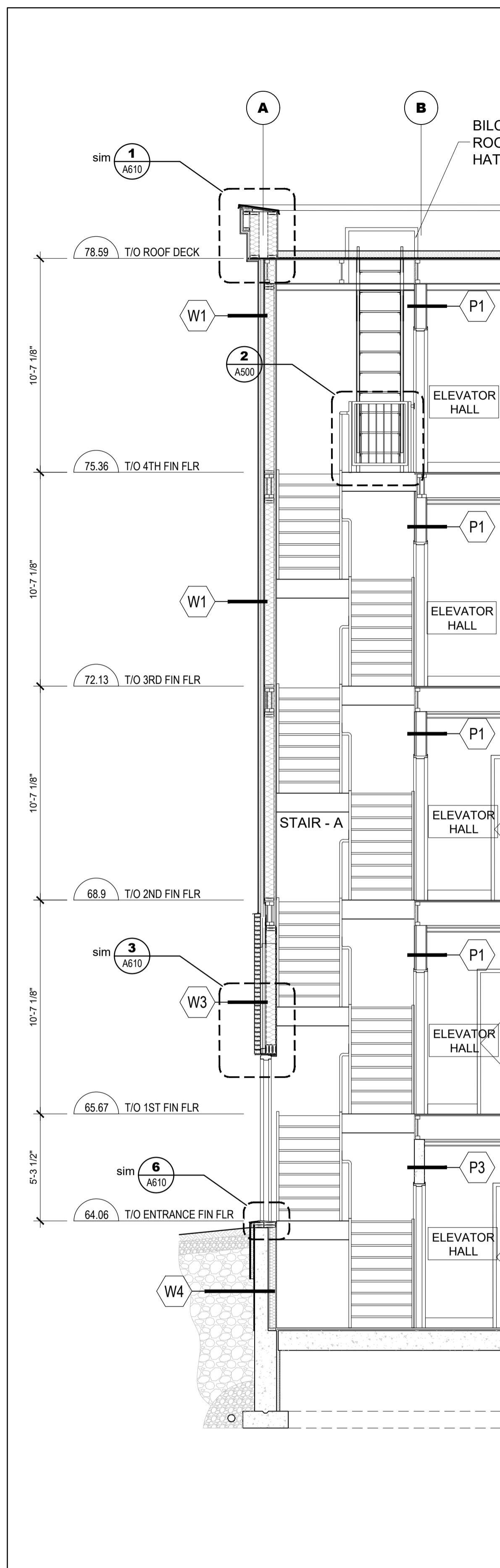
**BUILDING SECTIONS**  
**AND DETAILS**

DATE 22.05.2024 PROJECT NO.

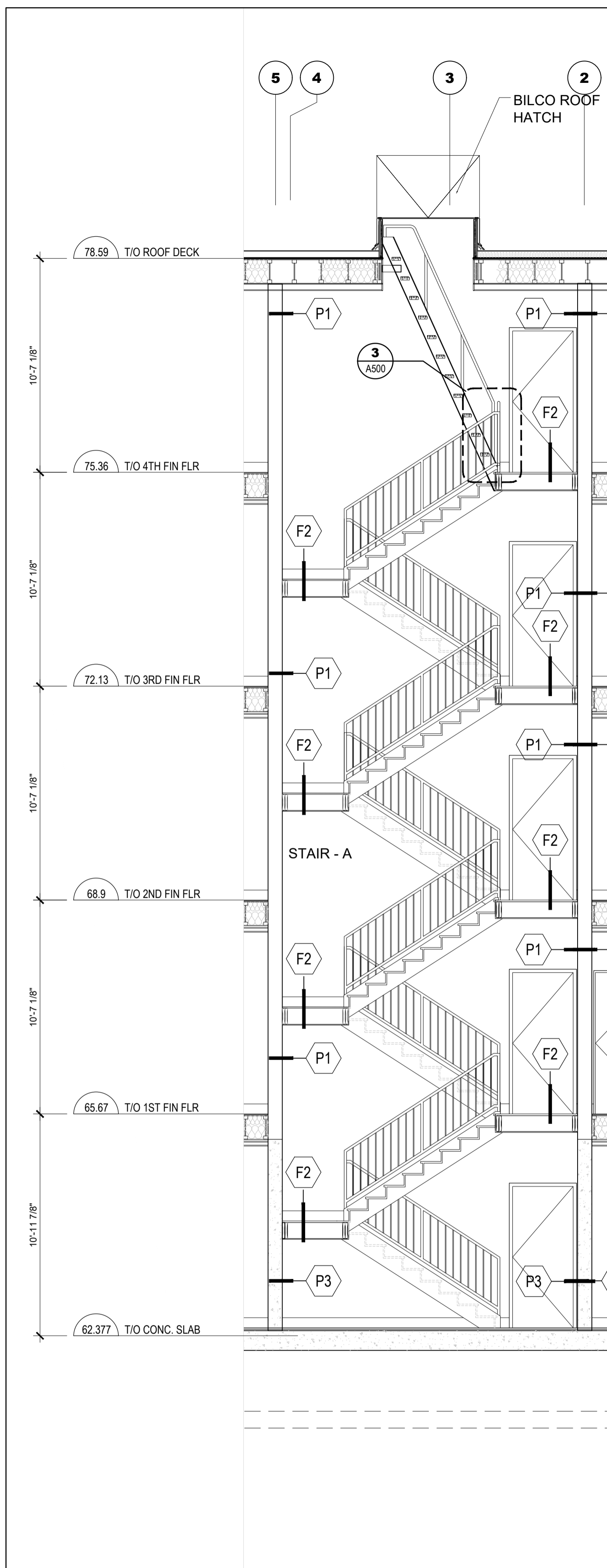
SCALE AS NOTED **24-002C**

DRAWN BY BR DRAWING NO.

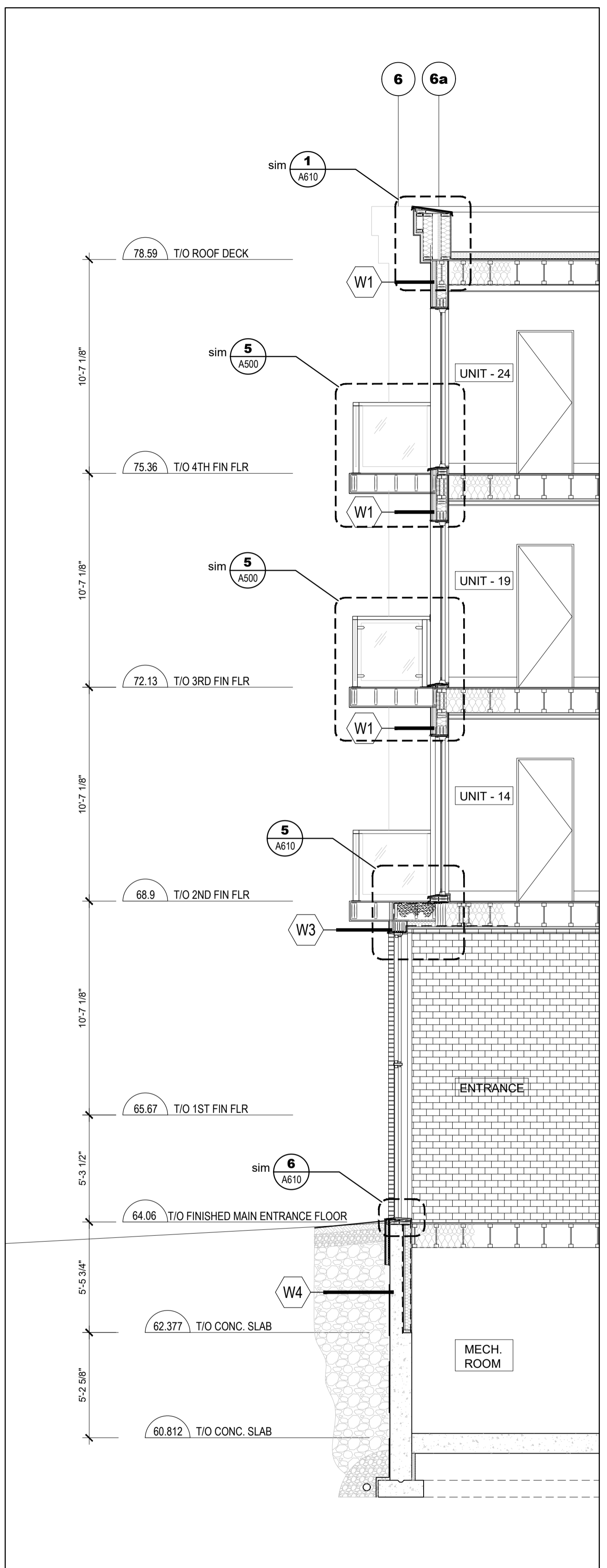
REVIEWED BY LCL **A-450**



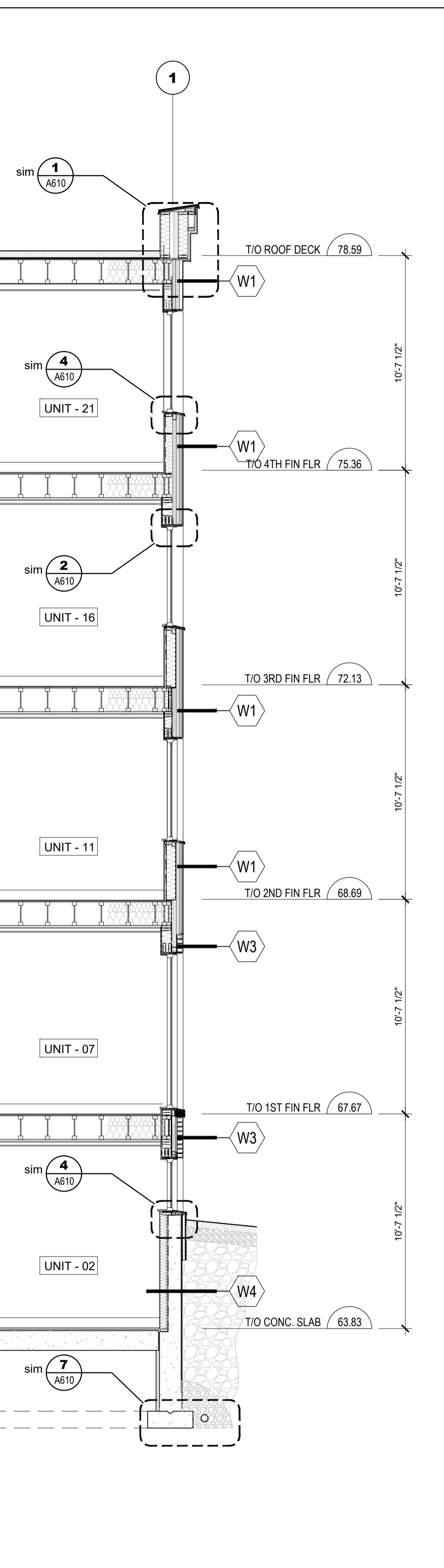
**1** WALL SECTION  
A-460 SCALE = 1/4" = 1'-0"



**2** WALL SECTION  
A-460 SCALE = 1/4" = 1'-0"



**3** WALL SECTION  
A-460 SCALE = 1/4" = 1'-0"



**4** WALL SECTION  
A-460 SCALE = 1/4" = 1'-0"

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PROJECT NAME

**PULSE SOCIETIES LTD  
ORLEANS DEVELOPMENT - PRR**

1108 Maisonneuve Street, Orleans (Ottawa), ON

DRAWING TITLE

TYPICAL - WALL & STAIRS  
SECTIONS

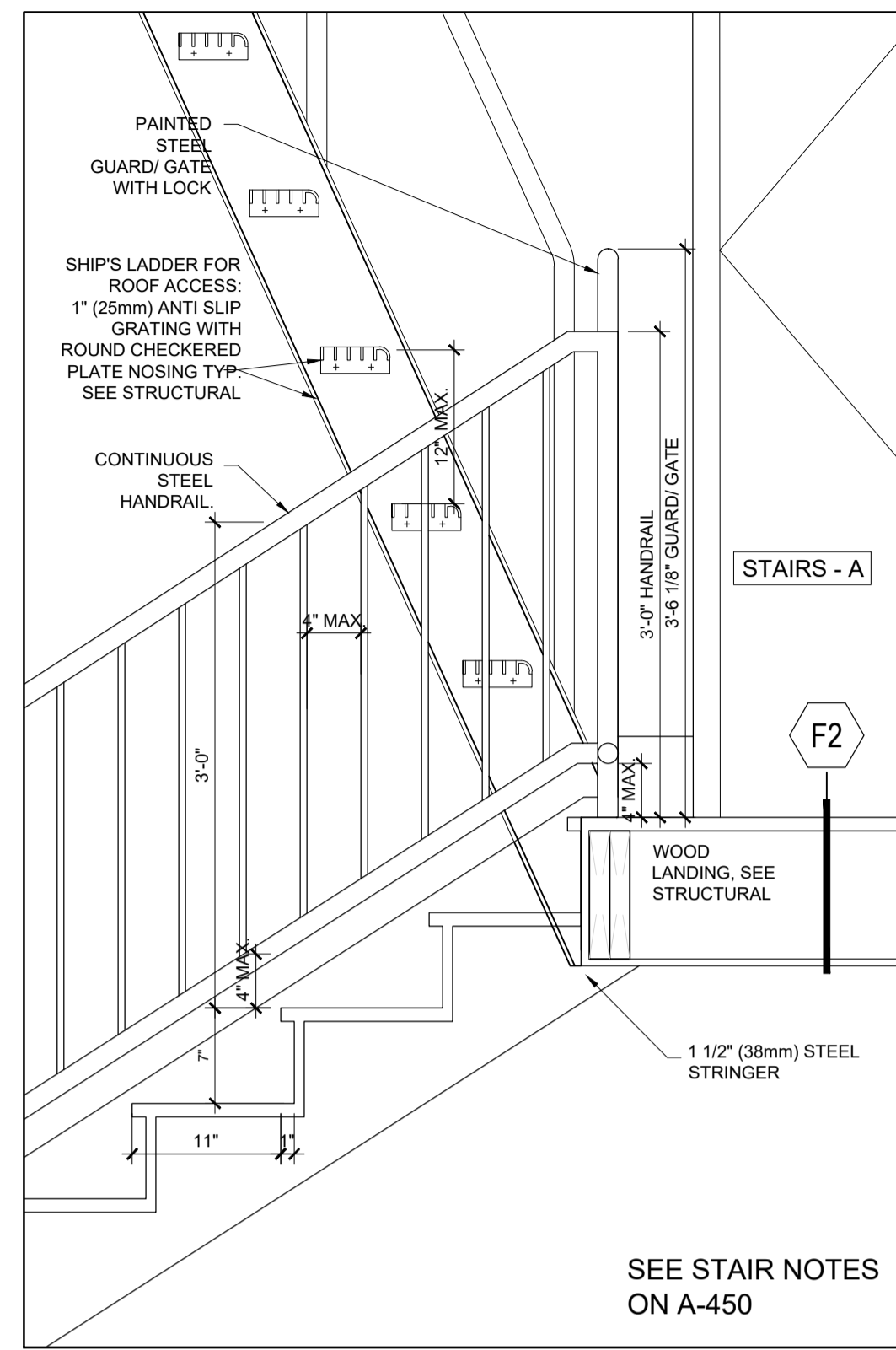
DATE 22.05.2024 PROJECT NO.

SCALE AS NOTED **24-002C**

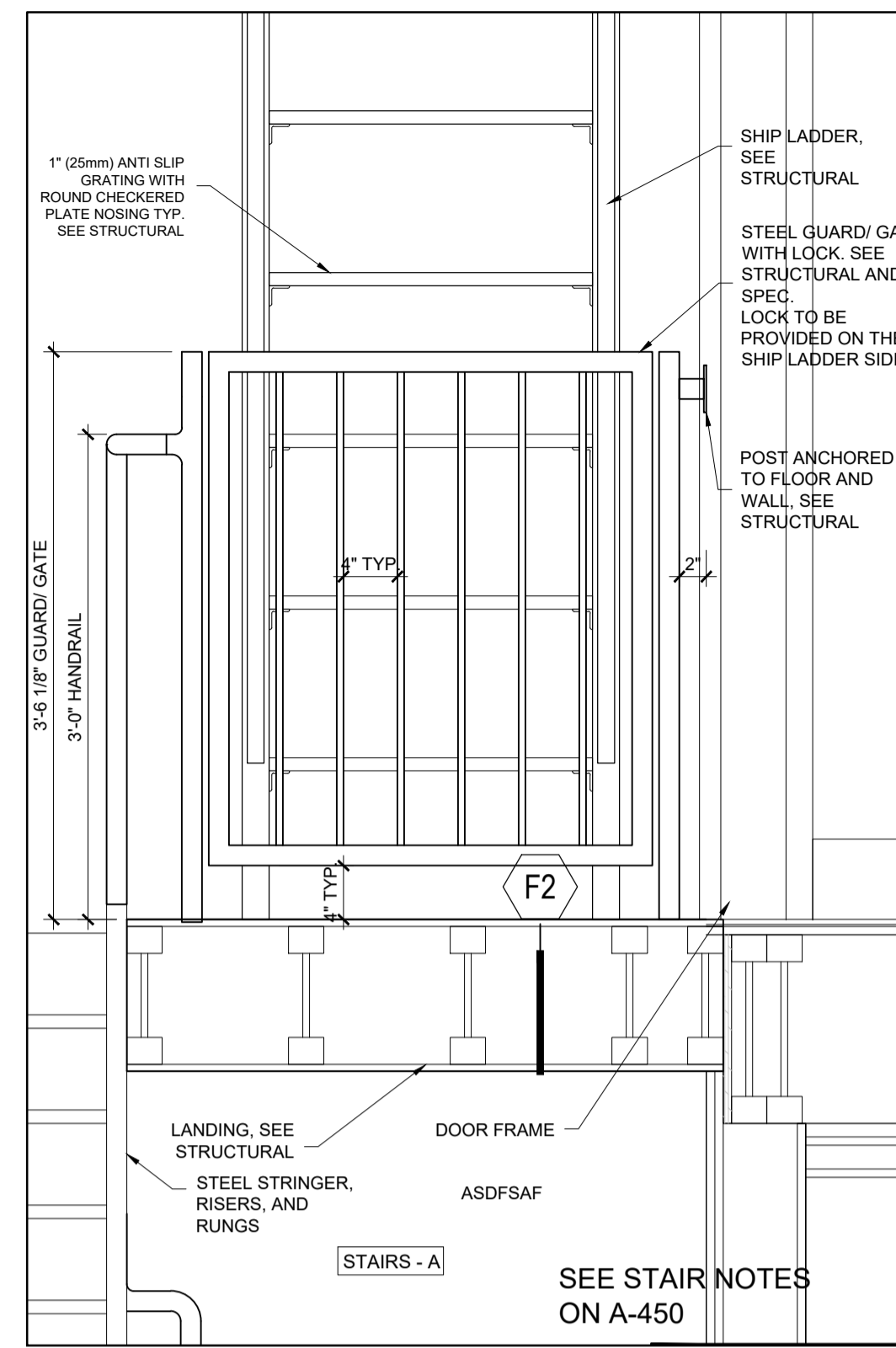
DRAWN BY BR DRAWING NO.

REVIEWED BY LCL **A-460**

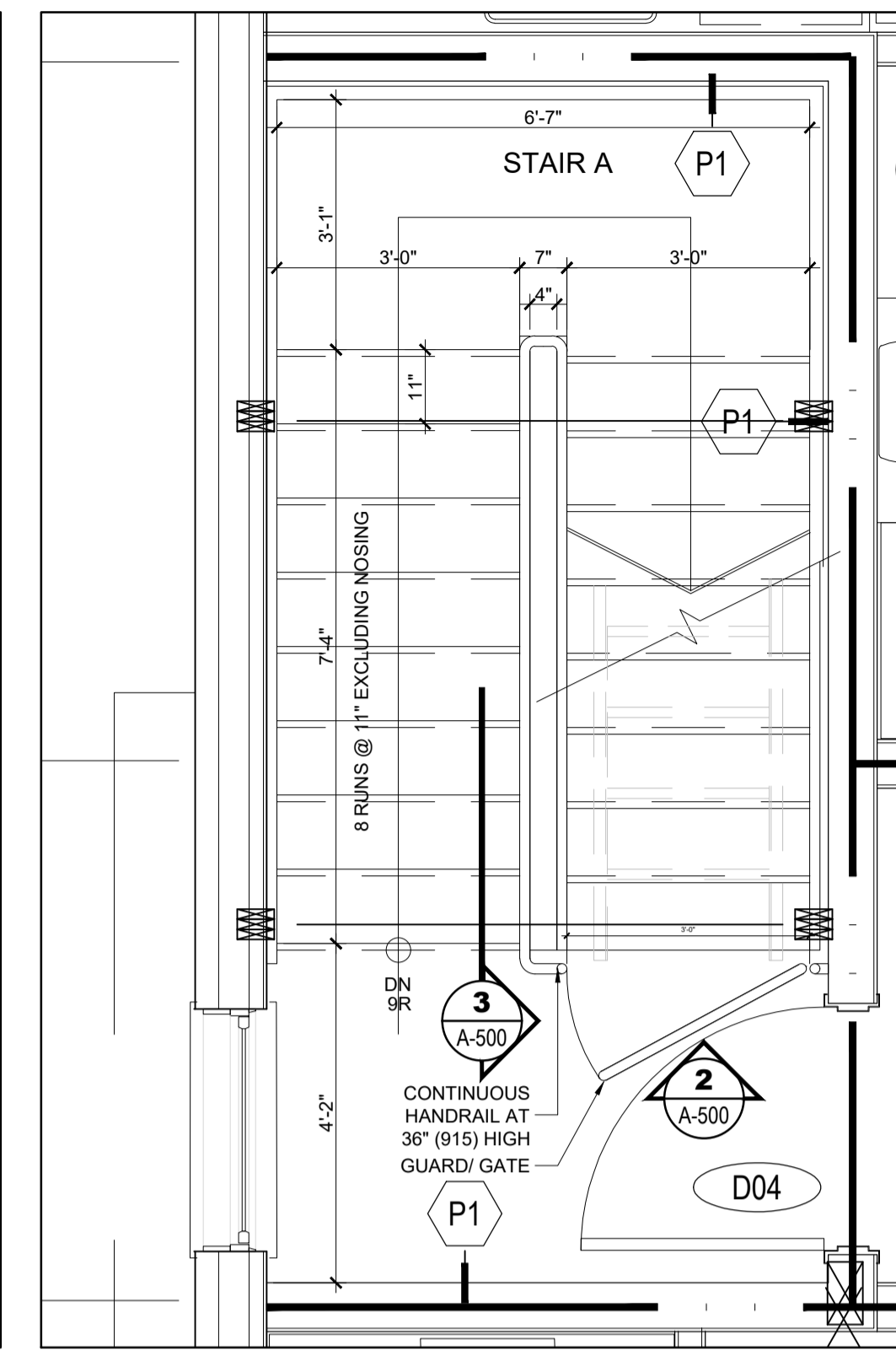




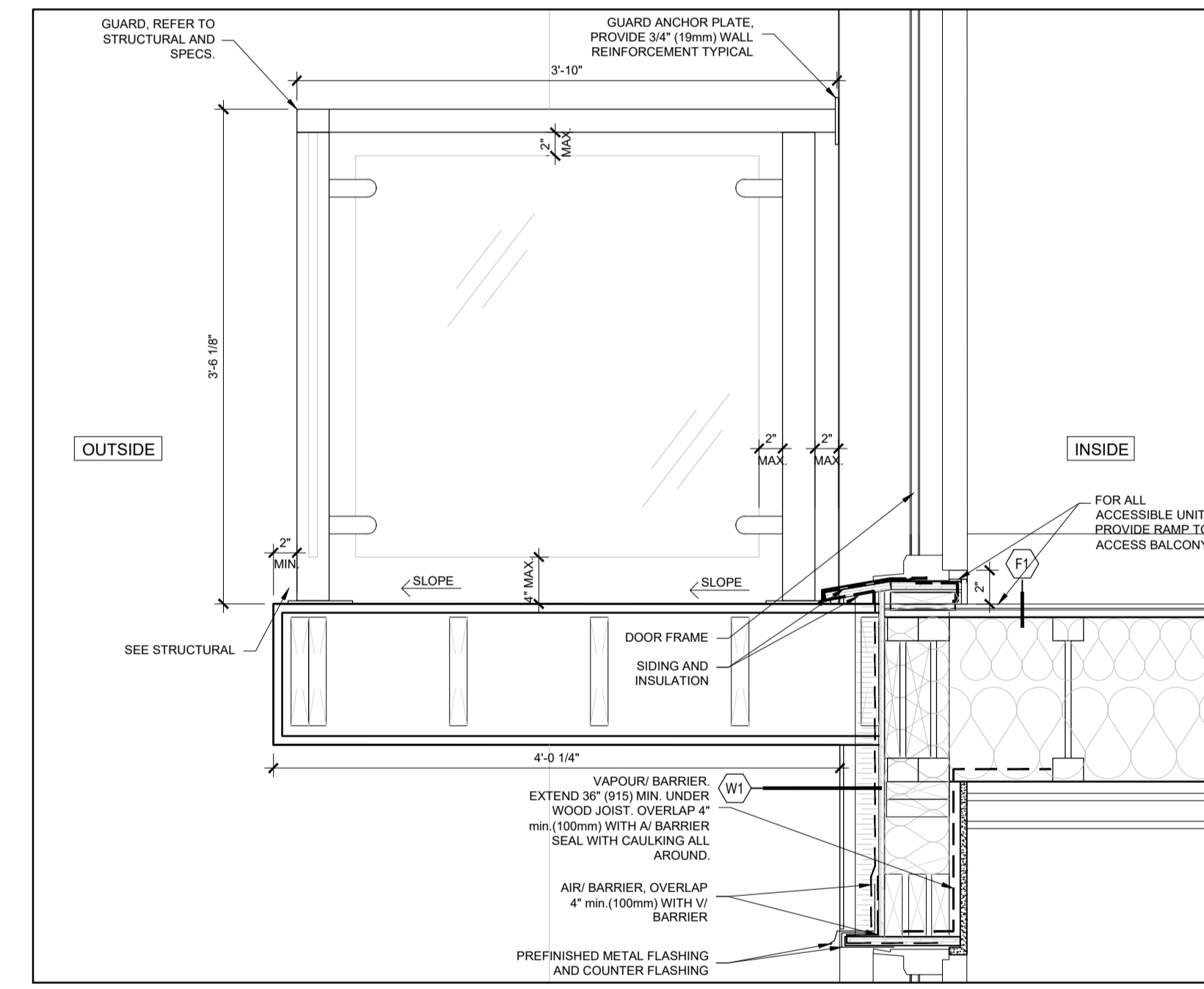
**3** DETAIL @ SHIP'S LADDER  
A-500 SCALE = 1 1/2" = 1'-0"



**2** DETAIL @ STAIR LANDING  
A-500 SCALE = 1 1/2" = 1'-0"



**1** PLAN  
A-500 SCALE = 1 1/2" = 1'-0"



**5** DETAIL @ BALCONY  
A-500 SCALE = 1 1/2" = 1'-0"

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DRAWING TITLE

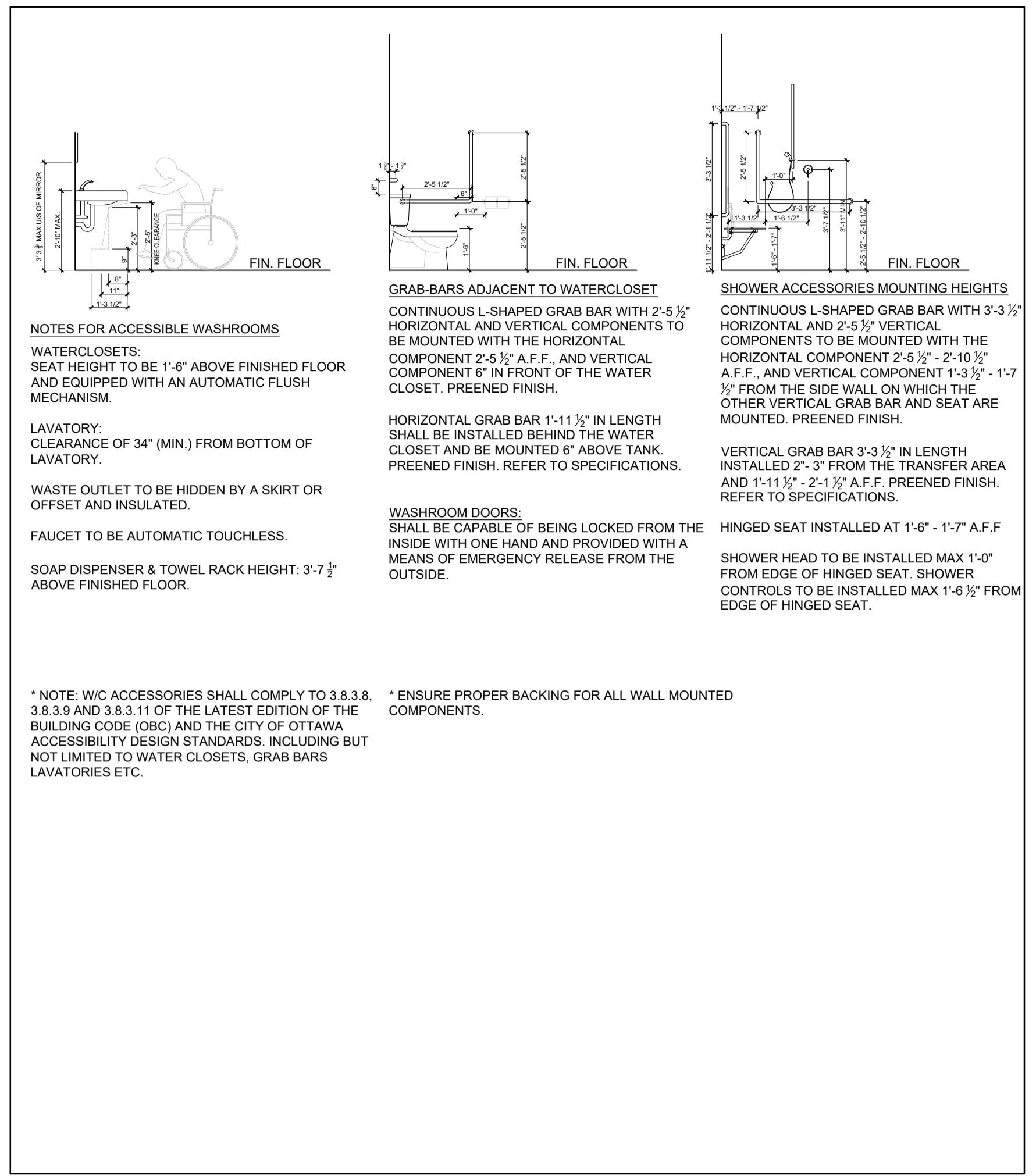
**DETAILS: STAIRS  
PLAN & SECTIONS**

DATE 22.05.2024 PROJECT NO.

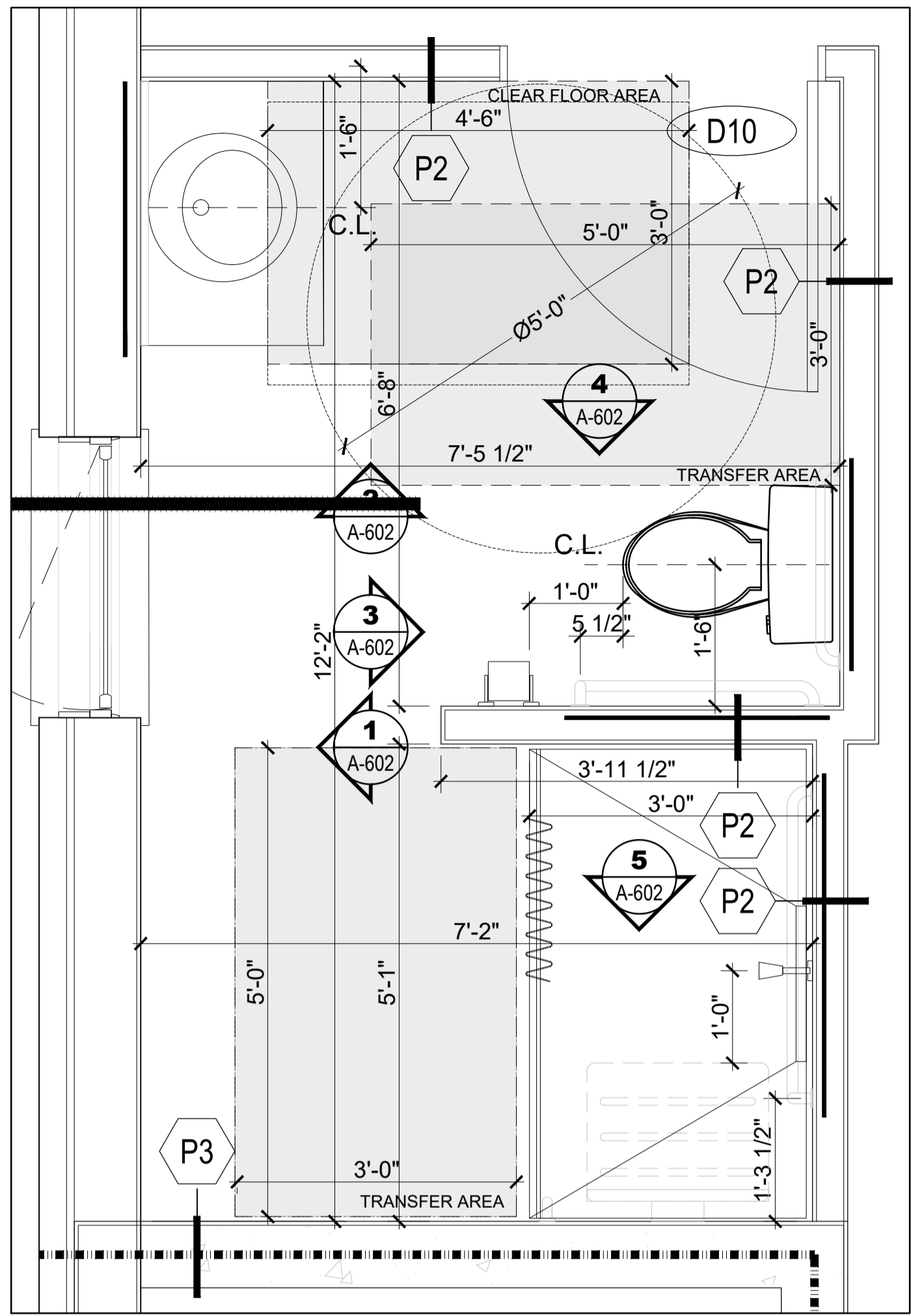
SCALE AS NOTED **24-002C**

DRAWN BY BR DRAWING NO.

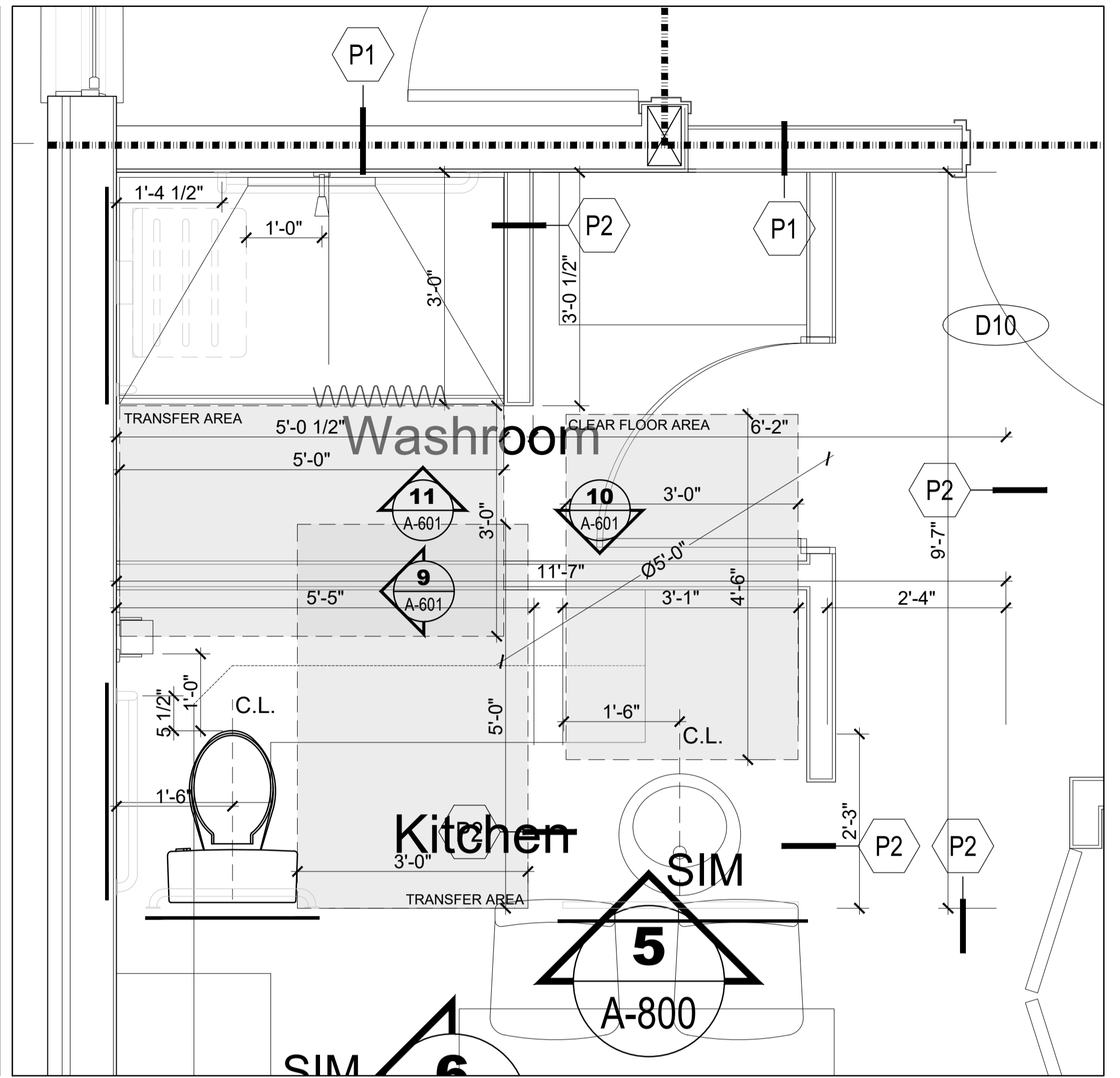
REVIEWED BY LCL **A-500**



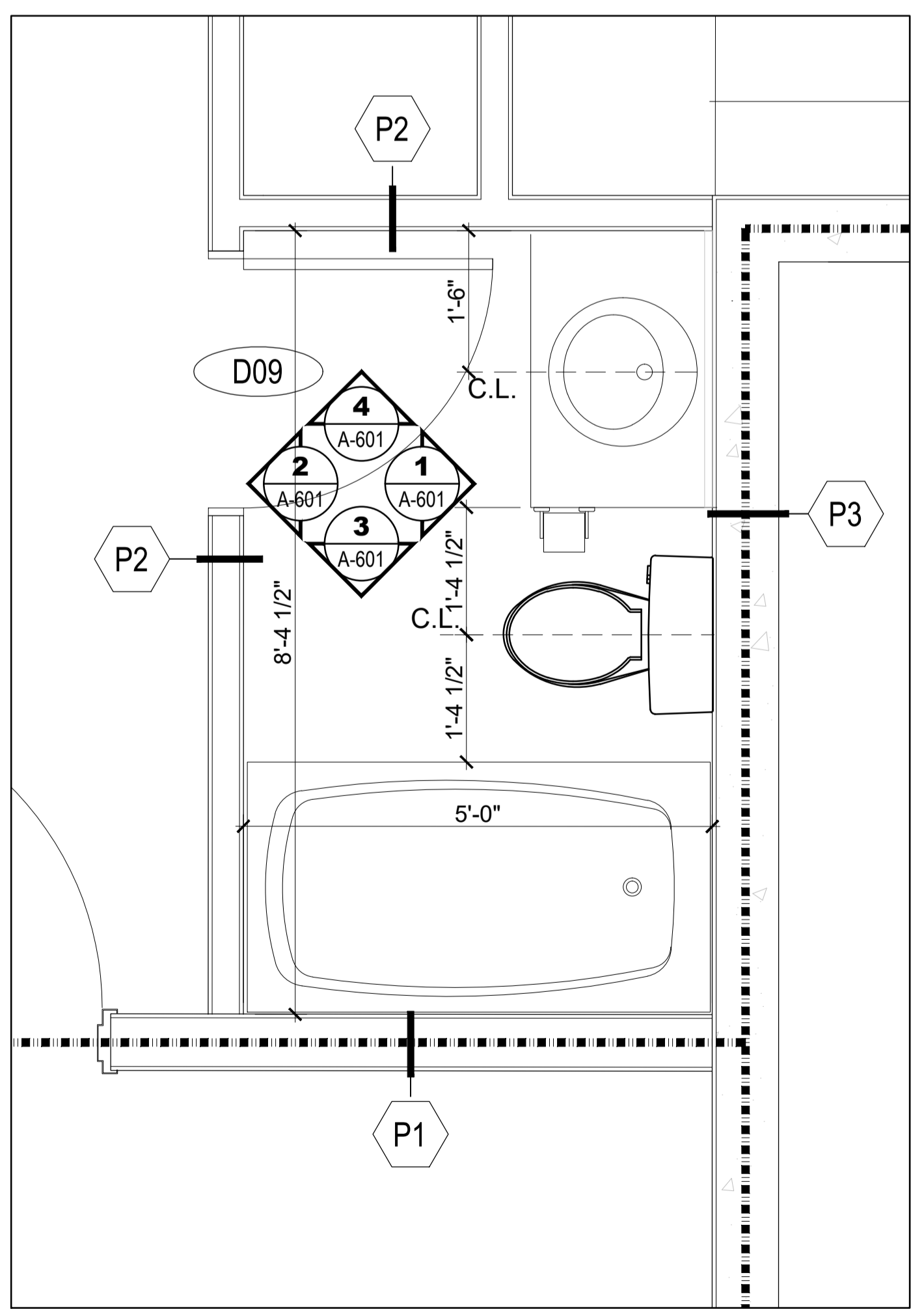
**1 TYPICAL WASHROOM MOUNTING HEIGHTS**  
SCALE = NTS



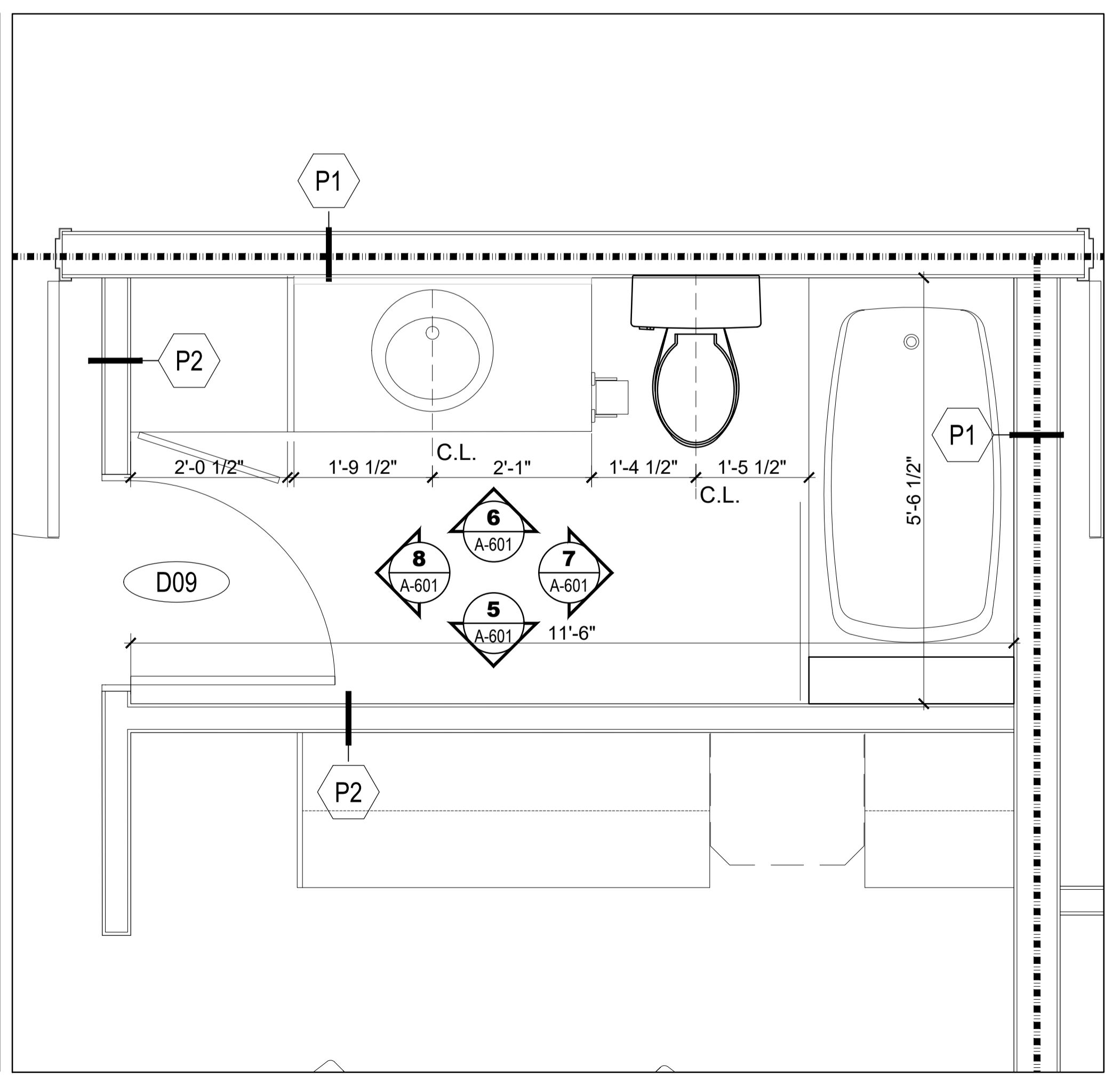
**2 UNITS 1, 6 (SIM) & 10 ACCESSIBLE WASHROOM ENLARGED PLAN**  
SCALE = 3/4" = 1'-0"



**3 UNITS 7 & 8 (MIR) ACCESSIBLE WASHROOM ENLARGED PLAN**  
SCALE = 3/4" = 1'-0"



**4 TYPICAL WASHROOM 1 ENLARGED PLAN**  
SCALE = 3/4" = 1'-0"



**5 TYPICAL WASHROOM 2 (UNITS 3, 12, 17 & 22) ENLARGED PLAN**  
SCALE = 3/4" = 1'-0"

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DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	2
2024/08/28	ISSUED FOR REVIEW	1

PROJECT NAME  
**PULSE SOCIETIES LTD**  
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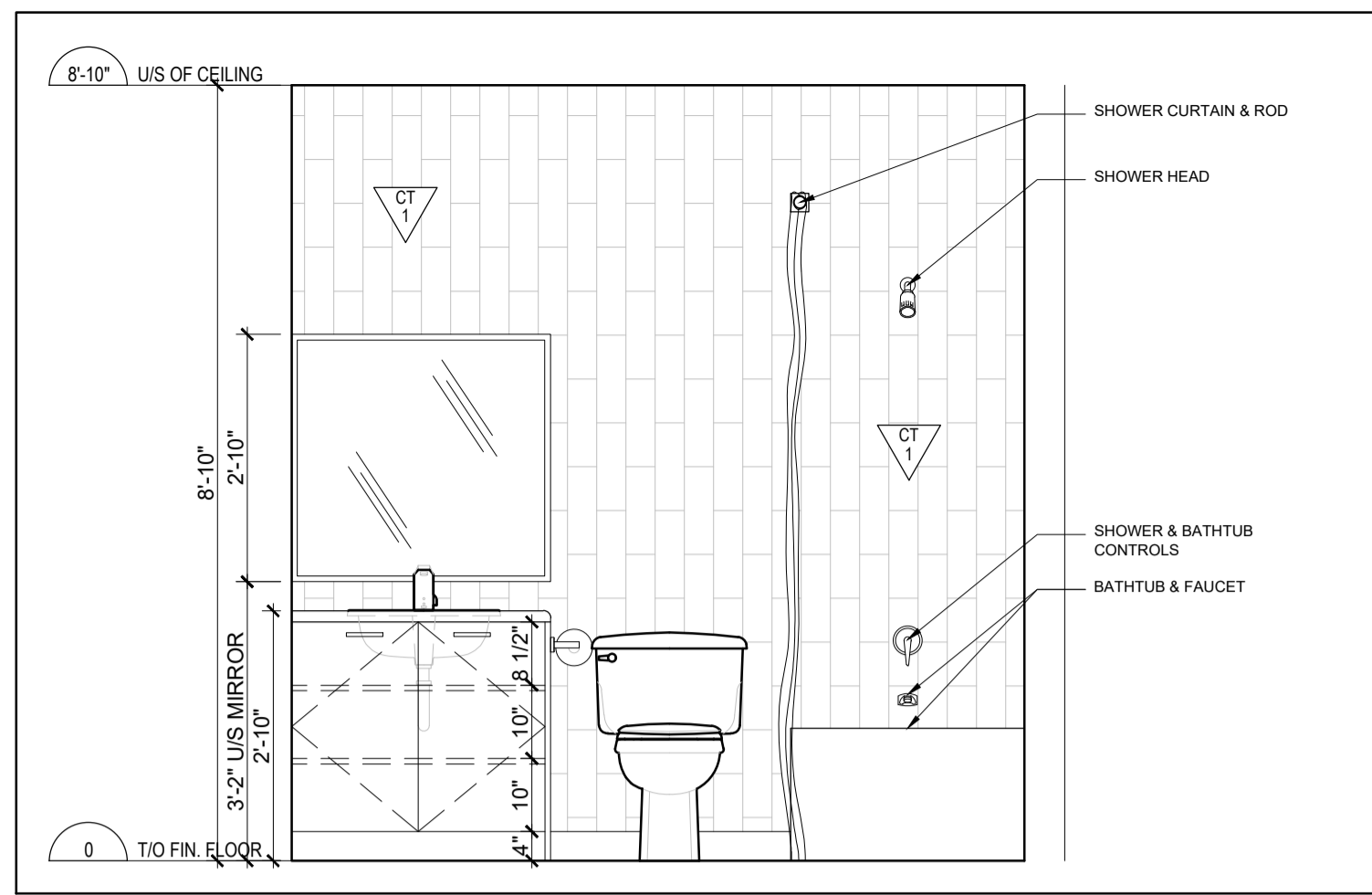
DRAWING TITLE  
**WASHROOM ENLARGED PLANS**

DATE 22.05.2024 PROJECT NO. **24-002C**

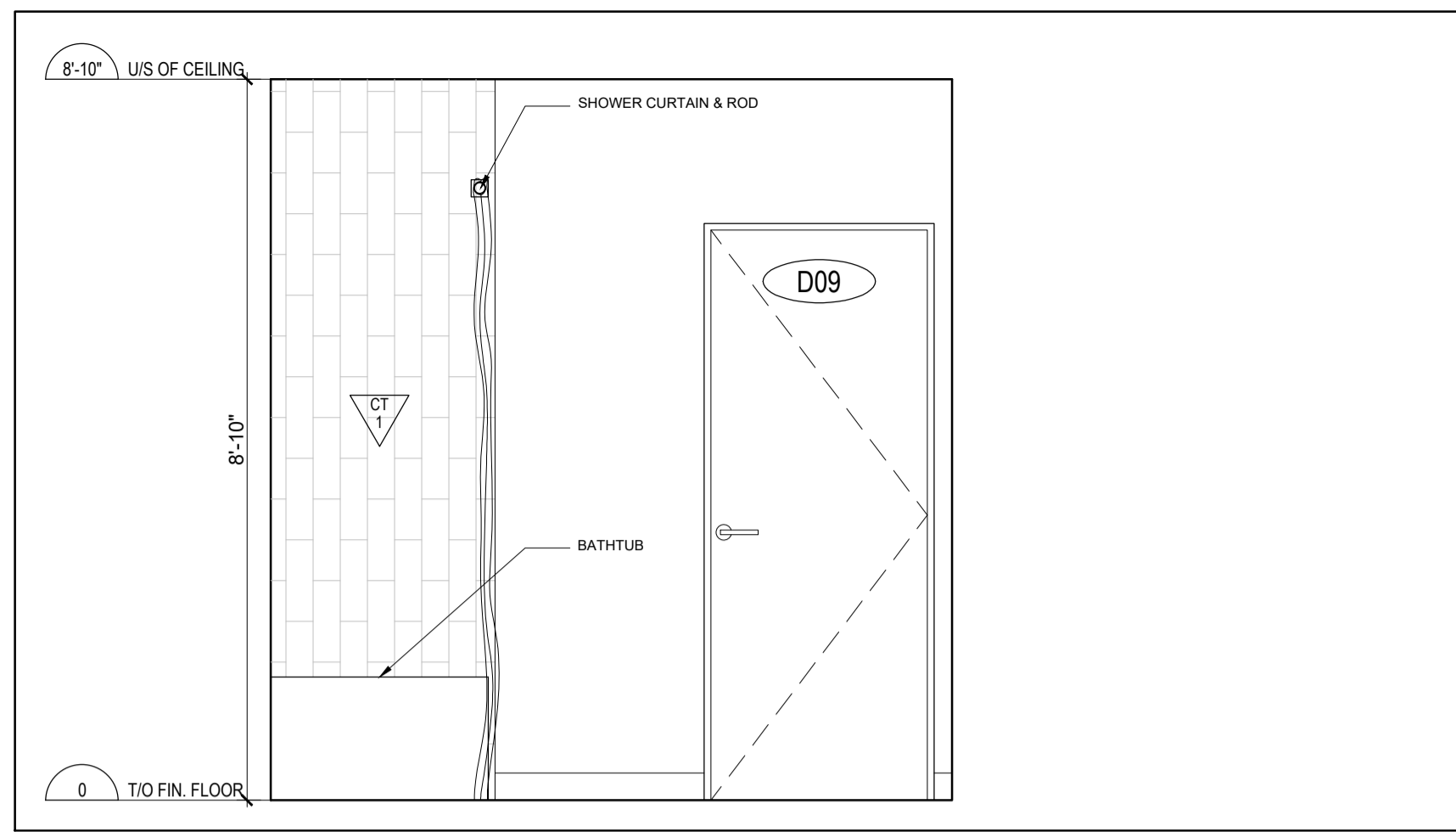
SCALE AS NOTED

DRAWN BY MD DRAWING NO. **A-600**

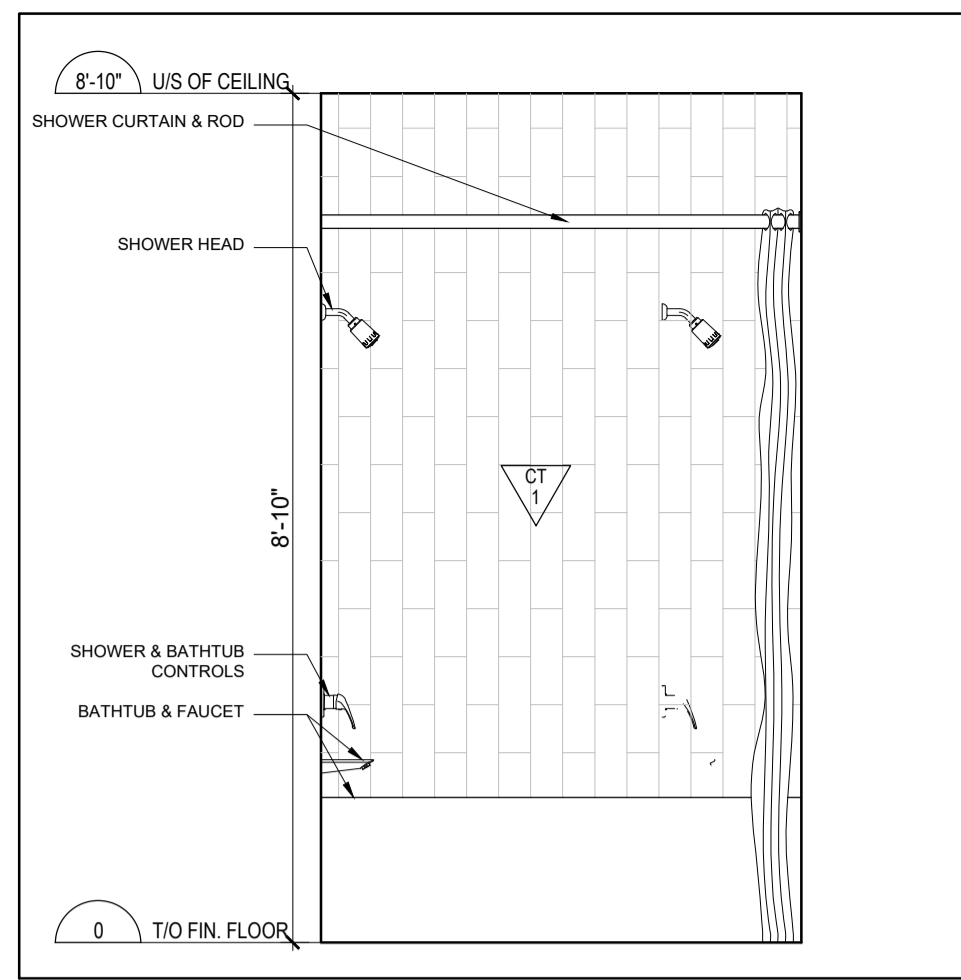
REVIEWED BY LCL



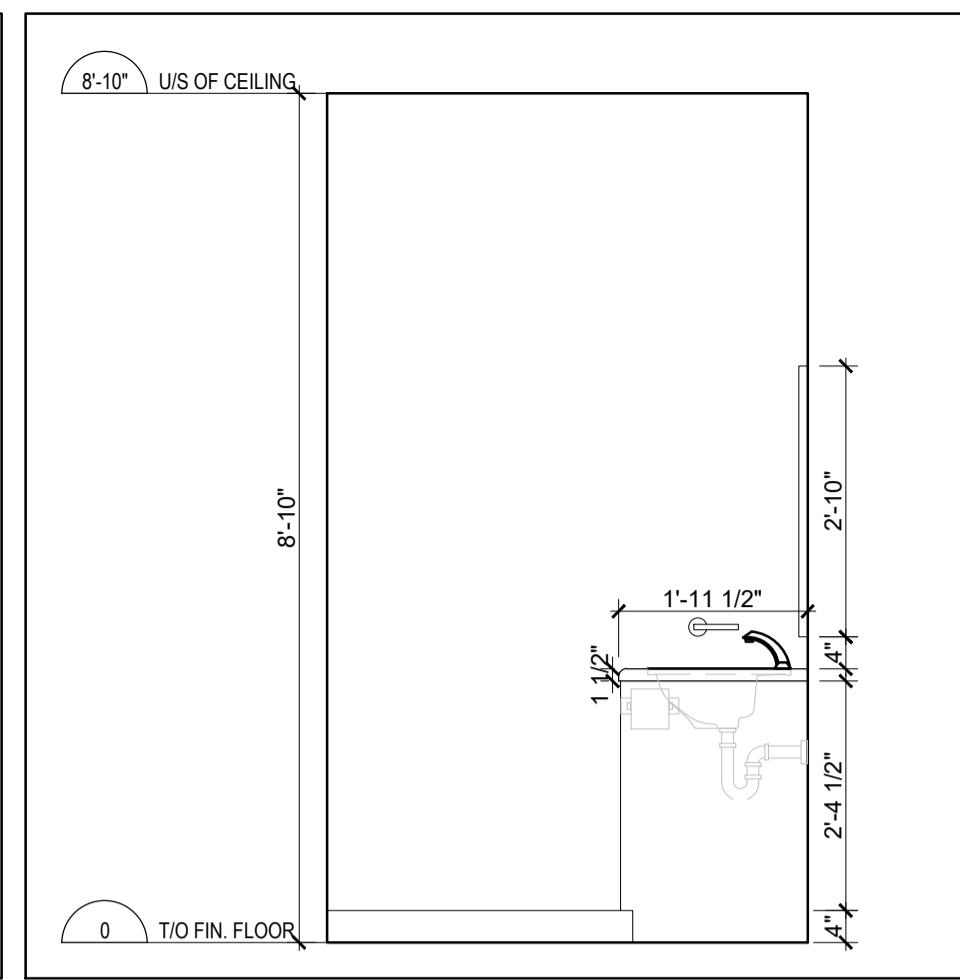
1 TYPICAL WASHROOM 1 ELEVATION 1  
SCALE = 1/2" = 1'-0"



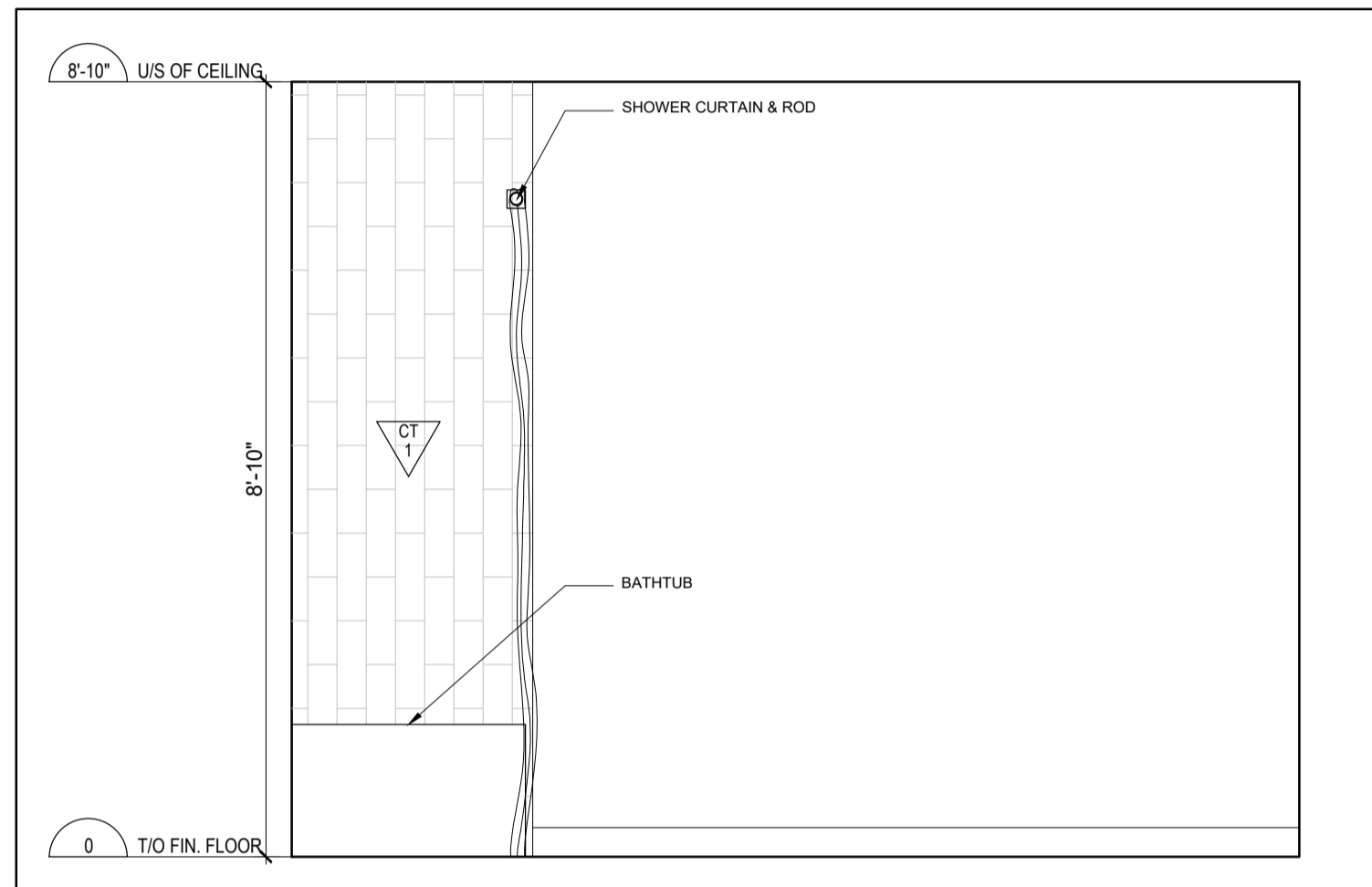
2 TYPICAL WASHROOM 1 ELEVATION 2  
SCALE = 1/2" = 1'-0"



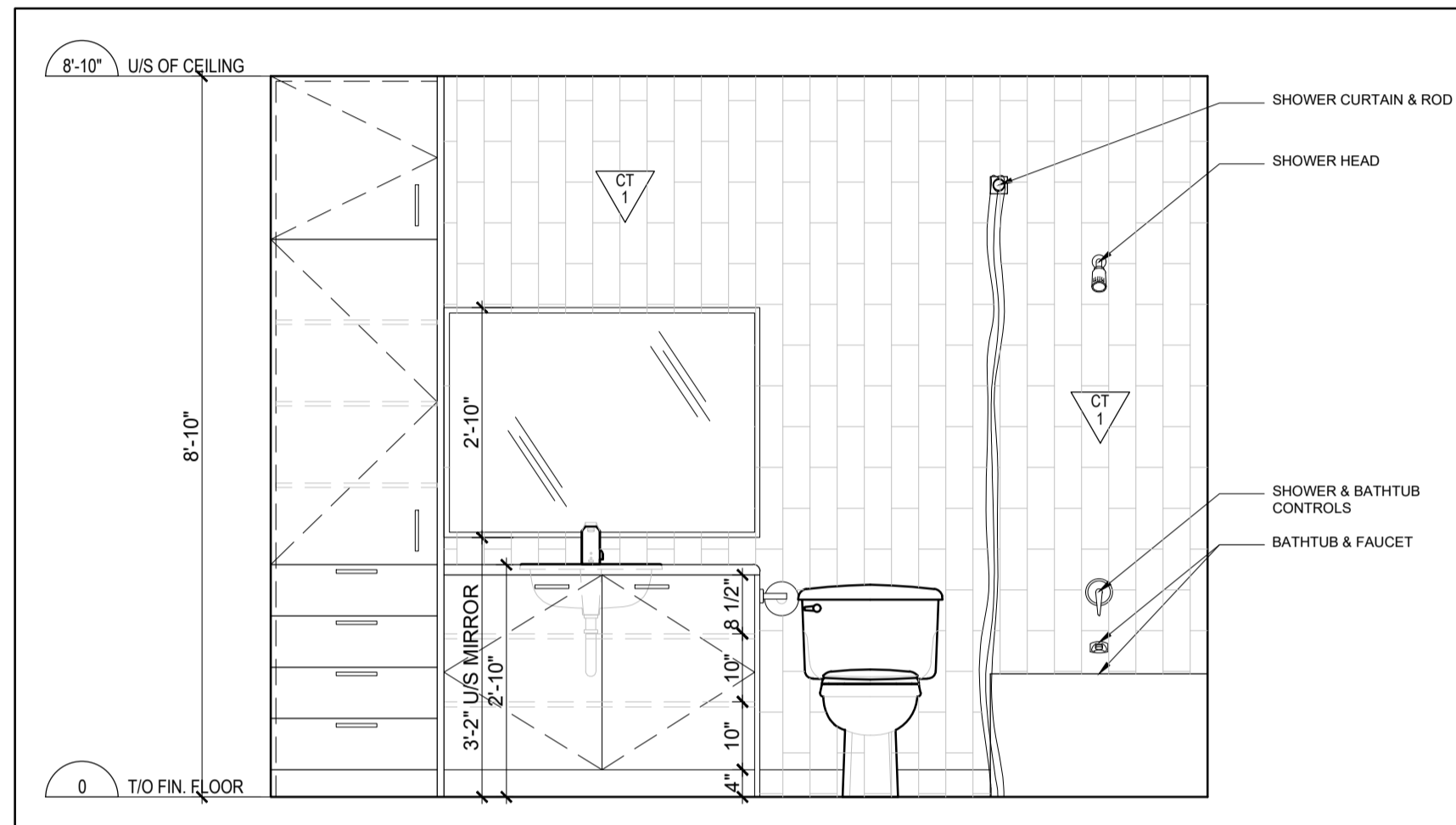
3 TYPICAL WASHROOM 1 ELEVATION 3  
SCALE = 1/2" = 1'-0"



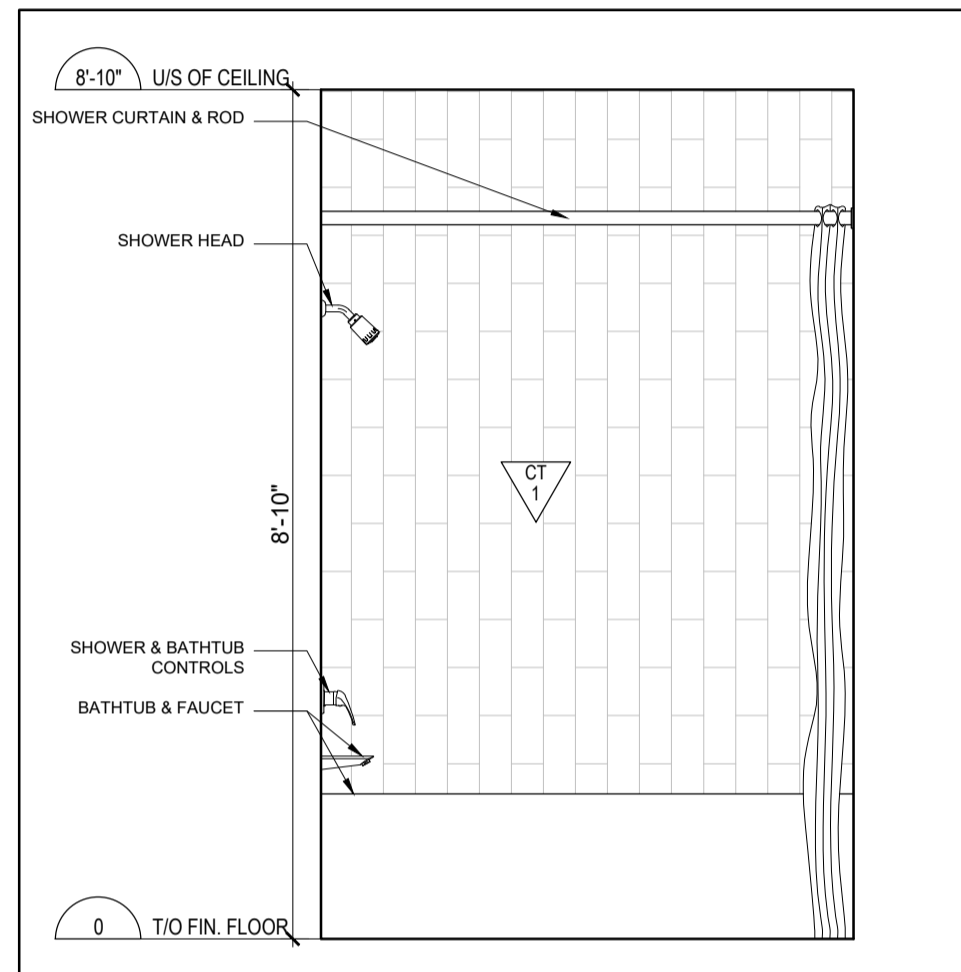
4 TYPICAL WASHROOM 1 ELEVATION 4  
SCALE = 1/2" = 1'-0"



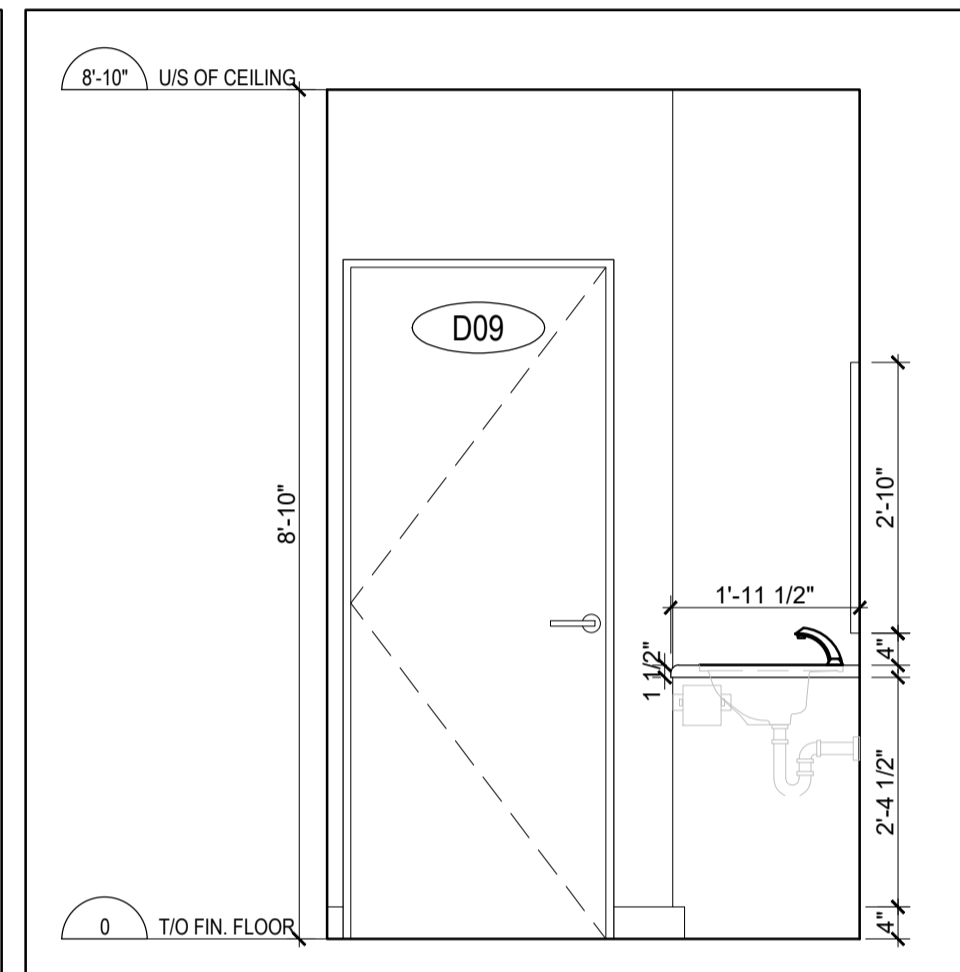
5 TYPICAL WASHROOM 2 ELEVATION 1  
SCALE = 1/2" = 1'-0"



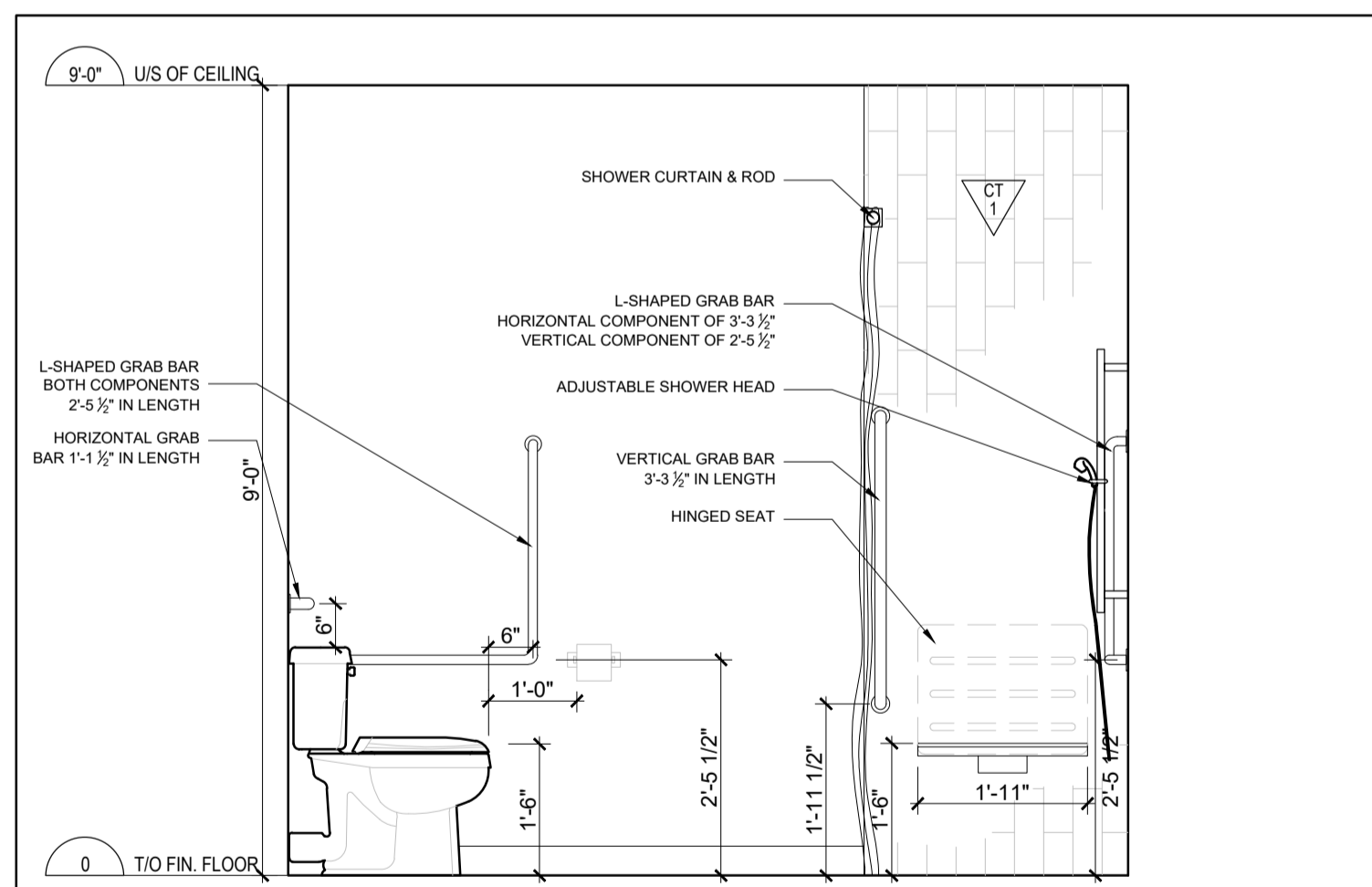
6 TYPICAL WASHROOM 2 ELEVATION 2  
SCALE = 1/2" = 1'-0"



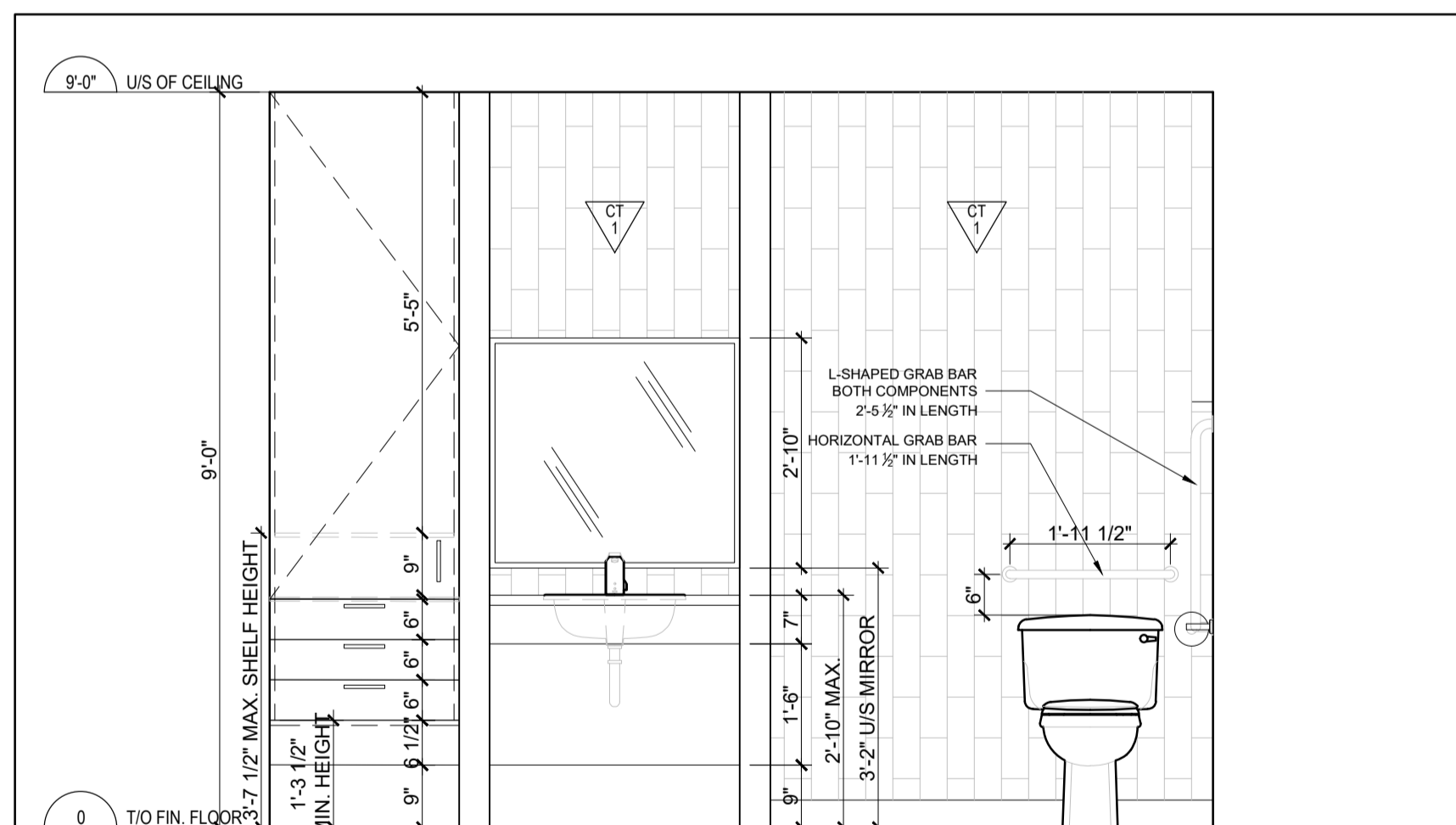
7 TYPICAL WASHROOM 2 ELEVATION 3  
SCALE = 1/2" = 1'-0"



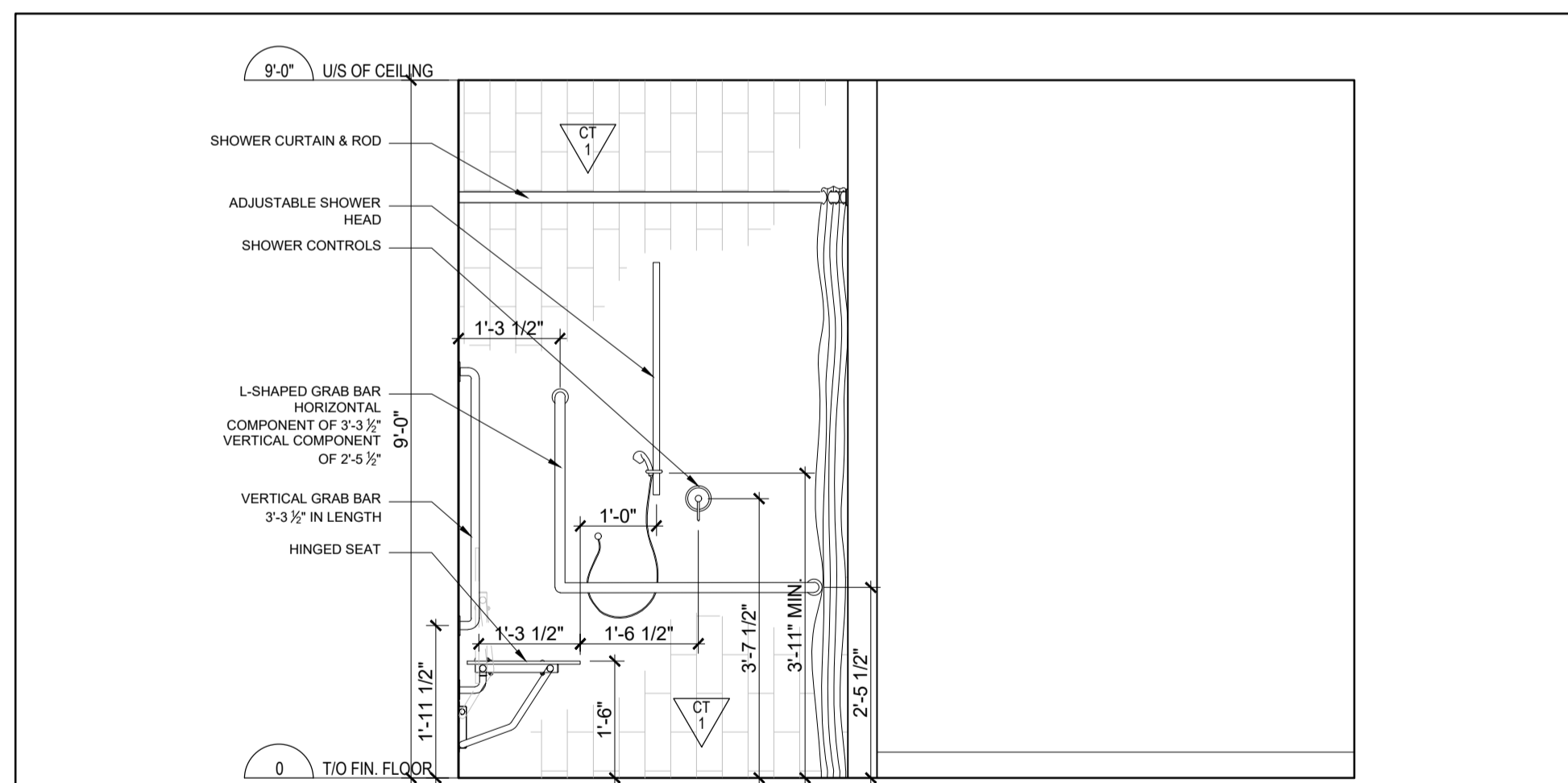
8 TYPICAL WASHROOM 2 ELEVATION 4  
SCALE = 1/2" = 1'-0"



9 UNITS 7 & 8 (MIR) ACCESSIBLE WASHROOM ELEVATION 1  
SCALE = 1/2" = 1'-0"



10 UNITS 7 & 8 (MIR) ACCESSIBLE WASHROOM ELEVATION 2  
SCALE = 1/2" = 1'-0"



11 UNITS 7 & 8 (MIR) ACCESSIBLE WASHROOM ELEVATION 3  
SCALE = 1/2" = 1'-0"

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DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	1

PROJECT NAME

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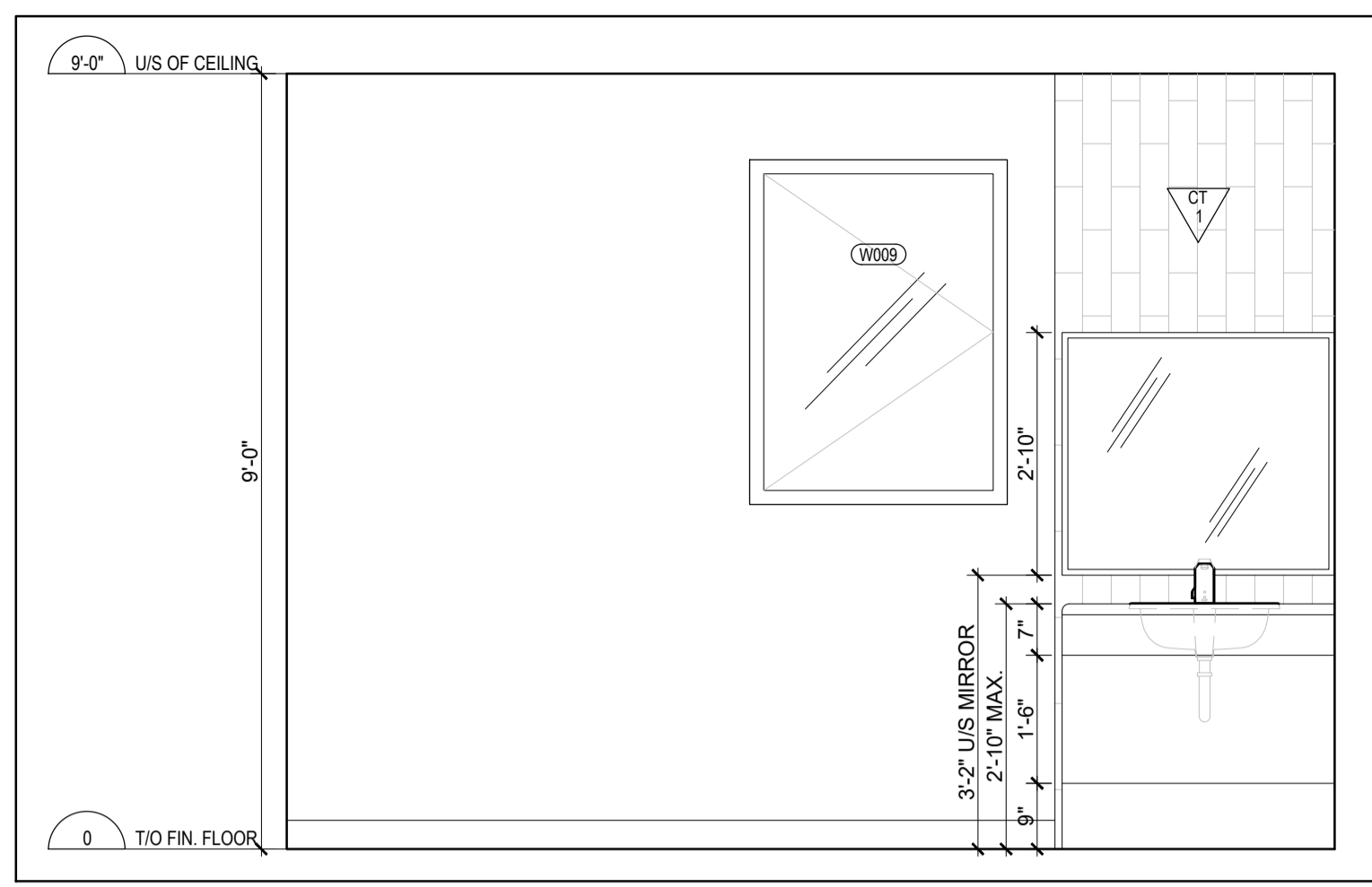
**ORLEANS DEVELOPMENT - MSN**

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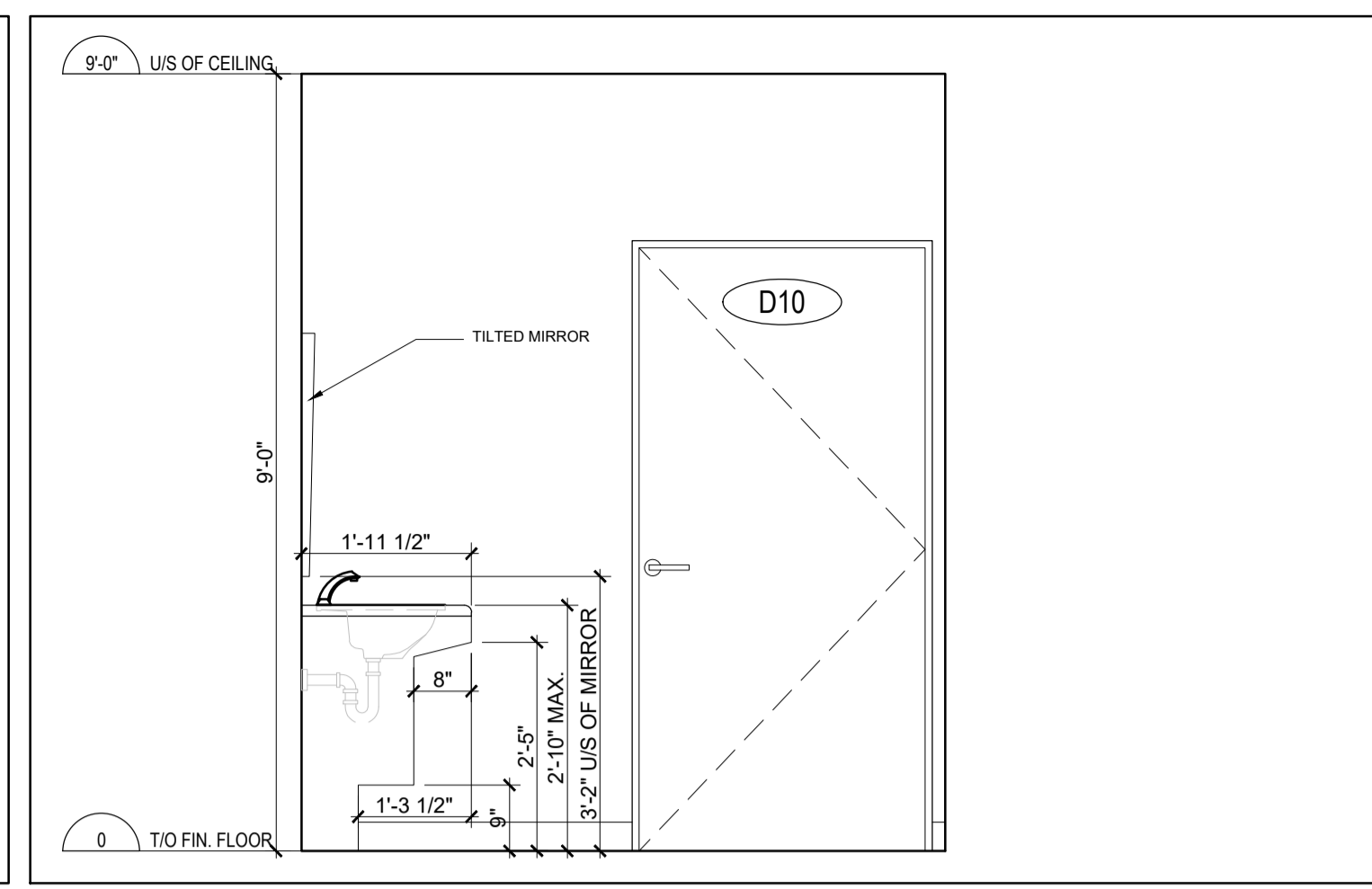
DRAWING TITLE

**WASHROOM ELEVATIONS**

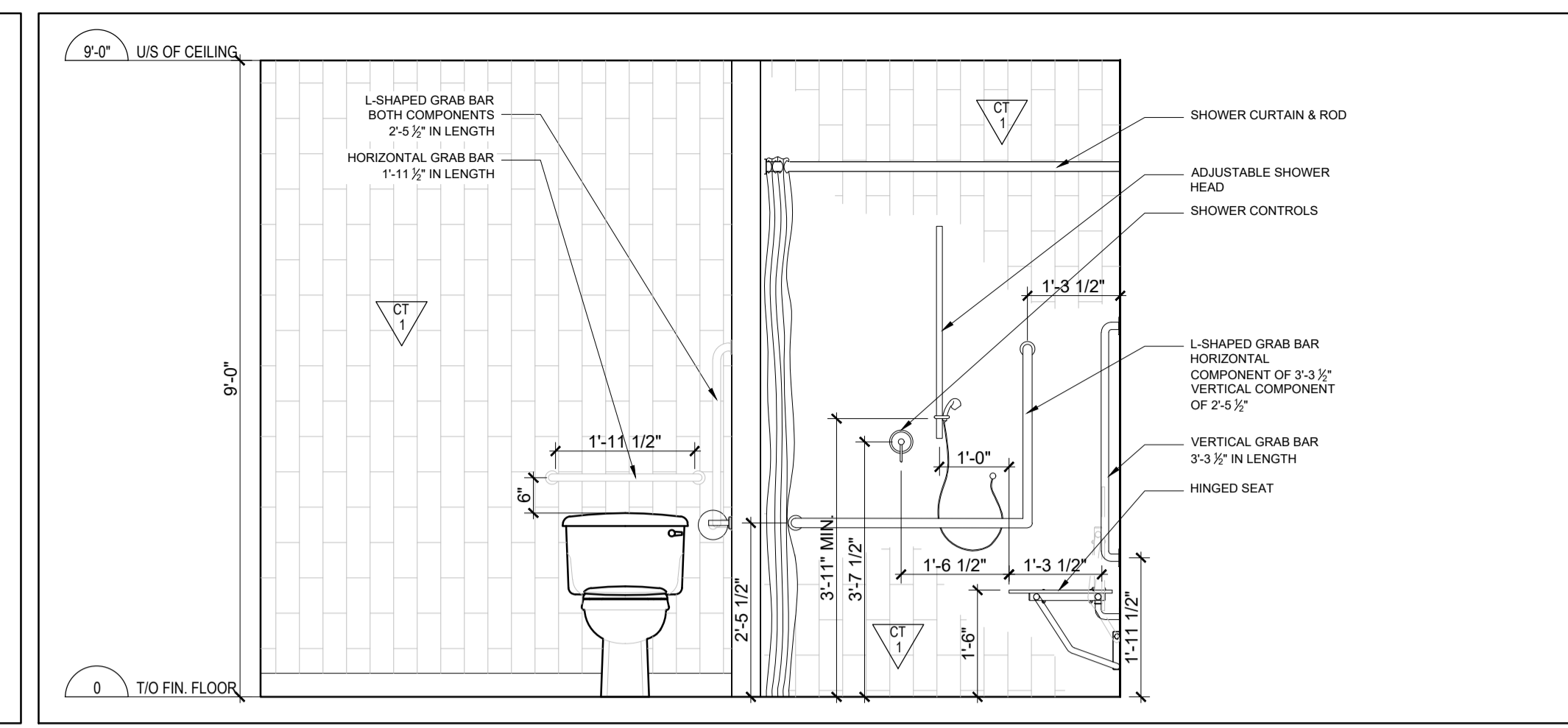
DATE	PROJECT NO.
22.05.2024	24-002C
SCALE	
AS NOTED	
DRAWN BY	DRAWING NO.
MD	A-601
REVIEWED BY	
LCL	



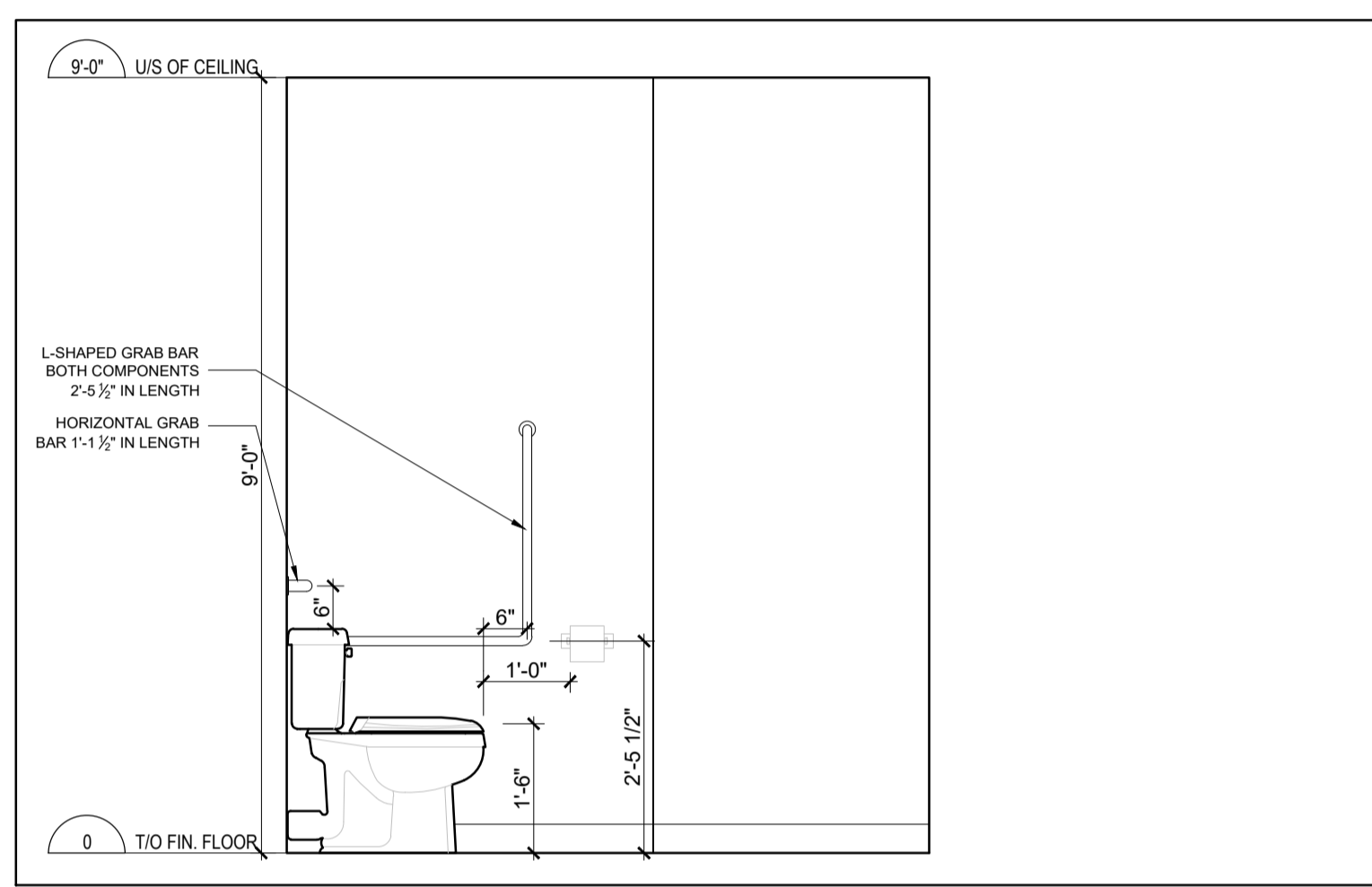
**1** UNITS 1, 6 & 10 ACCESSIBLE WASHROOM ELEVATION 1  
SCALE = 1/2" = 1'-0"



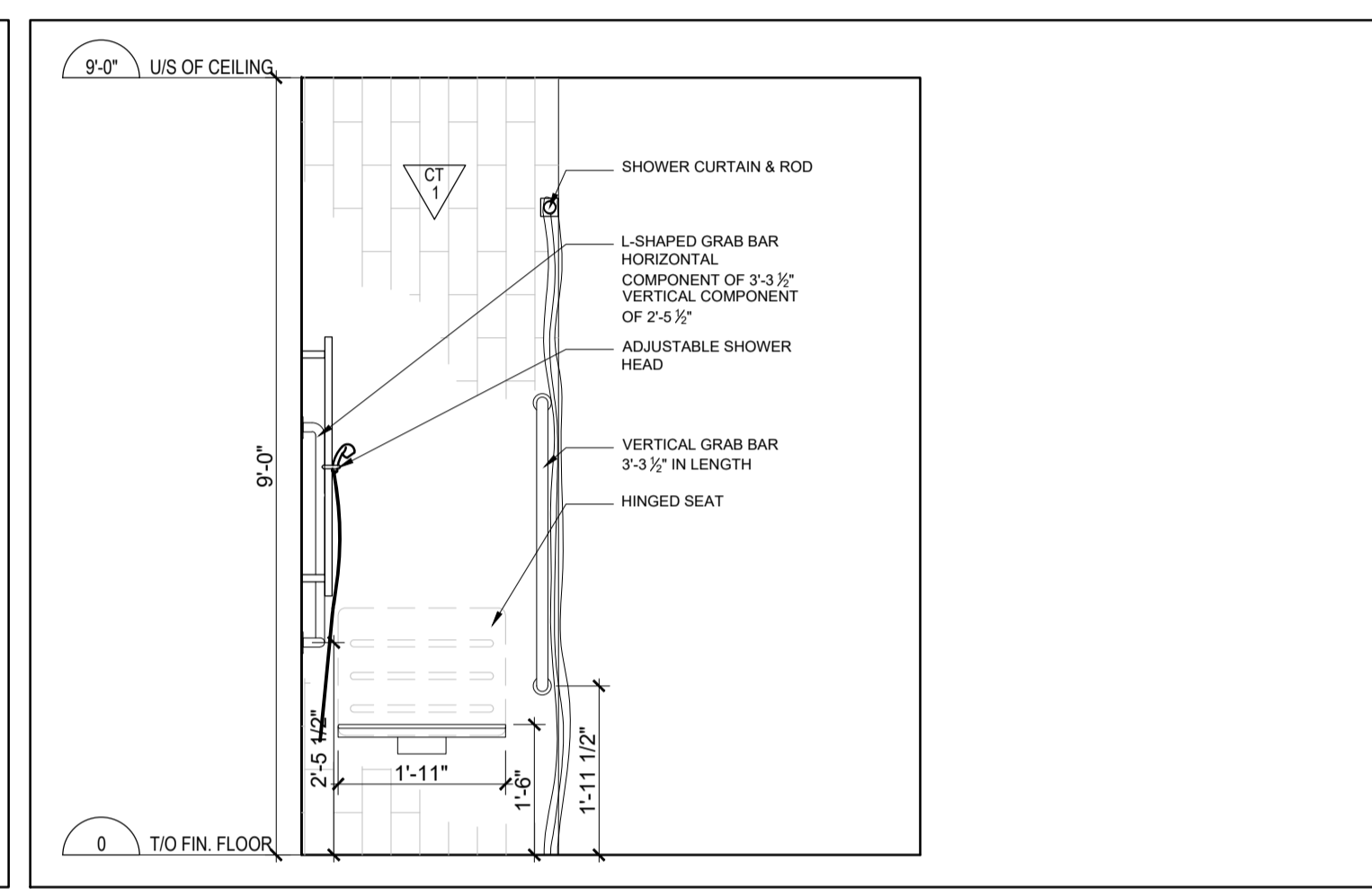
**2** UNITS 1, 6 & 10 ACCESSIBLE WASHROOM ELEVATION 2  
SCALE = 1/2" = 1'-0"



**3** UNITS 1, 6 & 10 ACCESSIBLE WASHROOM ELEVATION 3  
SCALE = 1/2" = 1'-0"



**4** UNITS 1, 6 & 10 ACCESSIBLE WASHROOM ELEVATION 4  
SCALE = 1/2" = 1'-0"



**5** UNITS 1, 6 & 10 ACCESSIBLE WASHROOM ELEVATION 5  
SCALE = 1/2" = 1'-0"

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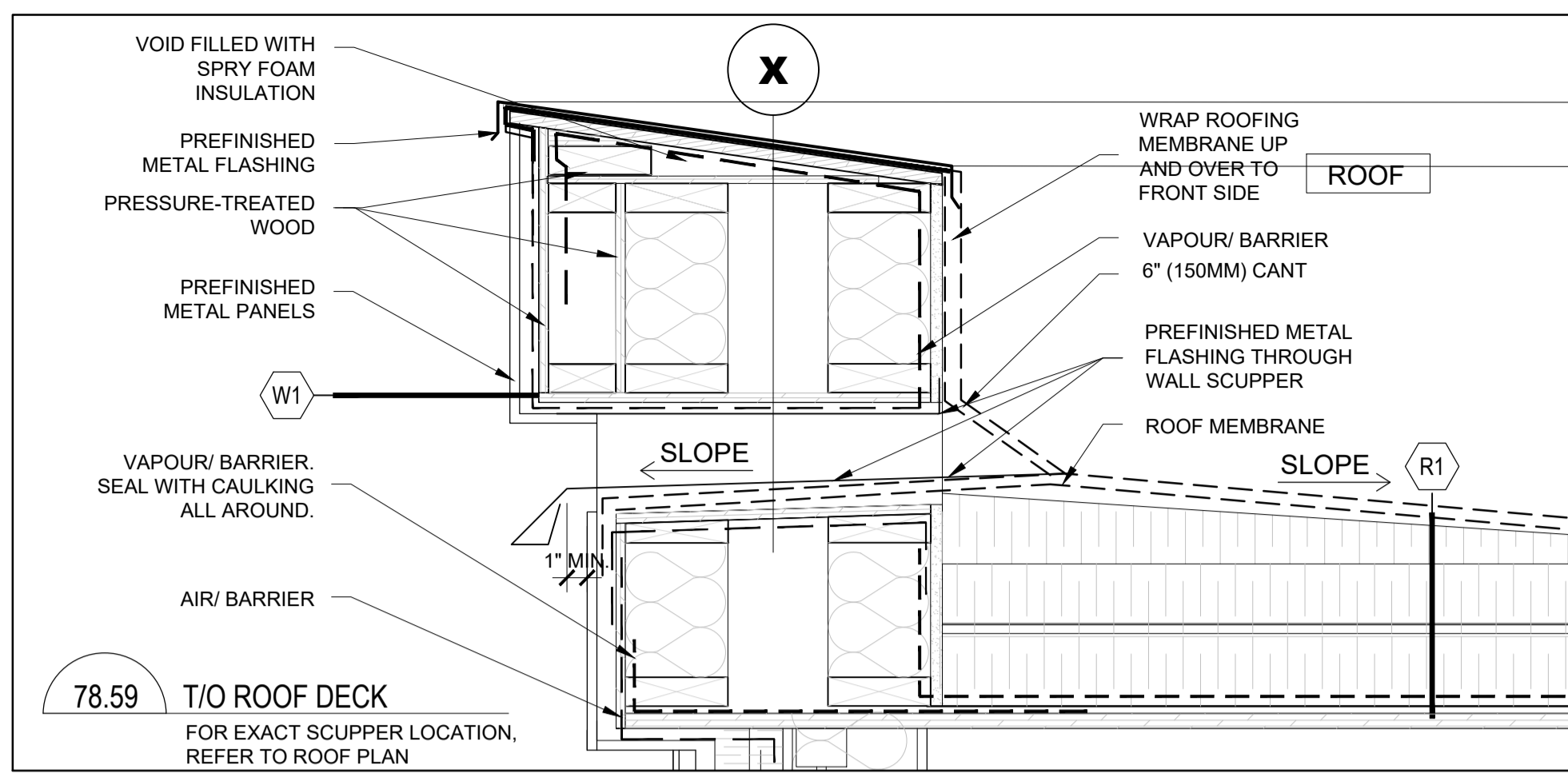
DATE	DESCRIPTION	ISSUE REV.
2024/09/19	ISSUED FOR PERMIT	1

PROJECT NAME  
**PULSE SOCIETIES LTD**  
**ORLEANS DEVELOPMENT - MSN**

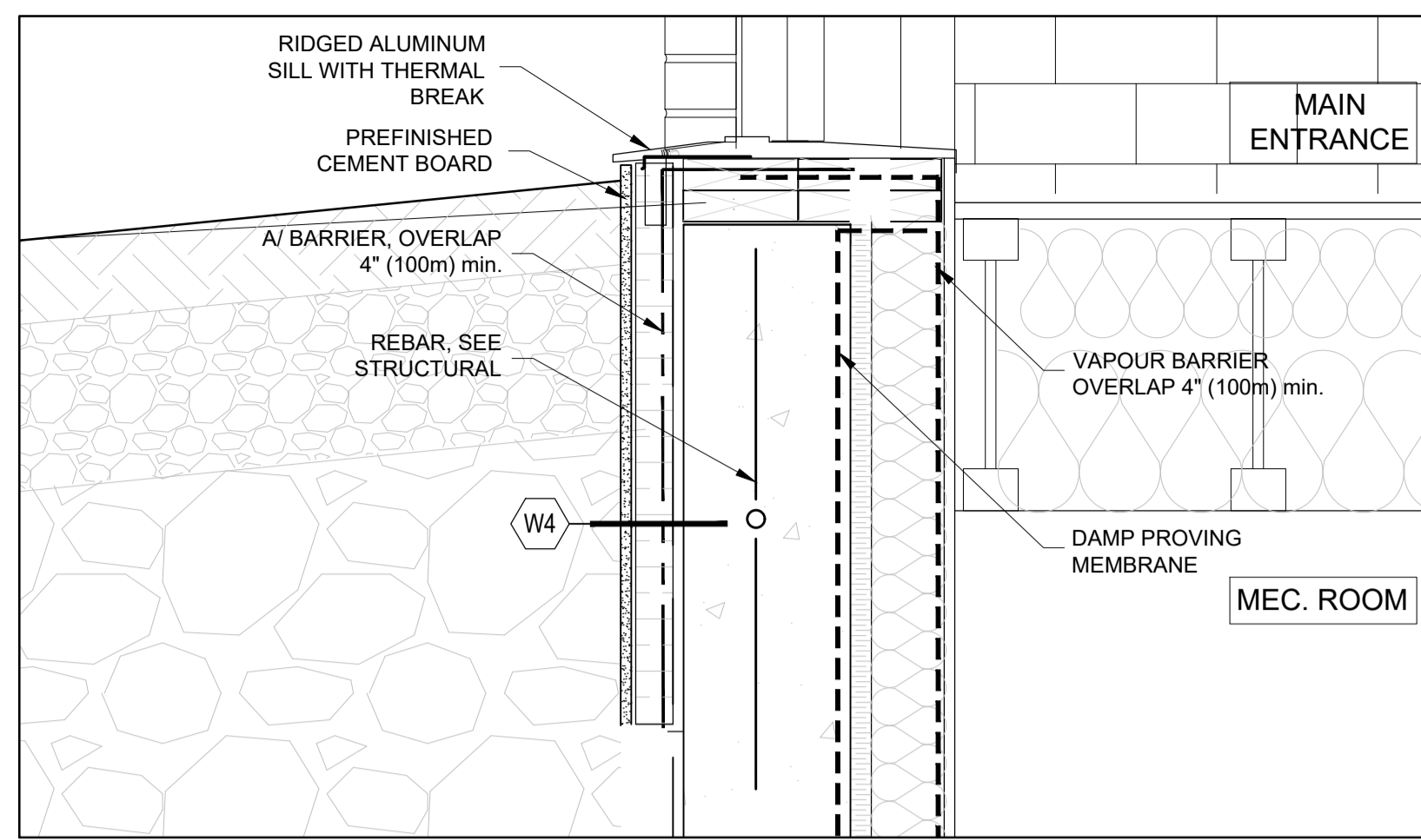
1108 Maisonneuve St, Orleans (Ottawa), ON

DRAWING TITLE  
**WASHROOM ELEVATIONS**

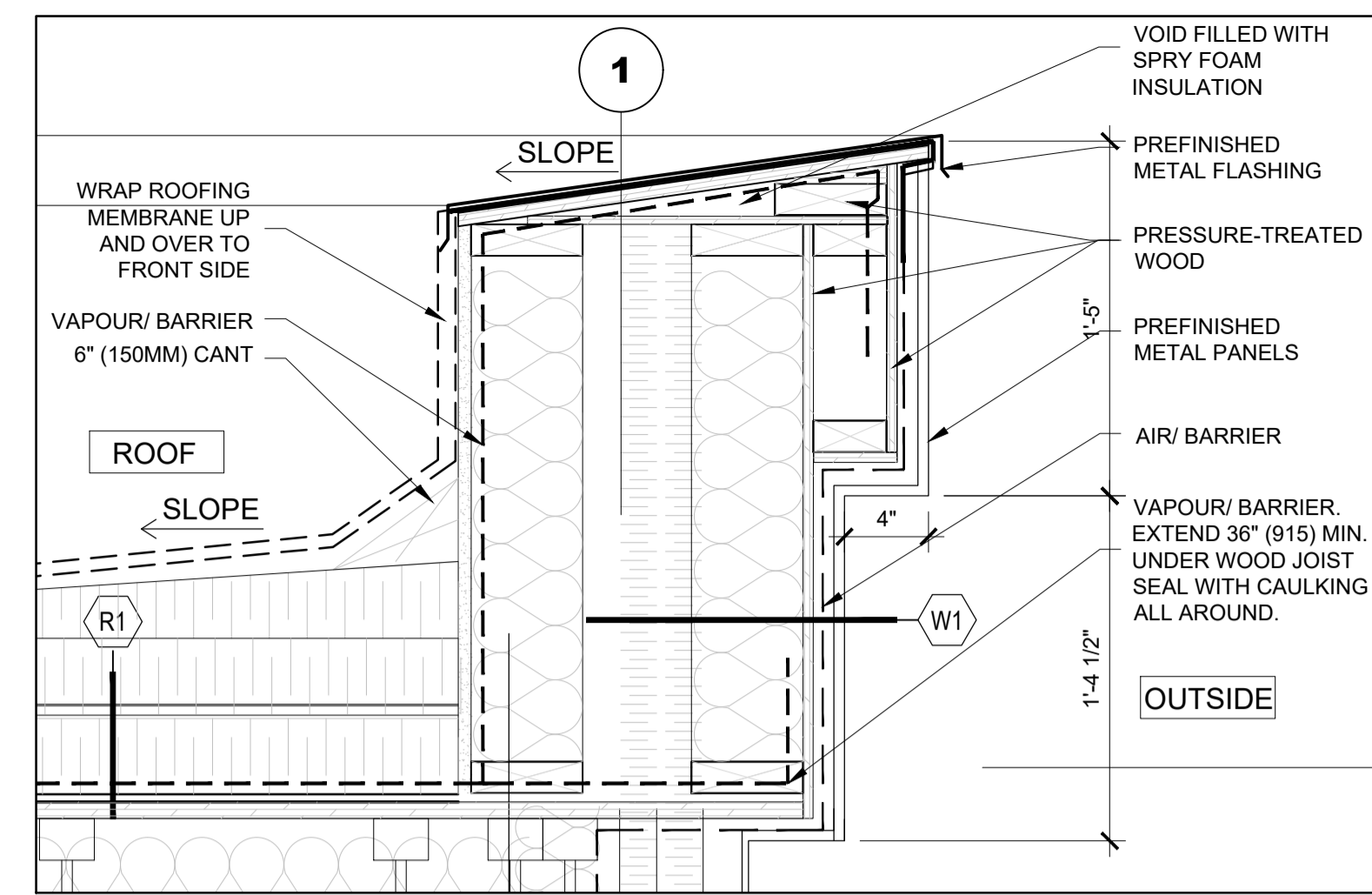
DATE	PROJECT NO.
22.05.2024	<b>24-002C</b>
SCALE AS NOTED	
DRAWN BY MD	DRAWING NO. <b>A-602</b>
REVIEWED BY LCL	



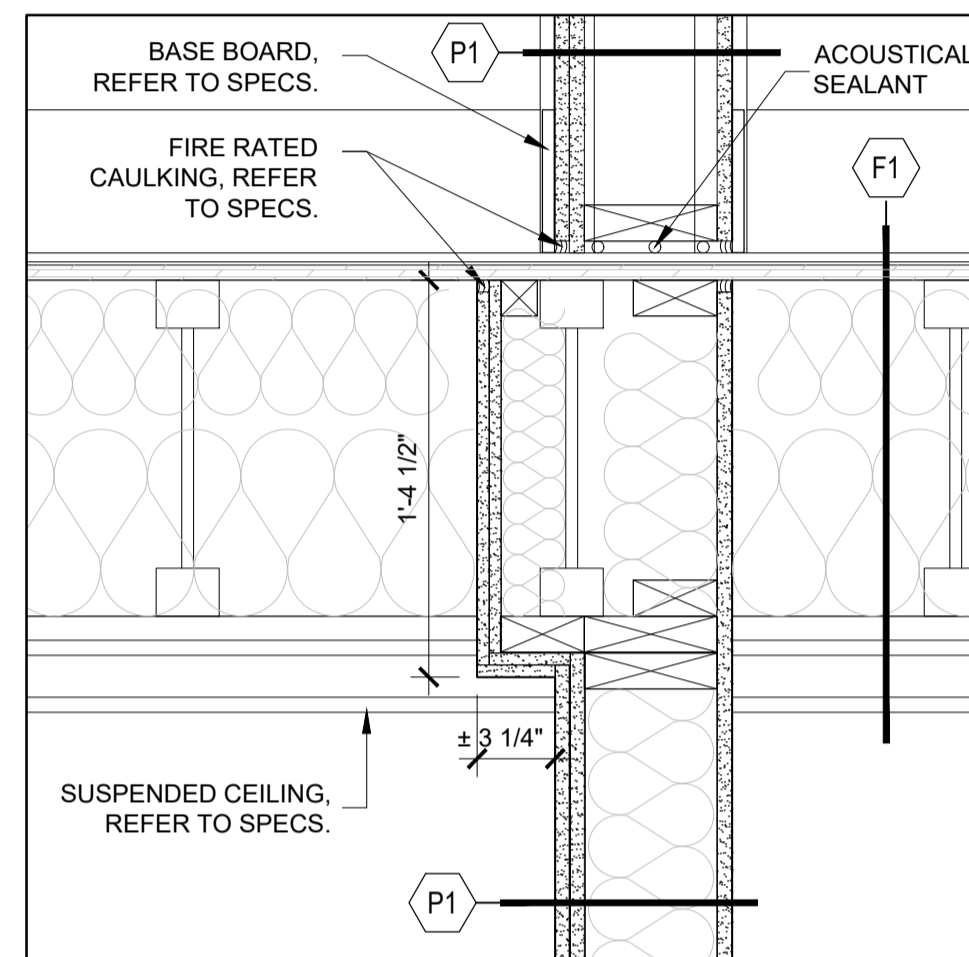
**10** TYPICAL - SCUPPER DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



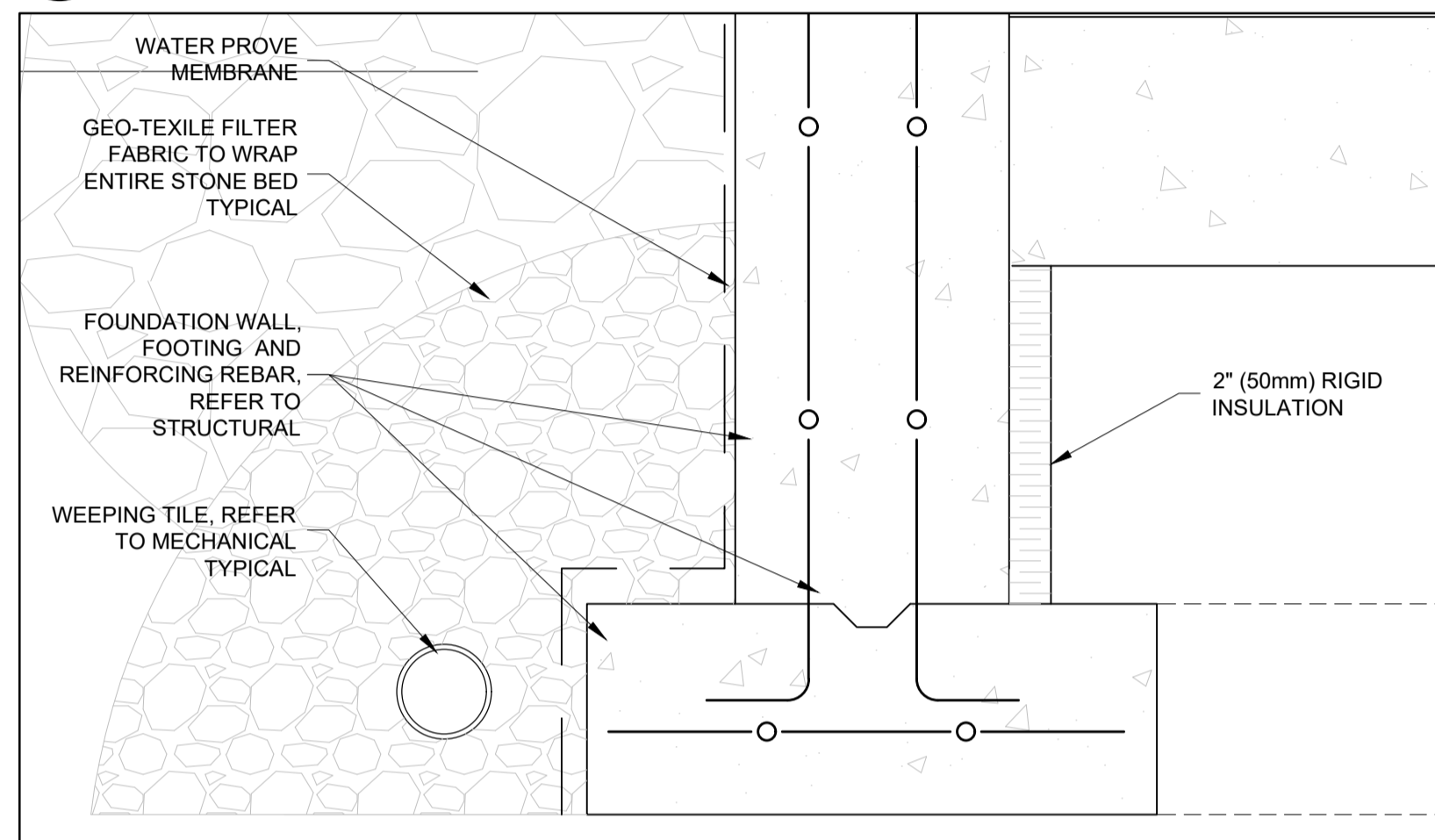
**6** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



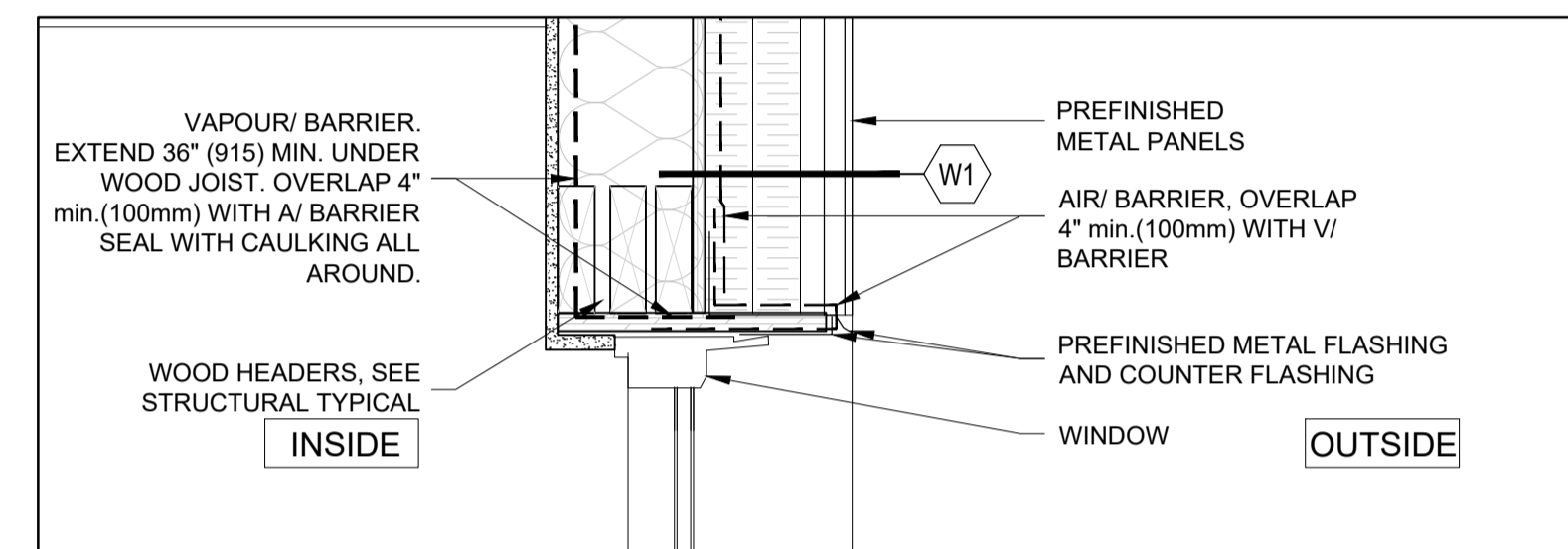
**1** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0" WALL CONSTRUCTION VARIES DEPENDING ON LOCATION



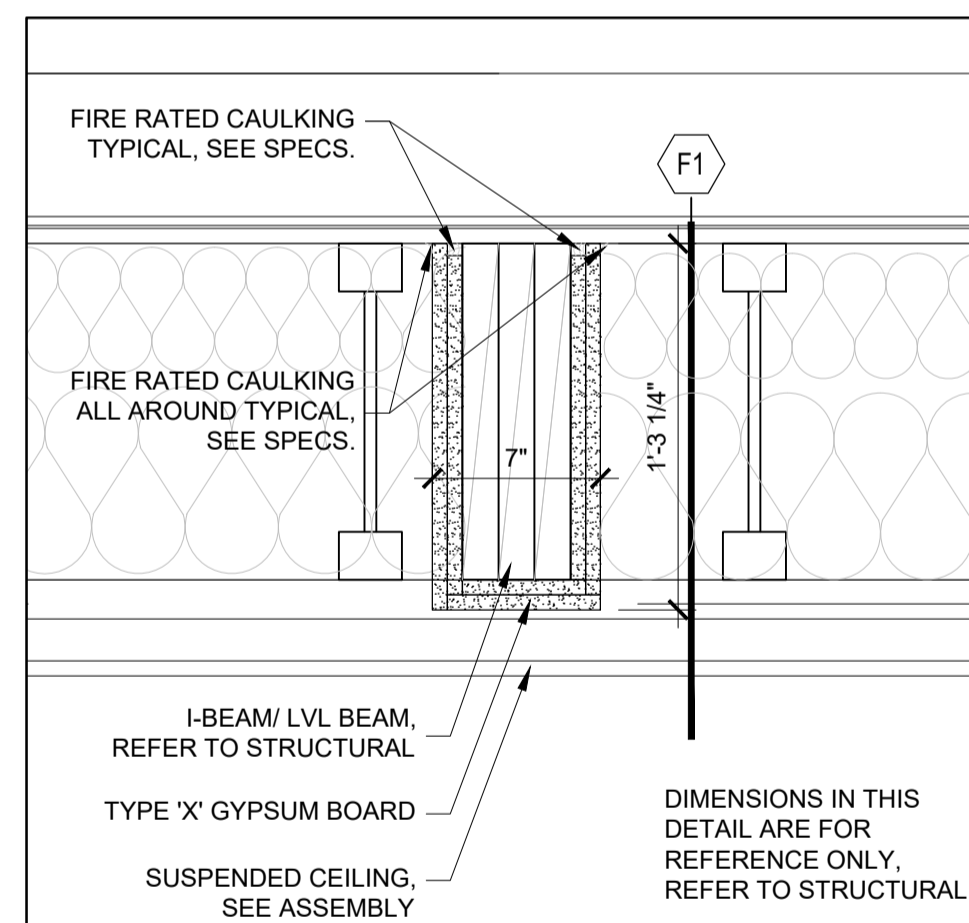
**11** TYPICAL - FIRE RATING WALL DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



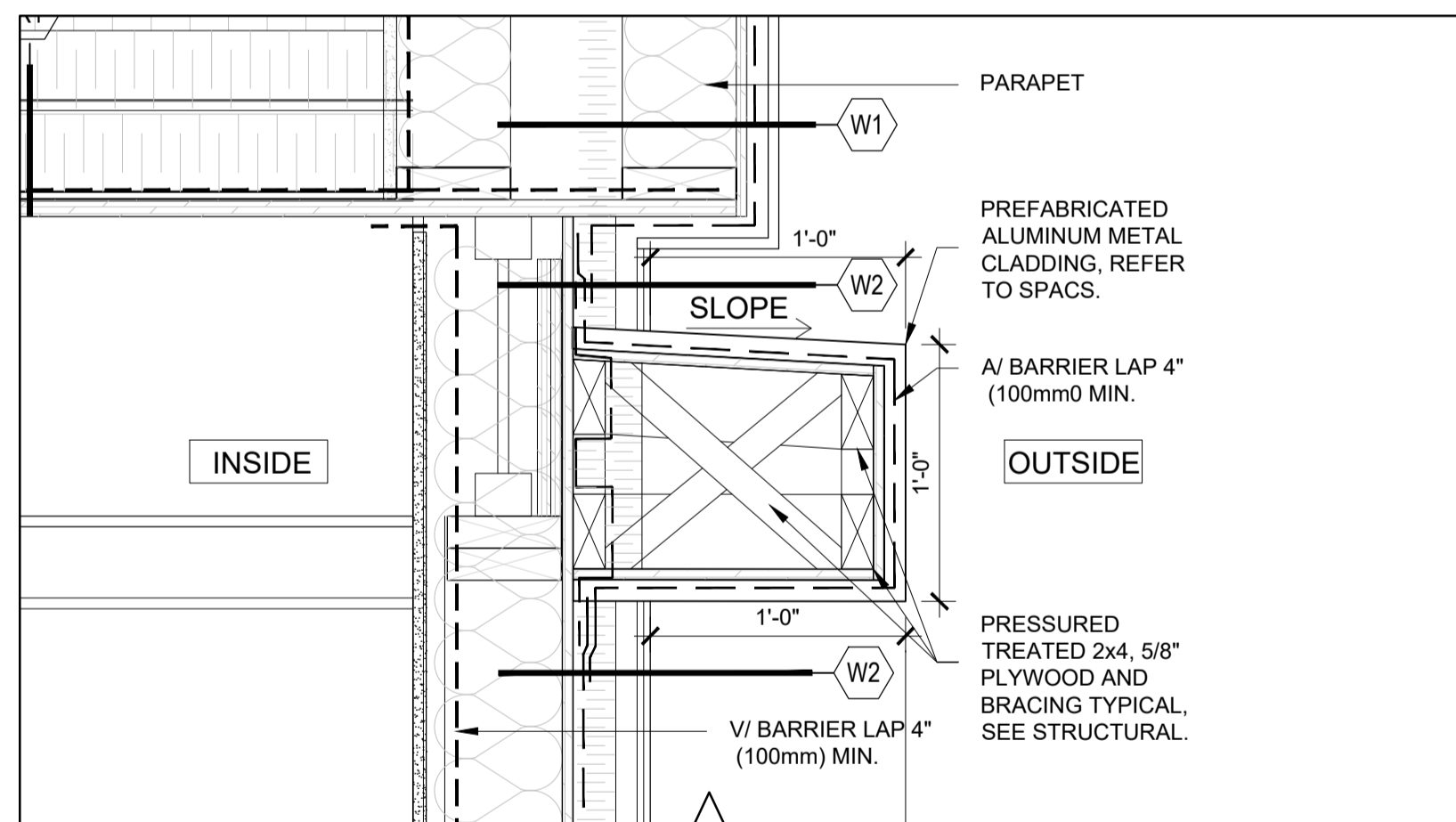
**7** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



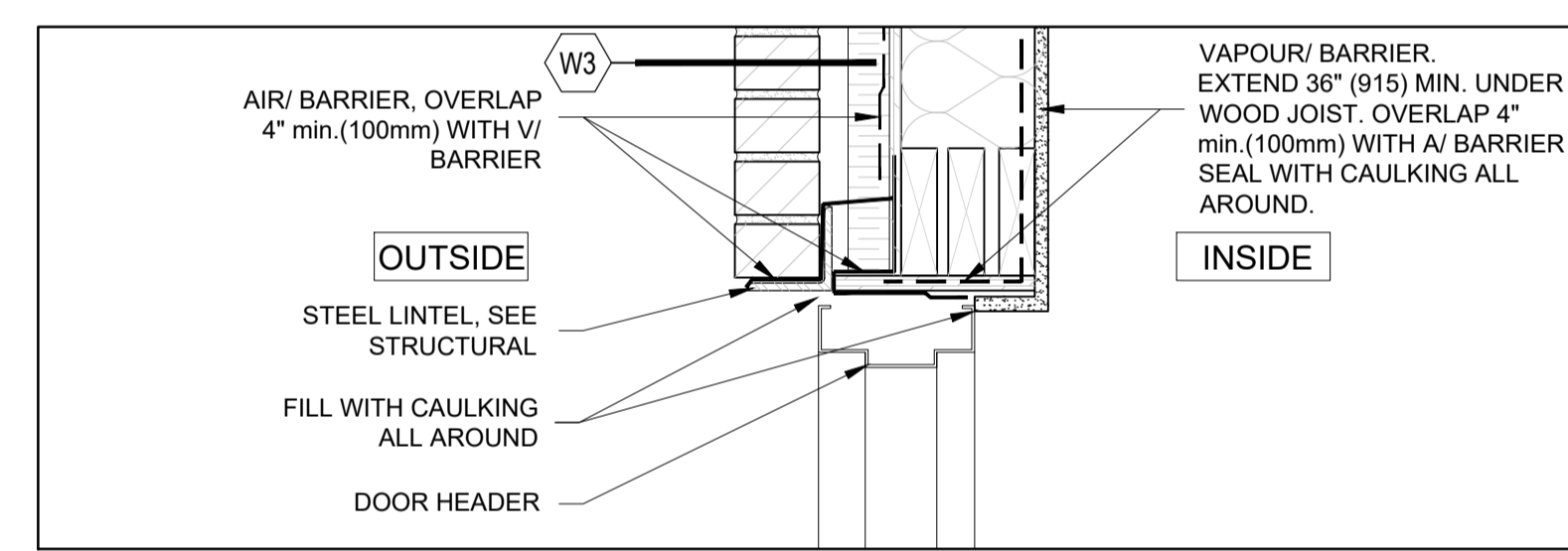
**2** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



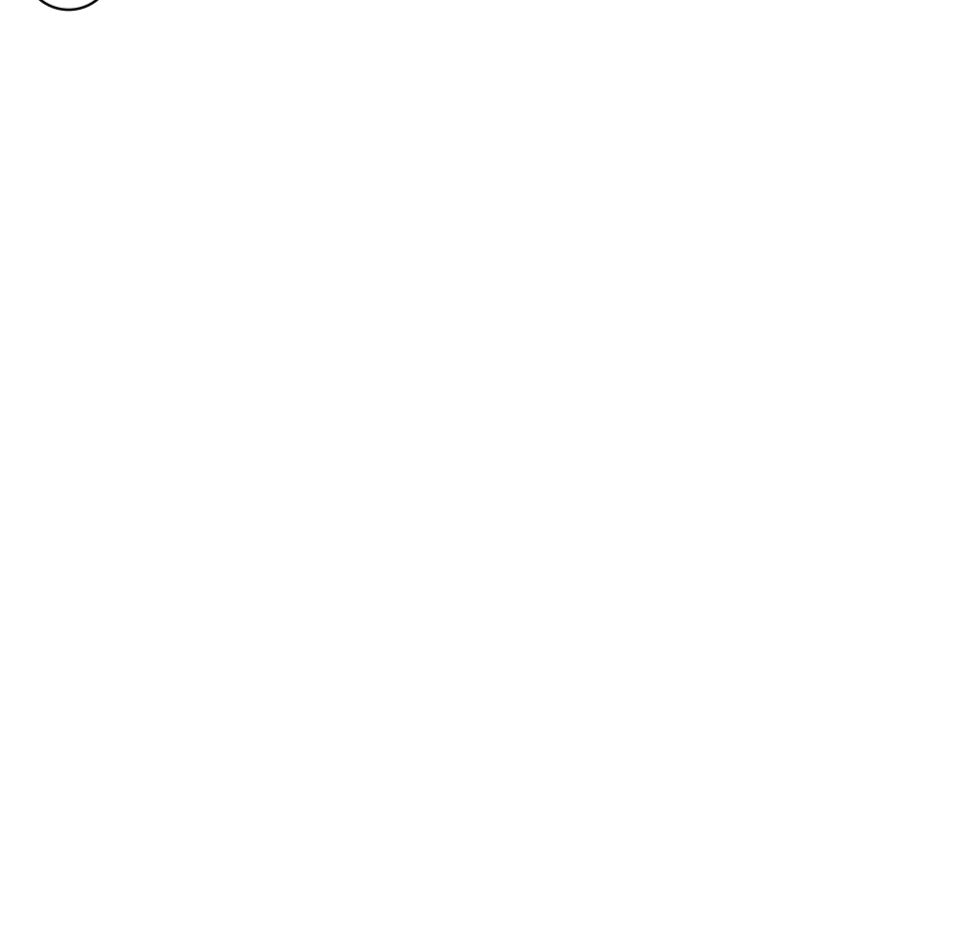
**12** TYPICAL - FIRE RATED BEAM - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



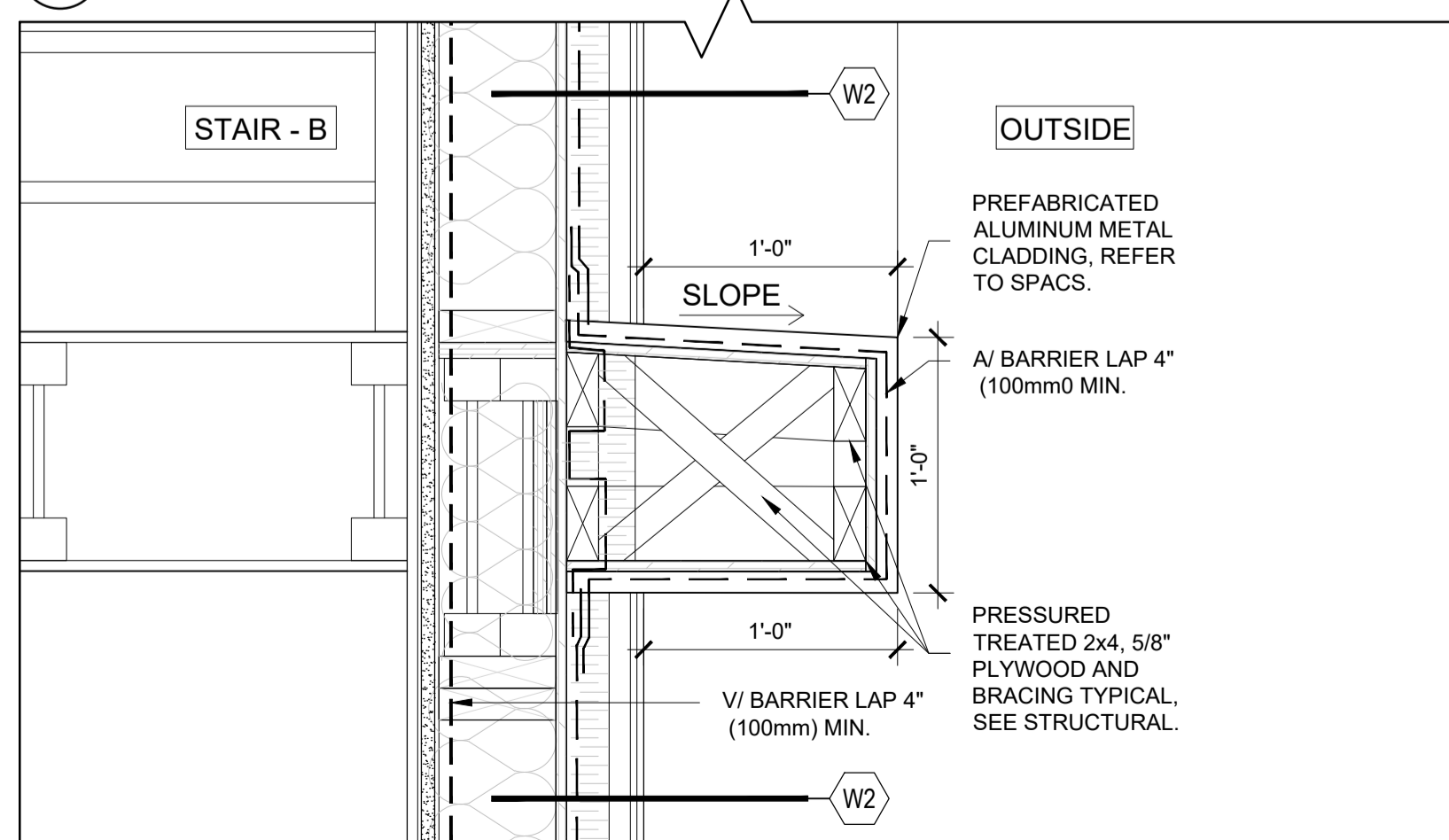
**8** TYPICAL - PROTRUSION DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



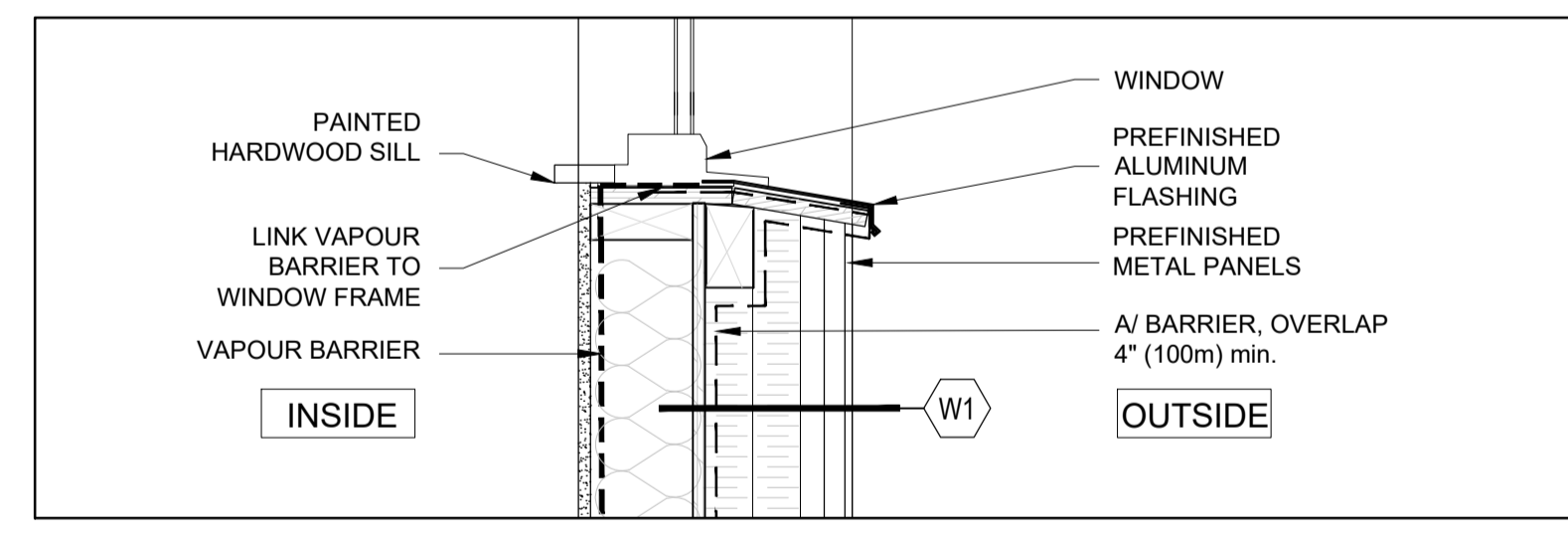
**3** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



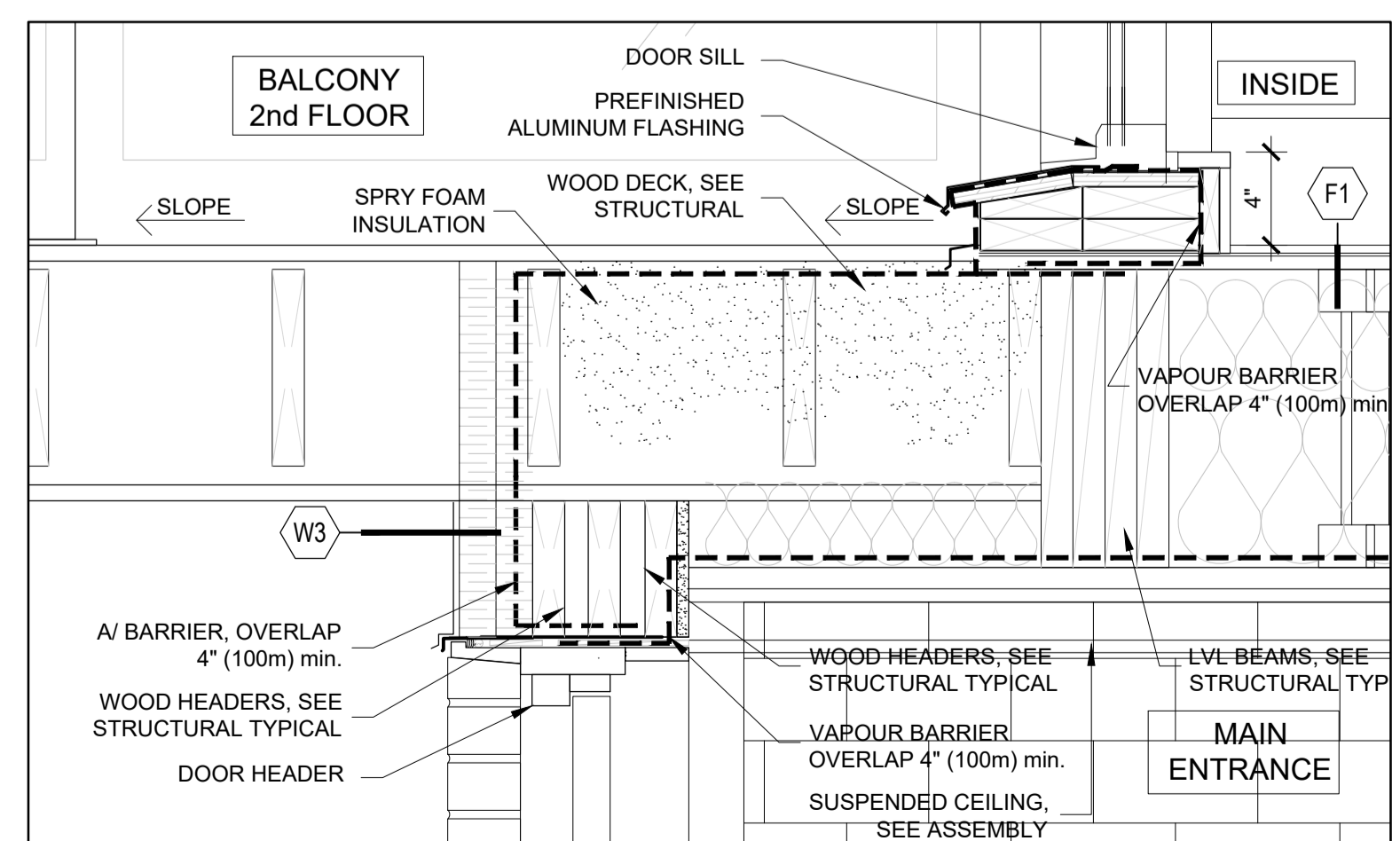
**9** TYPICAL - PROTRUSION DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



**5** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



**4** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"



**5** TYPICAL - DETAIL  
A-610 SCALE = 1 1/2" = 1'-0"

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DATE	DESCRIPTION	ISSUE	REV.
19/09/2024	ISSUED FOR PERMIT		1

PROJECT NAME  
**PULSE SOCIETIES LTD**  
**ORLEANS DEVELOPMENT - PRR**  
1108 Maisonneuve Street, Orleans (Ottawa), ON  
DRAWING TITLE  
**TYPICAL - SECTION DETAILS**  
DATE  
22.05.2024  
SCALE  
AS NOTED  
DRAWN BY  
BR  
REVIEWED BY  
LCL  
PROJECT NO.  
**24-002C**  
DRAWING NO.  
**A-610**