A-002C ABBREVIATED SPECIFICATIONS
A-003C WALL, FLOOR & ROOF ASSEMBLIES

A-004C OBC MATRIX, DOORS, FRAMES, WINDOWS & UNIT SCHEDULES

A-050C SITE PLAN - DEMOLITION

A-100C SITE PLAN - CONSTRUCTION

A-200C BASEMENT FLOOR PLAN

A-201C 1ST FLOOR PLAN

A-202C 2ND FLOOR PLAN
A-203C 3RD FLOOR PLAN

A-204C 4TH FLOOR PLAN

A-205C ROOF PLAN

A-400C NORTH & SOUTH - ELEVATIONS

A-400C BUILDING SECTIONS

A-405C WALL SECTIONS

A-500C STAIRS PLAN & SECTION DETAILS

A-600C WASHROOM ENLARGED PLANS

A-601C WASHROOM ELEVATIONS

A-602C WASHROOM ELEVATIONS

A-610C SECTION DETAILS

ARCHITECTS

ARCHITECTS

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GENERAL

- 1.1. THE PRESENT ABRIDGED SPECIFICATIONS AS WELL AS THE NOTES ON THE PLANS SET OUT THE GUIDELINES FOR THE EXECUTION OF THE WORK AND LIST IN A GENERAL WAY THE REQUIRED MATERIAL. THE WORK MUST BE PERFORMED PROFESSIONALLY TO UPHOLD THE HIGHEST STANDARDS OF THE INDUSTRY.
- 1.2. UNLESS OTHERWISE INSTRUCTED, SUPPLY THE LABOUR, MATERIALS AND TOOLS REQUIRED TO PERFORM DEMOLITION AND CONSTRUCTION WORK. CARRY OUT WORK NOT LISTED BUT IMPLICITLY NECESSARY FOR THE COMPLETE REALIZATION OF THE PROJECT.
- THE TERM CONTRACTOR MEANS GENERAL CONTRACTOR.
- 1.4. UNLESS OTHERWISE DIRECTED, ALL INSTRUCTIONS OF THE PRESENT ABRIDGED SPECIFICATIONS ARE INTENDED FOR THE GENERAL CONTRACTOR. CHECK THE CONDITION OF THE PREMISES, THE NATURE OF THE WORK TO BE PERFORMED, THE REQUIREMENTS REGARDING THE CONTRACT AND ITS EXECUTION. CLOSELY EXAMINE THE PLANS TO LOOK INTO ALL LOCAL CONDITIONS THAT MAY AFFECT THE PERFORMANCE OF THE CONTRACT, AS SET OUT IN THE TENDER DOCUMENTS BEFORE THE BIDDING. NO ADDITIONAL AMOUNT SHALL BE GRANTED FOR EXISTING CONDITIONS WHICH MAY BE ACKNOWLEDGED DURING THE BIDDING PROCESS.
- 1.5. NO ADDITIONAL AMOUNT SHALL BE GRANTED FOR WORK PERFORMED WHICH IS NOT REQUIRED BY THESE DOCUMENTS WITHOUT THE OWNER'S PRIOR AUTHORIZATION.
- 1.6. ASSUME ALL OBLIGATIONS AND RESPONSIBILITIES ASSIGNED TO THE "PRINCIPAL CONTRACTOR" UNDER THE ACT RESPECTING OCCUPATIONAL HEALTH AND SAFETY.
- 1.7. OBTAIN ALL PERMITS, INCLUDING THE BUILDING PERMIT, THE LICENSES, PATENTS AND CERTIFICATES NECESSARY TO PERFORM THE WORK. THE CONTRACTOR MUST COMPLY WITH AND ENFORCE PROVINCIAL, FEDERAL AND MUNICIPAL LAWS, BY-LAWS, REGULATIONS, ORDERS, DECREES, CODES AND COLLECTIVE AGREEMENTS AFFECTING THE CONSTRUCTION AND THE LABOUR FORCE. PERFORM WORK IN COMPLIANCE WITH THE ONTARIO BUILDING CODE.
- 1.8. UNLESS OTHERWISE INSTRUCTED, ALL ELEMENTS ARE GUARANTEED ONE (1) YEAR FROM PROVISIONAL ACCEPTANCE OF WORK.

. REGULATORY REQUIREMENTS:

2.1. DOORS & WINDOWS: TO CONFORM TO OBC 9.6 AND 9.7)

- 2.1.1. ALL WINDOWS NEED CONFORM WITH OBC 3.3.4.8 AND BE EQUIPPED WITH A CONTROL SASH TO RESTRICT OPENING TO A MAXIMUM OF 4".
- 2.1.2. ENSURE THAT PROVISIONS FOR RESISTANCE TO FORCED ENTRY ARE PROVIDED IN CONFORMANCE WITH OBC 9.6.8 AND 9.7.6.
- 2.1.3. WINDOWS AND SLIDING GLASS DOORS MUST CONFORM TO CAN/CSA A440-2 AND OBC 12.3.1.3.
- 2.1.4. THERMAL RESISTANCE OF DOORS TO CONFORM TO OBC 12.3.2.7.

COORDINATION AND USE OF THE SITE

- 3.1. COORDINATE THE START-UP OF THE WORK WITH THE OWNER. INFORM THE OWNER AT LEAST 48 HOURS BEFORE UNDERTAKING THE WORK.
- 3.2. CHECK ALL DIMENSIONS ON THE SITE BEFORE STARTING THE WORK. ASSUME RESPONSIBILITY FOR THE DIMENSIONS MEASURED FROM THE PLANS. IMMEDIATELY INFORM THE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SITE.
- 3.3. BEFORE UNDERTAKING THE WORK, REMOVE ALL SIGNS AND NAME PLATES AND DELIVER THEM TO THE OWNER.
- 3.4. ARCHITECTURAL PLANS PREVAIL OVER MECHANICAL AND ELECTRICAL PLANS REGARDING THE LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT. MECHANICAL AND ELECTRICAL PLANS PREVAIL IN TERMS OF EQUIPMENT QUANTITY AND SPECIFICATIONS.
- 3.5. WHERE SEVERAL CONTROLS MUST BE INSTALLED IN THE SAME ROOM (THERMOSTATS, SWITCHES, ETC), ALIGN AND REGROUP THE LATTER ON THE SAME WALL.
- 3.6. COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS AND ENSURE CONTINUITY WITH THE WORK OF OTHER CONTRACTORS.
- 3.7. LIMIT ACTIVITIES TO WORKING AREAS. STORE TOOLS AT THE END OF EACH WORKING DAY. TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT AREAS, INCLUDING CORRIDORS AND STAIRCASES, FROM ANY DUST AND DEBRIS.
- 3.8. FROM TIME TO TIME DURING THE WORK AND UPON COMPLETION OF WORK. CLEAN WORKING AREAS OF ANY DEBRIS. PROVIDE FOR WASTE CONTAINERS FOR THE DISPOSAL OF THE DEBRIS, SUPPLY THE TOOLS AND PERSONNEL NECESSARY FOR CLEANING THE SITE.

4. PRODUCTS

- 4.1. PROVIDE NEW MATERIAL, IN GOOD CONDITION AND OF MAXIMUM AVAILABLE DIMENSIONS, UNLESS OTHERWISE INSTRUCTED.
- 4.2. KEEP NEW ELEMENTS AS WELL AS EXISTING ELEMENTS TO BE PRESERVED IN GOOD CONDITION UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. INSTALL NAMELY, BUT WITHOUT LIMITATION, A PROTECTION ON FLOOR FINISHES AND ON NEW AND EXISTING MILLWORK ELEMENTS. REPLACE ANY ELEMENT DAMAGED DURING THE WORK WITHOUT COST TO THE OWNER.
- 4.3. BRAND SPECIFICATION IS FOR INFORMATION PURPOSES ONLY. NEVERTHELESS, THE CONTRACTOR IS TO SUBMIT A WRITTEN REQUEST FOR EQUIVALENCY AT LEAST TEN (10) DAYS BEFORE BID CLOSING. REQUESTS FOR EQUIVALENCY SUBMITTED AFTER BID OPENINGS AND ANALYSES WILL BE REJECTED.
- 4.4. PROVIDE SHOP DRAWINGS AND TECHNICAL DATA SHEETS FOR ALL MANUFACTURED OR CUSTOM-MANUFACTURED PRODUCTS, INCLUDING, BUT WITHOUT LIMITATION: FABRICATED METALS, MILLWORK, DOORS, FRAMES, HARDWARE, FLOOR COVERINGS, POWER EQUIPMENT AND ELECTRIC APPARATUS. COORDINATE THE SUBMISSION OF DOCUMENTS OR SAMPLES REQUIRED IN ACCORDANCE WITH WORK AND CONTRACTUAL DOCUMENT REQUIREMENTS. IDENTIFY ADEQUATELY ALL DOCUMENTS SUBMITTED.
- 4.5. THE ARCHITECT WILL REVIEW THE SHOP DRAWINGS ONLY TO ENSURE THEIR COMPLIANCE WITH THE GENERAL CONCEPT. THE REVIEW DOES NOT RESULT IN THE AUTOMATIC APPROVAL BY THE ARCHITECT OF THE DETAILED CONCEPTION RELATED TO THE SHOP DRAWINGS. THE CONTRACTOR WHO SUBMITS THE SHOP DRAWINGS REMAINS THE SOLE PERSON RESPONSIBLE. SUCH REVIEW DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PREVENT ANY ERROR OR OMISSION ON THE SHOP DRAWINGS OR TO COMPLY WITH CONSTRUCTION AND CONTRACTUAL DOCUMENT REQUIREMENTS. WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, THE CONTRACTOR IS RESPONSIBLE FOR THE DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE SITE, THE MANUFACTURING PROCEDURES OR THE CONSTRUCTION AND INSTALLATION TECHNIQUES AS WELL AS THE COORDINATION OF THE WORK WITH ALL SUB-CONTRACTORS.

5. CUTTING, DRILLING AND PATCHING

- 5.1. NO DRILLING IS TO BE PERFORMED WITHOUT THE OWNER'S
- 5.2. CUT RIGID MATERIALS WITH A MASONRY SAW OR A CORE DRILL. IT IS FORBIDDEN TO USE PNEUMATIC OR HAMMER TOOLS ON MASONRY OR CEMENT STRUCTURES WITHOUT PRIOR AUTHORIZATION.
- 5.3. REPAIR ALL WORK WITH NEW PRODUCTS, PURSUANT TO CONTRACTUAL DOCUMENT REQUIREMENTS.
- 5.4. ADJUST THE CONSTRUCTION TIGHTLY AROUND CONDUITS, COUPLERS, AIR AND ELECTRICAL DUCTS AS WELL AS OTHER ELEMENTS TRAVERSING WALL, CEILING OR FIRE RATED FLOORS OPENINGS. SEAL COMPLETELY THE SPACES AROUND OPENINGS WITH FIRE STOPPING OR ACOUSTIC MATERIALS, DEPENDING ON THEIR LOCATION, THROUGH THE TOTAL THICKNESS OF THE PIERCED ELEMENT.
- 5.5. FINISH SURFACES TO ENSURE UNIFORMITY WITH ADJACENT FINISH COATINGS. FINISH CONTINUOUS SURFACES UP TO THE CLOSEST INTERSECTION BETWEEN TWO ELEMENTS AND REFINISH COMPLETELY WHEN THERE IS A GROUPING OF ELEMENTS.
- 5.6. SEAL THE OPENINGS, INCLUDING CONCEALED SPACE OPENINGS, AND PATCH SURFACES AS PER EXISTING AFTER THE ENTIRETY OF THE WORK, INCLUDING, BUT WITHOUT LIMITATION, DEMOLITION, ELECTRICAL AND MECHANICAL WORK.

6. ROOFING - MODIFIED BITUMINOUS

- 6.1. BASE SHEET: ROOFING MEMBRANE COMPOSED OF SBS MODIFIED BITUMEN AND A NON-WOVEN POLYESTER REINFORCEMENT. BOTH SIDES ARE COVERED WITH A THERMOFUSIBLE PLASTIC FILM. THE SURFACE MUST BE MARKED WITH THREE (3) CHALK LINES TO ENSURE PROPER ROLL ALIGNMENT.
- 6.1.1. ACCEPTABLE PRODUCT: HENRY G100 MODIFIEDPLUS G100 SERIES BASE SHEETS, OR APPROVED EQUIVALENT.
- 6.2. FLASHINGS: MEMBRANE COMPOSED OF SBS MODIFIED BITUMEN AND COMPOSITE HEAVY DUTY NON-WOVEN POLYESTER GLASS MAT REINFORCEMENT. BOTH SIDES ARE COVERED WITH A THERMOFUSIBLE PLASTIC FILM. THE SURFACE SHALL BE MARKED WITH THREE (3) CHALK
- LINES TO ENSURE PROPER ROLL ALIGNMENT. 6.2.1. ACCEPTABLE PRODUCT: HENRY, OR APPROVED EQUIVALENT
- 6.3. CAP SHEET: ROOFING MEMBRANE COMPOSED OF SBS MODIFIED BITUMEN WITH A NON-WOVEN POLYESTER REINFORCEMENT AND ELASTOMERIC BITUMEN WITH FLAME-RETARDING AGENT. THE SURFACE IS PROTECTED BY COLOURED GRANULES. THE UNDERFACE IS COVERED WITH A THERMOFUSIBLE PLASTIC FILM.
- ACCEPTABLE PRODUCT: HENRY MODIFIEDPLUS NP250 POLY CAP SHEETS, OR APPROVED EQUIVALENT

7. MASONRY

- 7.1. REFERENCE STANDARDS: EXCEPT IF OTHERWISE INDICATED, EXECUTE MASONRY WORK IN COMPLIANCE WITH CAN3-A370 AND CAN3-A371 STANDARDS. EXCEPT IF OTHERWISE INDICATED, PREPARE MASONRY MORTAR AND GROUT IN COMPLIANCE WITH CSA A179 STANDARD.
- 7.2. CONCRETE INTERIOR STONE WALL MORTAR: CLASS N MORTAR AND GROUT, ACCORDING TO SPECIFICATIONS OF CSA A179 STANDARD; REFERENCE PRODUCT: BLOC MIX BY DAUBOIS INC.

7.3. HOLLOW TYPE CONCRETE BLOCKS:

7.3.1. AUTOCLAVE OR ATMOSPHERIC PRESSURE CURED, IN COMPLIANCE WITH CAN3-A165.1 STANDARD, CLASSIFICATION: H/15A/M, MODULAR DIMENSION OR AS IS. SPECIAL DESIGN BLOCKS, SPECIAL BLOCKS FOR LINTELS AND BEAMS. UNLESS OTHERWISE SPECIFICALLY INSTRUCTED, BUILD PARTITIONS UP TO SUPERIOR SLAB BY LEAVING A SPACE OF 1/2" FOR THE DEFLECTION OF THE SLAB AND SEAL THE JOINT.

7.4. FACE BRICK:

- 7.4.1. BURNED CLAY BRICK: TO CAN / CSA A82.1
- 7.4.2. TYPE: FBS, FBX OR FBA
- 7.4.3. GRADE: SW
- 7.4.4. SIZE: METRIC MODULAR (190MM X 57MM HIGH X 90MM DEEP)
- 7.4.5. COLOUR AND TEXTURE: TO BE SELECTED BY CONSULTANT.

7.5. LINTELS FOR CONCRETE MASONRY:

- 7.5.1. INSTALL LINTEL BLOCKS, WITH CONCRETE AND REINFORCEMENT, ABOVE OPENINGS IN BLOCK WALLS, WHEN THE OPENING WIDTH IS EQUAL TO OR NARROWER THAN 54"; END SUPPORT: 8" MINIMUM.
- 7.5.2. INSTALL LINTELS MADE OF 2 STEEL ANGLES WELDED BACK-TO-BACK. WHEN THE OPENING WIDTH IS LARGER THAN 54".

7.6. REINFORCEMENT AND ANCHORAGE:

- 7.6.1. VERTICAL REINFORCEMENT: EXCEPT IF INDICATED, CALCULATE VERTICAL REINFORCEMENT IN COMPLIANCE WITH OBC REQUIREMENTS AND CSA S302.1-94 STANDARD.
- 7.6.2. CONCRETE BLOCK HORIZONTAL REINFORCEMENT: IN COMPLIANCE WITH CAN3-A371 STANDARD, LACED, PART PREFABRICATED FOR "T" AND "L" INTERSECTIONS, DIAMETER OF THE RODS 1/8"; REFERENCE PRODUCT: D/A310 BY DUR-O-WAL OR APPROVED EQUIVALENT.
- 7.6.3. POSITION REINFORCEMENT HORIZONTALLY AT 16" C/C VERTICALLY, THROUGHOUT BLOCK MASONRY AND AT REQUIRED LOCATIONS:
- 7.6.4. ANCHORS TO STRUCTURAL COLUMNS FOR CONCRETE BLOCK MASONRY: ALLOWING FOR CONTROLLED MOVEMENTS; REFERENCE PRODUCT, D/A 2200 BY DUR-O-WAL OR APPROVED EQUIVALENT. EXCEPT IF INDICATED IN STRUCTURE DRAWINGS, ANCHOR BLOCK WALLS TO COLUMNS WITH ANCHORS SCREWED TO THE LATTER EVERY 16".
- REINFORCEMENT AND ANCHORAGE MATERIALS: HOT-DIP GALVANIZED STEEL (460 G/M2), EXCEPTED FOR REINFORCEMENT BARS.
- 7.7. HUMIDITY BARRIERS: PVC MEMBRANE OF 0,5 MM TO BE INSTALLED BEFORE PERFORMING ANY MASONRY WORK IN CONTACT WITH A SLAB ON GROUND, CROSS JOINTS OF 2"; REFERENCE PRODUCT: SEALTIGHT FLEX-GUARD BY W.R. MEADOWS OF CANADA LTD. OR APPROVED EQUIVALENT.
- 7.8. CONTRACTION JOINTS: INSTALL CONTINUOUS JOINT BASES FOR CONTRACTION JOINTS AT INDICATED LOCATIONS OR AT 7,24" C/C MAXIMUM. RESILIENT BOARD CONSTITUTED OF ELASTOMER AND MANUFACTURED FOR SUCH PURPOSE. IN REQUIRED DIMENSIONS AND FORMS. SUCH AS CERAMAR BY W.R. MEADOWS OF CANADA LTD. OR APPROVED EQUIVALENT.

8. PREFINISHED ALUMINUM CLADDING:

- 8.1. REFERENCE PRODUCT: MAIBEC INC., 4000 JEAN-MARCHAND STREET, UNIT 108, QUEBEC CITY, QUEBEC CANADA G2C 1Y6. WWW.MAIBEC.COM
- 8.2. EXTRUDED ALUMINUM: 6063-T5 ALLOY IN ACCORDANCE WITH ASTM B221.
- 8.3. "F" PROFILE: FLAT 8.3.1. 8-F; EXPOSED FACE: 8 INCHES (7.6 INCHES ACTUAL)
- 8.3.2. MINIMUM METAL THICKNESS: 0.090 INCH
- 8.3.3. PLANK LENGTH: 16 FEET
- 8.4. ALL EXTRUDED ALUMINUM PLANKS' PROFILES ARE COMPLETE WITH A SET OF 1.5" X 0.187" FACTORY PUNCHED OBLONG SCREW HOLES, REPEATED EVERY 8", AND COMPLETE WITH AN EXTRUDED "T" SHAPE REINFORCEMENT ON THE BACK.

8.5. ACCESSORIES:

- 8.5.1. EXTRUDED ALUMINUM ACCESSORIES: ONE PIECE TRIM, 12 FEET
- 8.5.2. STARTER STRIP
- 8.5.3. EXTRUDED ALUMINUM ACCESSORIES: TWO (2) PIECES TRIM, 12 FEET
- 8.5.4. J-TRIM 1 INCH AND J-TRIM 1-3/4 INCH FOR OUTSIDE CORNERS.
- 8.5.5. H-TRIM FOR INSIDE CORNERS
- 8.6. FLASHING: PROVIDE ALUMINUM FLASHING COMPLYING WITH SECTION 07 62 00 "SHEET METAL FLASHING AND TRIM" AT SILL, WINDOW AND DOOR HEADS AND WHERE INDICATED.
- 8.7. FASTENERS: 1-1/2 INCHES LENGTH, #8 STAINLESS STEEL SCREW OR OTHER TYPES WITH CORROSION RESISTANCE SUITABLE FOR THE SUBSTRATE APPLICATION AND TO CONDITIONS AND ENVIRONMENTAL EXPOSITION, SUPPLIED BY OTHER MANUFACTURERS. CLIP FASTENERS ARE NOT ACCEPTABLE.

8.8. DIGITALLY PRINTED FINISH:

- 8.8.1. PRIMER COAT: HIGH QUALITY WHITE UV COATING APPLIED TO ALUMINUM.
- 8.8.2. DIGITAL PRINTED INKJET COATING.
- 8.8.3. UV BARRIER: PROTECTIVE CLEAR COAT FOR UV PROTECTION AGAINST
- 8.8.4. STYLE AND COLOUR TO MATCH MAIBEC ARCHITECTURAL ALUMINUM -STYLE AND COLOUR TO BE SELECTED BY OWNER.

9. HIGH DENSITY CEMENTITIOUS WALL PANELS

9.1. REFERENCE PRODUCT: SWISS PEARL BY CLADDING CORP: WWW.CLADDINGCORP.COM; (888)826-8453.

- 9.2. SWISSPEARL FIBRE CEMENT PANEL 9.2.1. PANEL THICKNESS: 5/16"
- 9.2.2. COLOUR: AS SELECTED BY OWNER
- 9.2.3. PANEL SIZE: AS SHOWN ON ARCHITECTURAL DRAWINGS MAXIMUM PANELS SIZE OF 4' X 10' (1250MM X 3050MM).

9.3. PANELS MADE WITH:

- 9.3.1. PORTLAND CEMENT (GREATER THAN 70% OF COMPOSITION)
- 9.3.2. POLYVINYL ALCOHOL FIBRES (PVA)
- 9.3.3. HIGH PERFORMANCE FINISH ON ALL SIX SIDES (FACE, REAR, AND ALL
- 9.3.4. ASTM C1186 AT TYPE A GRADE IV FIBRE-CEMENT BOARDS, PANELS MUST BE AIR CURED FOR A MINIMUM OF 4 WEEKS
- 9.3.1. THE FOLLOWING CHARACTERISTICS ARE NOT ACCEPTABLE: AUTOCLAVED PRODUCTS
- 9.3.2. PRODUCTS REINFORCED WITH ONLY WOOD/CELLULOSE FIBRES
- 9.3.3. EFFLORESCENCE 9.3.4. COMBUSTIBLE PRODUCTS WITHOUT ASTM E 136 APPROVAL
- 9.3.5. COLOUR CHANGE GREATER THAN E 2.0 PER ASTM G155
- 9.4. PANEL FASTENING: EXPOSED: FASTENERS RIVETS COLOUR MATCH TO PANEL, PROVIDE PANELS AND PANEL FASTENERS FROM A SINGLE SOURCE.

9.5. VENTILATION REQUIREMENTS

- 9.5.1. PANELS SHALL BE REAR VENTILATED WITH A CONTINUOUS VENTILATION CAVITY.
- 9.5.2. CLADDING HEIGHTS LESS THAN 20FT REQUIRE MINIMUM 3/4" CONTINUOUS VENT CAVITY.
- 9.5.3. CLADDING HEIGHTS MORE THAN 20FT, BUT LESS THAN 100FT, REQUIRE MINIMUM 1-1/4" CONTINUOUS VENT CAVITY. 9.5.4. CLADDING HEIGHTS 100FT OR GREAT REQUIRE MINIMUM 1-3/4"
- CONTINUOUS VENT CAVITY. 9.5.5. ALL BASE, TOP, SILL, AND HEAD CONDITIONS MUST HAVE MINIMUM 3/4" CLEARANCE FROM PANEL EDGE AND PANEL FACE TO ENSURE PROPER VENTILATION.
- 9.5.6. VENTILATION CAVITY WITH PERFORATED HORIZONTAL PROFILES
- 9.5.7. MINIMUM VENTILATION GAP TO BE 1.5". HORIZONTAL PROFILES SHOULD ALLOW MINIMUM 75% AIRFLOW. CONTINUOUS, NON-PERFORATED, HORIZONTAL PROFILES AT NOT ALLOWED

10. ROUGH CARPENTRY

- 10.1. PROVIDE AND INSTALL NAILERS INSIDE NEW PARTITIONS TO SUPPORT MILLWORK ACCESSORIES AND UNITS. USE 1/2" PLYWOOD. CANADIAN SOFTWOOD PLYWOOD: IN COMPLIANCE WITH CSA 0151 STANDARD, STANDARD CONSTRUCTION GRADE, FOR INDOOR USE ONLY.
- 10.2. PROVIDE AND INSTALL SUBFRAMES AND TRIMS AROUND DOOR AND WINDOW OPENINGS TO ENSURE FRAME SUPPORT, AS INDICATED.

11. STAIRS:

- 11.1. IN CONFORMANCE WITH OBC SECTION 9.8
- 11.2. STAIR WIDTH AS PER OBC 9.8.2.1
- 11.3. STAIRS, RISERS AND TREADS DIMENSIONS: AS DETAILED
- 11.4. MINIMUM HEADROOM 6'-9" AS PER OBC 9.8.2.2
- 11.5. PROVIDE HANDRAILS AT STAIRS IN ACCORDANCE WITH OBC 9.8.7 AND AS DETAILED.

12. GUARDRAILS:

12.1. MANUFACATURED WOOD OR METAL GUARDS. RAILINGS AND STAIRS SHALL BE IN CONFORMANCE WITH OBC 4.1.19.1 AND 3.4.6.4(9), AND MUST BE CERTIFIED BY THE MAUNFACTURER'S PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

13. MILLWORK

- 13.1. REFERENCE STANDARDS: EXCEPT IF INDICATED, MILLWORK IN COMPLIANCE WITH APPLICABLE STANDARDS OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC).
- 13.2. SHOP DRAWINGS AND SAMPLES: SHOP DRAWINGS TO INDICATE CONSTRUCTION AND ASSEMBLY DETAILS, PROFILES, FASTENERS AND OTHER RELATED DETAILS; ALSO, SHOP DRAWINGS TO INDICATE MATERIALS, FINISHES, HARDWARE, OPENINGS REQUIRED FOR EMBEDMENT OR CONNECTION OF MECHANICAL AND ELECTRICAL EQUIPMENT AND NETWORKS, ANCHORS AND EXPOSED FASTENERS.
- 13.3. SAMPLES: SUBMIT A 8" X 8" PANEL FOR EACH FINISH, SUBMIT DUPLICATE OF EACH HARDWARE ITEM.
- 13.4. HARDWOOD: MOISTURE CONTENT AS SET OUT IN FINISH LEGEND, WITHOUT JOINTED ELEMENTS, NOT EXCEEDING 9% IN COMPLIANCE WITH STANDARDS OF THE NATIONAL HARDWOOD LUMBER ASSOCIATION (NHLA).
- 13.5. CANADIAN SOFTWOOD PLYWOOD: IN COMPLIANCE WITH CAN/CSA-0151 STANDARD, STANDARD CONSTRUCTION GRADE.
- 13.6. MEDIUM DENSITY FIBREBOARDS: IN COMPLIANCE WITH ANSI A208.2 STANDARD, FOR INDOOR USE ONLY, MD CLASSIFICATION.
- 13.7. MELAMINE COMPONENT BOARDS: PRESSURIZED PARTICLE BOARDS FOR INDOOR USE ONLY: IN COMPLIANCE WITH CAN3-0188.1 STANDARD, MELAMINE FINISH ON BOTH FACES, COLOUR AND FINISH AS SELECTED BY ARCHITECT, FINISH PANEL EDGES WITH LAMINATED PLASTIC STRIPS MATCHING THE PANELS.
- 13.8. PARTICLE BOARDS: PRESSURE MADE PANEL FOR INDOOR USE ONLY: IN COMPLIANCE WITH CAN3-0188.1 STANDARD.
- 13.9. LAMINATED PLASTIC: IN COMPLIANCE WITH CAN3-A172 STANDARD, GRADE: GENERAL USE, 1.15 MM THICK.

- 13.10. HARDWARE: 13.10.1. HANDLES (ON EVERY DOOR AND DRAWER): RICHELIEU, 39965, COLOUR
- 13.10.2. HINGES: BLUM, CLIP 170, 170 ☐ OPENING;
- 13.10.3. DRAWER SLIDES: RICHELIEU/ACCURIDE, SERIES 3832;
- 13.10.4. LOCKS: RICHELIEU/DOM, 313-15*-140, 21-05-57 ANGULAR STRIKE PLATES, ALL LOCKS OF ONE ROOM ON SAME KEY, DIFFERENT KEY FOR EACH ROOM, 3 DUPLICATES OF EACH KEY.
- 13.10.5. SILENCER BUMPERS: SELF-ADHESIVE, TRANSPARENT NYLON, RICHELIEU, MP590, 420-11.
- 13.11. NAILS AND CLIPS: IN COMPLIANCE WITH CSA B111 STANDARD.
- 13.12. WOOD SCREW: IN COMPLIANCE WITH CSA B33.4 STANDARD. 13.13. ADHESIVES: AS PER MANUFACTURER'S RECOMMENDATIONS.
- 13.14. CABINETS: AWMAC CUSTOM.
- 13.15. DRAWERS: AWAMC CUSTOM.
- 13.16. SHELVES: AWMAC CUSTOM.

BOLTS FOR COUNTERTOP JOINTS.

SPLASHBOARD AND ADJACENT WALL FINISH.

- 13.17. COUNTERTOPS: EXCEPT IF INDICATED: SOFTWOOD PLYWOOD OF 19 MM, PLASTIC LAMINATE, 1.15 MM, WITH SOLID WOOD EDGES, AS INDICATED.
- 13.18. FINISH ALL EXPOSED WOOD SURFACES WITH A PLASTIC LAMINATE FINISH.
- 13.19. APPLY PLASTIC LAMINATE BALANCING SHEET ON ALL UNEXPOSED SURFACES OF PANELS WHICH OPPOSITE SIDE IS FINISHED WITH PLASTIC LAMINATE.
- 13.20. 13.21. POSITION ITEMS OF PREFINISHED CARPENTRY WORK ACCURATELY, LEVEL, PLUMB AND FASTEN OR

13.23. ANCHOR SECURELY AS INDICATED IN DRAWINGS. SUPPLY AND INSTALL HEAVY-DUTY FASTENERS TO HOLD WALL-MOUNTED CABINETS. USE DRAW

13.25. APPLY A THREAD OF SEALANT IN JOINTS SEPARATING LAMINATED

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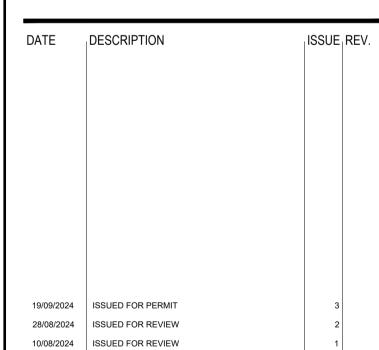
CLIENT



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

DRAWING TITLE

LCL

PULSE SOCIETIES LTD. ORLEANS DEVELOPMENT - PRR

ABBREVIATED SPECIFICATIONS

1108 Maisonneuve Street, Ottawa, ON K1C 1L1

PROJECT NO. 09.08.2024 24-002C SCALE AS NOTED

DRAWN BY DRAWING NO. **REVIEWED BY**

1. FIRE RETARDANT SEALANTS

- 1.1. USE FIRE STOPPING AND SMOKE BLOCKING SYSTEMS AT THE FOLLOWING LOCATIONS AND AT ANY OTHER LISTED OR REQUIRED LOCATION:
- 1.2. PENETRATIONS THROUGH FIRE-RESISTANCE RATED MASONRY,
- CONCRETE AND GYPSUM BOARD PARTITIONS AND WALLS; 1.3. TOP OF FIRE-RESISTANCE RATED MASONRY AND GYPSUM BOARD
- PARTITIONS; 1.4. INTERSECTION OF FIRE-RESISTANCE RATED MASONRY AND GYPSUM
- **BOARD PARTITIONS**; 1.5. CONTROL AND SWAY JOINTS IN FIRE-RESISTANCE RATED MASONRY
- AND GYPSUM BOARD PARTITIONS AND WALLS; 1.6. PENETRATIONS THROUGH FIRE-RESISTANCE RATED FLOOR AND 6. ADHESIVES
- CEILING SLABS;
- 1.7. OPENINGS AND SLEEVES INSTALLED FOR FUTURE USE THROUGH FIRE SEPARATIONS;
- 1.8. AROUND MECHANICAL AND ELECTRICAL ASSEMBLIES PENETRATING FIRE SEPARATIONS
- 1.9. INSTALL FIRE RETARDANT AND SMOKE BLOCKING MATERIAL AND COMPONENTS IN COMPLIANCE WITH ULC CERTIFICATION AND MANUFACTURER'S INSTRUCTIONS.
- 1.10. FIRE RETARDANT AND SMOKE BLOCKING SYSTEMS: IN COMPLIANCE WITH CAN4-S115 STANDARD AND THE FOLLOWING PRESCRIPTIONS: 7. PAINT
- 1.11. ASBESTOS-FREE MATERIALS AND SYSTEMS CAPABLE OF MAINTAINING AN EFFECTIVE BARRIER AGAINST FLAME, SMOKE, AND GASES IN COMPLIANCE WITH REQUIREMENTS OF CAN4-S115 STANDARD AND NOT TO EXCEED OPENING SIZES FOR WHICH THEY ARE INTENDED;
- 1.12. FIRE RESISTANCE RATING OF INSTALLED FIRE-RETARDANT 8. ACCESSORIES ASSEMBLY: NOT INFERIOR TO THAT OF PENETRATED ELEMENT.
- 1.13. ELEMENT OF COMPOSITE MATERIALS BY TECHNICAL CONDUITS TO BE TRAVERSED: ULC CERTIFIED IN COMPLIANCE WITH CAN4-S115 STANDARD AND LISTED IN ULC GUIDE NO. 40 U19.15 AND 40 U19 UNDER THE LABEL SERVICE OF ULC.
- 1.14. FIRE RETARDANT AND SMOKE SEALS AT OPENINGS INTENDED FOR EASE OF RE-ENTRY: ELASTOMERIC SEAL. NEITHER USE CEMENTING MATERIAL JOINTS NOR RIGID JOINTS AT SUCH LOCATIONS.
- 1.15. FIRE RETARDANT AND SMOKE SEALS AT OPENINGS AROUND PENETRATIONS FOR PIPES, DUCTWORK AND OTHER MECHANICAL ITEMS REQUIRING SOUND AND VIBRATION CONTROL: ELASTOMERIC SEAL. NEITHER USE CEMENTING MATERIAL JOINTS NOR RIGID JOINTS AT SUCH LOCATIONS.
- 1.16. FIRE RETARDANT AND SMOKE SEALS FOR JOINTS BETWEEN TOP OF GYPSUM OR CONCRETE PARTITIONS AND DECKING OR SUPERIOR SLAB: ULC CERTIFIED SYSTEMS PURSUANT TO HW21, HW22, HW23 OR 9. HARDWARE HW24 TRIALS AND MADE OF THE FOLLOWING ELEMENTS:
- 1.17. MINERAL WOOL, 128 KG/M3 DENSITY; 1.18. LIQUID VAPORIZING FIRE RESISTANT LEVELLING COAT,
- WATER-BASED, SUCH AS FIREDAM SPRAY BY 3M OR APPROVED EQUIVALENT. 1.19. PRIMERS: SPECIFIC TO MANUFACTURER'S RECOMMENDATIONS.

2. SEALANTS

- 2.1. SEALANTS FOR WALLS, OTHER THAN GYPSUM BOARD WALLS, WITHOUT FIRE OR SMOKE RESISTANCE OR ACOUSTIC PROPERTIES: SINGLE-COMPONENT, ELASTOMERIC, CHEMICAL POLYMERIZATION, IN COMPLIANCE WITH CAN/CGSB-19.13 STANDARD. REFERENCE PRODUCT: DYMONIC BY TREMCO OR APPROVED EQUIVALENT.
- 2.2. SEALANTS FOR GYPSUM BOARD SURFACES, WITHOUT FIRE OR SMOKE RESISTANCE OR ACOUSTIC PROPERTIES: SINGLE-COMPONENT, LATEX EMULSION-BASED WITH ACRYLIC RESINS. IN COMPLIANCE WITH CAN/CGSB-19.17 STANDARD. REFERENCE PRODUCT: LATEX 10 YEARS BY MULCO INC. OR APPROVED EQUIVALENT.
- 2.3. SEALANTS FOR BUILT-IN FURNITURE AND WALL JUNCTIONS: SINGLE-COMPONENT. SILICON-BASED, IN COMPLIANCE WITH CAN/CGSB-19.22 STANDARD. REFERENCE PRODUCT: SILICONE 25 YEARS BY MULCO INC. OR APPROVED EQUIVALENT.

3. STEEL DOOR AND FRAMES

- 3.1. MANUFACTURED BASED ON DETAILS PROVIDED AND IN COMPLIANCE WITH THE CANADIAN MANUFACTURING SPECIFICATIONS FOR METAL DOORS AND FRAMES, DOCUMENT PUBLISHED BY THE CANADIAN STEEL DOOR AND FRAME MANUFACTURERS ASSOCIATION (CSDFMA).
- 3.2. CUT, REINFORCE, PUNCH OUT AND TAP FRAMES WHERE REQUIRED 10. GLASS TO ACCOMMODATE FOR MORTISE-MOUNTED HARDWARE ITEMS, REINFORCE FRAMES TO ACCOMMODATE FOR SURFACE-MOUNTED HARDWARE ITEMS. MINIMUM STAY PLATE THICKNESS: 1/8".
- 3.3. FRAMES WITH JOINTS WELDED AT THE PLANT AND DELIVERED IN ONE PIECE. CONTINUOUS WELDING, NO WELDING ON SITE.
- 3.4. FRAMES, GALVANIZED STEEL SHEET, IN COMPLIANCE WITH ASTM A527
- STANDARD, ZINC COATING Z001, 16 CALIBRE. 3.5. EXTERIOR STEEL FRAMES TO BE THERMALLY BROKEN AND EQUIPPED

WITH WEATHERSTRIPPING. 4. DOOR CORE MATERIALS:

4.1. HONEYCOMB CONSTRUCTION:

- 4.2. STRUCTURAL SMALL CELL, 24.5 MM MAXIMUM KRAFT PAPER 'HONEYCOMB', WEIGHT: 36.3 KG PER REAM MINIMUM, DENSITY: 16.5
- KG/M3 MINIMUM SANDED TO REQUIRED THICKNESS. 4.3. STIFFENED: FACE SHEETS LAMINATED WELDED, HONEYCOMB UNINSULATED INSULATED CORE.
- 4.4. FIBREGLASS: TO CAN/ULC S702, SEMI RIGID TYPE, DENSITY 24 KG/M3.
- 4.5. EXPANDED POLYSTYRENE: CAN/ULC S701, DENSITY 16 TO 32 KG/M3; SELF-EXTINGUISHING, NON-TOXIC.
- 4.6. POLYURETHANE: TO CAN/ULC S704 RIGID, MODIFIED POLY-ISOCYANURATE, CLOSED CELL BOARD; DENSITY 32 KG/M3.
- 4.7. TEMPERATURE RISE RATED (TRR): CORE COMPOSITION TO LIMIT TEMPERATURE RISE ON UNEXPOSED SIDE OF DOOR TO 250OC AT 30 60 MINUTES. CORE TO BE TESTED AS PART OF A COMPLETE DOOR ASSEMBLY, IN ACCORDANCE WITH CAN4 S104, ASTM E152 OR NFPA 252, COVERING STANDARD METHOD OF TESTS OF DOOR ASSEMBLIES AND LISTED BY NATIONALLY RECOGNIZED TESTING AGENCY HAVING FACTORY INSPECTION SERVICE.

INTERIOR WOOD DOORS

- 5.1. 5-PLY STAVE LUMBER CORE WDMA EXTRA HEAVY DUTY SLC-5:
- 5.2. FACE PANELS: WDMA "PAINT" GRADE, FOR PAINT FINISH.
- 5.3. CORE: STAVE LUMBER WITH STAGGERED JOINTS. 5.4. CROSSBAND: COMPOSITE COMPLIANT WITH WDMA STANDARDS FOR
- IMPROVED PERFORMANCE.

11. GYPSUM PARTITIONS

11.1. REFERENCE STANDARDS: GYPSUM PARTITIONS IN COMPLIANCE WITH

CAN/CSA-A82.27 STANDARD, CGC MANUAL AND PLAN DETAILS.

11.2. SUBMIT FOR APPROVAL THE TRACED LAYOUT OF ALL PARTITIONS ON

11.3. STANDARD BOARDS: IN COMPLIANCE WITH CAN/CSA-A82.27

11.4. WATERPROOF BOARDS: TYPE X, IN COMPLIANCE WITH

11.5. LIGHTWEIGHT CONCRETE BOARDS: SMOOTH, THICKNESS INDICATED,

STANDARD, TYPE X, THICKNESS INDICATED, 48" WIDE AND MAXIMUM

PRACTICAL LENGTH. USE WATERPROOF GYPSUM BOARD ON ALL

CAN/CSA-A82.27 STANDARD, THICKNESS INDICATED, 48" WIDE AND

MAXIMUM PRACTICAL LENGTH. USE WATERPROOF GYPSUM BOARD

36" WIDE PER MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT,

EDGES BEVELLED, ASBESTOS-FREE AND GYPSUM-FREE, MADE OF

POLYMETISED-EMULSION-MODIFIED CEMENT AND POLYSTYRENE

PELLETS, REINFORCED ON BOTH FACES WITH A GLASS FIBRE MAT

COATED WITH VINYL, AND WITH THE FOLLOWING PHYSICAL

PROPERTIES. LIGHTWEIGHT CONCRETE PANEL ON ALL WALLS TO

CAN/CSA-A82.31M STANDARD AND AS PER MANUFACTURER'S

11.6. JOINTING PRODUCTS FOR GYPSUM BOARDS: IN COMPLIANCE WITH

SITE BEFORE ERECTING PARTITIONS.

BATHROOM AND JANITOR CLOSET WALLS.

HAVE CERAMIC TILING.

RECOMMENDATIONS.

12.3. LIGHT FRAMING: STANDARD

IS NOT REQUIRED.

PARTITIONS.

FLOORING

FLOOR COVERING.

15. SUB-FLOOR PREPARATION:

2.5%.

OR UNPROTECTED.

CANADA (TTMAC).

14.4. LUXURY VINYL TILES: AS SELECTED BY OWNER.

LOCATED UNDER AND ABOVE GROUND LEVEL.

RECOMMENDATIONS FOR RESILIENT FLOORING;

AS RECOMMENDED BY MANUFACTURER.

FORMAT. PATTERN AND TILING PROFILE.

MANUFACTURING RUN AS THOSE INSTALLED.

14.5. VINYL BASEBOARD: AS SELECTED BY OWNER.

12.4. STUDS: ECONOMY

1/32"

ON ALL BATHROOM AND JANITOR CLOSET WALLS.

12.1. STRUCTURAL LIGHT FRAMING: SELECT STRUCTURAL NO. 2

12.5. ENGINEERED JOIST: AS PER STRUCTURAL DESIGN.

12.6. STIFFENERS AND BRIDGINGS: AS PER STRUCTURAL

BY ROXUL OR APPROVED EQUIVALENT.

12.2. STRUCTURAL JOISTS AND PLANKS: SELECT STRUCTURAL NO. 2

12.7. FURRING CHANNELS: THICKNESS, EXCEPT OTHERWISE INDICATED,

12.8. ACOUSTIC INSULATION: ACOUSTICAL MINERAL WOOL MANUFACTURED

12.9. ACOUSTIC SEALANTS: REFERENCE PRODUCTS: ACOUSTIQUE BY

12.10. PROVIDE TWO STUDS EXTENDING FROM FLOOR TO CEILING AT EACH

12.11. INSTALL YIELDING TRACK UNDER POSTS AND SLABS SO THAT ROOF

13.1. SMOOTH UNEVENNESS OF SUB-FLOOR; FILL DENTS, CRACKS, JOINTS,

14.1. SAMPLES: SAMPLE OF 8" X 8" FOR EACH TYPE OF RESILIENT

14.2. WARRANTY: PROVIDE A CERTIFICATE, SIGNED AND ISSUED IN THE

14.6. PRIMERS AND ADHESIVES: WATERPROOF, AS RECOMMENDED BY

15.1. CLEAN FLOOR TO BE COVERED WITH WATER AND RINSE CONSIDERABLY; DRYING PERIOD OF AT LEAST EIGHT (8) HOURS;

15.2. PRIME FLOOR IN ACCORDANCE WITH MANUFACTURER'S

15.3. CHECK WITH HYGROMETER, MOISTURE CONTENT NOT TO EXCEED

15.4. LAY METAL STRIPS WHERE FLOOR COVERING EDGES ARE EXPOSED

15.5. AT THE END OF WORK, PERFORM INITIAL MAINTENANCE TREATMENT

16.1. REFERENCE STANDARDS: EXCEPT IF INDICATED, TILING IN

16.2. SAMPLES: SUBMIT SAMPLES FOR EACH TYPE, COLOUR, TEXTURE,

16.3. MAINTENANCE SURPLUS: SUPPLY AN ADDITIONAL QUANTITY

COMPLIANCE WITH "INSTALLATION MANUAL, CERAMIC TILE",

PUBLISHED BY THE TERRAZZO, TILE AND MARBLE ASSOCIATION OF

EQUIVALENT TO AT LEAST 5% OF THE INSTALLED QUANTITY FOR

SPECIFIED LOCATION. SPARE TILES SHOULD BE OF SAME

FLOORING MANUFACTURER, MATERIAL COMPATIBLE WITH SUPPORT

FASTENING PLACED ALONGSIDE FRAME ANCHOR CLIPS.

EXPRESSLY FOR THIS PURPOSE, IN COMPLIANCE WITH CAN/ULC S702

STANDARD, THICKNESS INDICATED, FRICTION-FIT TYPE TO FIT STUD

SPACINGS, 44 KG/M3 NORMAL DENSITY, REFERENCE PRODUCT: MARF

TREMCO OR ACOUSTISEAL BY MULCO. APPLY ACOUSTIC SEALANT

AROUND PERIMETER OF ALL SPACINGS AND ON INTERFACE

BETWEEN WALL AND FLOOR OR CEILING WHEN FIREPROOF SEALANT

SIDE OF OPENINGS WIDER THAN STUD CENTRES SPECIFIED. SECURE

STUDS TOGETHER, 2" APART USING APPROVED MEANS OF

STRUCTURE IS NOT SUPPORTED BY POSTS AND ALL FIRE-RESISTANT

HOLES AND OTHER DEFECTS WITH FILL MATERIAL USING A TROWEL

OR FLOAT FOR A SINGLE LEVEL, HARD AND EVEN SURFACE;

RESTRICT ACCESS UNTIL FILL MATERIAL HAS HARDENED AND DRIED.

NAME OF THE OWNER, GUARANTEEING THAT RESILIENT FLOORING IS

TO REMAIN FREE OF ANY DEFECT, EXCEPT DUE TO NORMAL USAGE

OR A DEFICIENCY IN CONCRETE SUPPORT, FOR A PERIOD OF TWO (2)

- 5.5. VERTICAL EDGES: MATCHING. TWO-PIECE LAMINATED. 5.6. HORIZONTAL EDGES: WOOD -- CONFORMING TO WDMA STANDARDS.
- 5.7. 5 PLY CONSTRUCTION. 5.8. ADHESIVE: TYPE I STANDARD
- 5.9. FINISHES: WDMA-TR-6, TRANSPARENT

- 6.1. HONEYCOMB CORES AND STEEL COMPONENTS: HEAT RESISTANT, SPRAY GRADE, RESIN REINFORCED NEOPRENE/RUBBER
- (POLYCHLOROPRENE) BASED, LOW VISCOSITY, CONTACT CEMENT. 6.2. POLYSTYRENE AND POLYURETHANE CORES: HEAT RESISTANT,
- EPOXY RESIN BASED, LOW VISCOSITY, CONTACT CEMENT. 6.3. LOCK SEAM DOORS: FIRE RESISTANT, RESIN REINFORCED
- POLYCHLOROPRENE, HIGH VISCOSITY, SEALANT/ADHESIVE. 6.4. PRIMER: TOUCH UP PRIME CAN/CGSB 1.181.

7.1. FIELD PAINT STEEL DOORS AND FRAMES IN ACCORDANCE WITH SECTIONS 09 91 23 INTERIOR PAINTING, 09 91 13 EXTERIOR PAINTING. PROTECT WEATHERSTRIPS FROM PAINT. PROVIDE FINAL 12. WOOD FRAMING: FINISH SHALL BE FREE OF SCRATCHES OR OTHER BLEMISHES.

- 8.1. DOOR SILENCERS: SINGLE STUD RUBBER/NEOPRENE TYPE. 8.2. EXTERIOR AND INTERIOR TOP AND BOTTOM CAPS: STEEL.
- 8.3. FABRICATE GLAZING STOPS AS FORMED CHANNEL, MINIMUM 16 MM HEIGHT, ACCURATELY FITTED, BUTTED AT CORNERS AND FASTENED TO FRAME SECTIONS WITH COUNTER SUNK OVAL HEAD SHEET
- METAL SCREWS.
- 8.4. DOOR HARDWARE: REFER TO DOOR SCHEDULE. 8.5. METALLIC PASTE FILLER: TO MANUFACTURER'S STANDARD.
- 8.6. FIRE LABELS: METAL RIVETED.
- 8.7. SEALANT: AS PER SPECIFICATIONS
- 8.8. GLAZING: AS PER SPECIFICATIONS.
- 8.9. MAKE PROVISIONS FOR GLAZING AS INDICATED AND PROVIDE NECESSARY GLAZING STOPS.
- 8.10. DESIGN EXTERIOR GLAZING STOPS TO BE TAMPERPROOF.

- 9.1. REFERENCE STANDARDS: STANDARD POSITION OF HARDWARE MUST MEET REQUIREMENTS OF THE CANADIAN METRIC GUIDE FOR STEEL DOORS AND FRAMES (MODULAR CONSTRUCTION) PREPARED BY THE
- CANADIAN STEEL DOOR AND FRAME MANUFACTURERS ASSOCIATION. 9.2. TECHNICAL DATA SHEETS: SUBMIT FOR APPROVAL HARDWARE LIST, INCLUDING BRAND, MODEL, MATERIAL, FUNCTION, FINISH AND ANY OTHER RELEVANT INFORMATION.
- 9.3. WARRANTY: PROVIDE A CERTIFICATE, SIGNED AND IN THE NAME OF 13. FLOOR PREPARATION THE OWNER, GUARANTEEING THAT THE WORK OF THIS SECTION IS TO REMAIN FREE OF ANY DEFECT FOR A PERIOD OF TWO (2) YEARS, EXCEPT IF INDICATED, FOUR (4) YEARS FOR LOCKS AND FIVE (5) YEARS FOR DOOR CLOSERS.
- 9.4. THE HARDWARE LIST IS PROVIDED TO HELP ESTABLISH THE TYPE, FUNCTION, QUALITY AND MINIMAL WEIGHT OF THE ITEMS REQUIRED, 14. RESILIENT FLOORING BUT IS NOT TO BE INTERPRETED AS A LIST FOR QUANTITY. THE CONTRACTOR MUST VERIFY THE LIST AND THE PLANS AND PROVIDE ANY ADDITIONAL HARDWARE ITEM THAT IS NOT IN THE LIST BUT THAT
- IS REQUIRED TO COMPLETE DOOR INSTALLATION. USE HARDWARE CERTIFIED AND LABELLED BY THE ULC FOR DOORS WITH FIRE RESISTANCE RATING AND EMERGENCY EXITS.
- 9.6. FASTENERS: PROVIDE FASTENERS REQUIRED FOR THE SMOOTH FUNCTIONING OF HARDWARE ITEMS. EXPOSED FASTENERS TO MATCH HARDWARE ITEM FINISH. USE FASTENERS MADE OF A MATERIAL COMPATIBLE WITH THE ONE THEY PENETRATE.
- 9.7. KEYS: ALL LOCKS TO BE SUBJECT TO A MASTER AND SECONDARY KEY SYSTEM ESTABLISHED WITH THE OWNER. PROVIDE SIX (6) DUPLICATES OF MASTER KEY, SIX (6) DUPLICATES OF SECONDARY KEY AND TWO (2) KEYS BY LOCK. STAMP CODE NUMBERS ON KEYS AND BARRELS.

- 10.1. FLOAT GLASS: TO CAN/CGSB-12.3. SILVERING MIRROR GLAZING (SELECTED) GLAZING QUALITY, 1/4" THICK.
- 10.2. SHEET GLASS: TO CAN/CGSB-12.2, AA-SPECIAL SELECTED, 1/4" THICK.
- 10.3. SAFETY GLASS: TO CAN/CGSB-12.1, TRANSPARENT, 1/4", 1/2" AND 3/4" THICK.
- 10.3.1. TYPE 1-LAMINATED
- 10.3.2. TYPE 2-TEMPERED. CLASS B-FLOAT 10.3.3.
- CATEGORY 1. 10.3.4.
- EDGE TREATMENT 10.3.5.
- 10.4. SILVERED MIRROR GLASS: TO CAN/CGSB-12.5, 1/4" MM THICK. 10.4.1. TYPE 3B-LAMINATED.
- 10.5. SPANDREL GLASS: TO CAN/CGSB-12.9, COLOUR: COLOURED FILM TO CONSULTANT'S LATER SELECTION FROM MANUFACTURERS' FULL RANGE ON 1/4" THICK CLEAR GLASS WITH WHITE OPACIFIER.
- TYPE 1-TEMPERED.
- 10.5.2. CLASS A-FLOAT. STYLE 3-ORGANIC COATED. 10.5.3.
- 10.5.4 FORM I-INSULATING GLASS UNIT.
- 10.5.5. LOW EMISSIVITY (LOW E) GLASS, 1/4" THICK
- 10.6. GLAZING TAPE: PREFORMED BUTYL TAPE, 10-15 HARDNESS, PAPER RELEASE, GREY COLOUR.
- 10.7. SETTING BLOCKS: NEOPRENE, SHORE "A" DUROMETER HARDNESS 80-90, DIMENSIONS TO SUIT INSTALLATION.

16.4. TILES: AS SELECTED BY OWNER.

16. CERAMIC

- 17. MORTAR: 17.1. FLOOR SUPPORT, FOR CERAMIC AND STONE TILES: KERABOND BY MAPEI, WITH KERALASTIC;
 - 17.2. WALLS, FOR ANY SUPPORT OTHER THAN METAL, FOR CERAMIC, STONE AND GLASS PASTE TILES: KERABOND (WHITE REGARDING GLASS PASTE TILES) BY MAPEI, WITH KERALASTIC:
 - 17.3. CHECK WITH MANUFACTURER REGARDING ANY SPECIAL CONDITION FOR LAYING TILES NAMELY LIGHT-COLOURED STONES OR SUPPORTS WHICH FORM MAY BE ALTERED.

18. GROUT

- 18.1. FLOORS AND WALLS (JOINTS OF 1/8" AND MORE): KER-200 WITH SAND BY MAPEI, COLOURS CHOSEN BY ARCHITECT;
- 18.2. WALLS (JOINTS OF LESS THAN 1/8"): KER-800 BY MAPEI, COLOURS
- CHOSEN BY ARCHITECT. 18.3. PERIMETER MOULDINGS: CLEAR ANODIZED ALUMINIUM, SUCH AS
- SCHLUTER SYSTEM OR APPROVED EQUIVALENT. 18.4. INSTALL TILES ON CLEAR AND CLEAN SURFACES, AS PER ADHESIVE
- MANUFACTURER'S RECOMMENDATIONS. 18.5. PREPARATION: MAKE SURE THAT SURFACES ARE EVEN, MAXIMUM TOLERANCE BEING 1/8" IN 118". CHECK WITH HYGROMETER, MOISTURE CONTENT NOT TO EXCEED 2.5%.
- 18.6. EXCEPT INDICATED OTHERWISE, PLACE TILES SO THAT THEY ARE CENTERED IN ROOM AND THAT TILES ALONG WALLS MEASURE AT
- LEAST HALF THEIR FULL SIZE. 18.7. MATCH DIFFERENT PRODUCTION RUNS IN A UNIFORM AND CONTINUOUS MANNER; MAKE SURE THAT TILE SHEETS ARE NOT
- VISIBLE AFTER INSTALLATION. 18.8. SOUND TILES AFTER SETTING AND REPLACE HOLLOW-SOUNDING
- UNITS TO OBTAIN FULL BOND. 18.9. ALLOW ADHESIVE TO DRY AS PER MANUFACTURER'S

RECOMMENDATIONS BEFORE GROUTING TILES.

- 19.1. REFERENCE STANDARDS: EXCEPT IF INDICATED, USE ONLY PAINT MATERIALS LISTED ON THE CGSB QUALIFIED PRODUCTS LIST, CURRENT EDITION. PAINT MATERIALS FOR EACH COATING FORMULA
- TO BE PRODUCTS OF A SINGLE MANUFACTURER. 19.2. SAMPLES: SUBMIT FOR APPROVAL 24" X 24" SAMPLE FOR EACH

COLOUR. 19.3. SURFACE PREPARATION:

- PREPARE WOOD SURFACES IN COMPLIANCE WITH CGSB 850GP-1M STANDARD, APPLY VINYL SEALER IN COMPLIANCE WITH CAN/CSGB-1.126M STANDARD OVER KNOTS AND RESINOUS AREAS. APPLY WOOD FILLER TO NAIL HOLES AND CRACKS:
- PREPARE SHOP PRIMED STEEL SURFACES WITH A PRODUCT 19.3.2. IN COMPLIANCE WITH CAN/CGSB-1.40M AND CGSB 85-GP-14M
- PREPARE GALVANIZED STEEL AND ZINC COATED STEEL SURFACES IN COMPLIANCE WITH CGSB 85-GP-16M STANDARD. WASH WITH TRISODIUM PHOSPHATE SOLUTION AND RINSE THOROUGHLY;
- PREPARE MASONRY, STUCCO AND CONCRETE SURFACES IN COMPLIANCE WITH CGSB 85-GP-31M STANDARD;
- PREPARE GYPSUM BOARD SURFACES IN COMPLIANCE WITH CGSB 85-GP-33M STANDARD. FILL SMALL CRACKS WITH PATCHING COMPOUND.
- 19.4. CLEAN SURFACES TO BE PAINTED, NAMELY TOP OF DUCTWORK AND
- 19.5. SAND AND DUST BETWEEN EACH COAT TO REMOVE DEFECTS VISIBLE FROM A DISTANCE OF 1.5 M.
- 19.6. FINISH TOP, BOTTOM, EDGES AND CUT-OUTS OF DOORS AFTER FITTING AS SPECIFIED FOR DOOR SURFACES. DO NOT PAINT OVER
- ULC LABELS. PAINT STEEL DOORS WITH AIRLESS SPRAYER. 19.7. PAINT EXPOSED CONDUITS, PIPING, HANGERS, DUCTWORK AND OTHER MECHANICAL AND ELECTRICAL EQUIPMENT. EXPOSED MECHANICAL AND ELECTRICAL DUCTWORK TO MATCH COLOUR OF ADJACENT WALLS AND CEILINGS. DO NOT PAINT OVER PREPAINTED
- ELEMENTS, NAMEPLATES AND LABELS. 19.8. USE PRODUCTS WITH SAME COLOUR AND SAME SHEEN AS EXISTING FINISH TO PATCH EXISTING SURFACES AFFECTED BY WORK. PAINT UP TO NEXT VERTICAL JOINT. USE PRODUCTS COMPATIBLE WITH
- EXISTING PRODUCTS. 19.9. PAINT WALLS CONCEALED BY BUILT-IN FURNITURE SAME COLOUR AS

OF ADJACENT WALL. APPLY ONE FINISHING COAT ONLY.

14.3. MAINTENANCE SURPLUS: SUPPLY AN ADDITIONAL QUANTITY EQUIVALENT TO 5% OF INSTALLED QUANTITY, FOR EACH TYPE OF 20. PAINT FORMULAE:

- 20.1. FORMULA NO. 1 FOR INTERIOR WALLS OF CONCRETE BLOCK AND
- CAST-IN-PLACE CONCRETE: ONE COAT PRIMER-EMULSION IN COMPLIANCE WITH CAN/CGSB-1.188 STANDARD. REFERENCE PRODUCT: 675-115
- 20.1.2. TWO COATS LATEX INTERIOR PAINT, PLATINUM FINISH. REFERENCE PRODUCT: 874 BY SICO.

20.2. FORMULA NO. 2 FOR INTERIOR WALLS, GYPSUM BOARD: ONE COAT LATEX PRIMER-SEALER. REFERENCE PRODUCT:

- 870-130 BY SICO. TWO COATS LATEX INTERIOR PAINT, PLATINUM FINISH. 20.2.2. REFERENCE PRODUCT: 874 BY SICO.
- 20.3. FORMULA NO. 3 FOR INTERIOR CEILINGS, GYPSUM BOARD: ONE COAT LATEX PRIMER-SEALER. REFERENCE PRODUCT:
- 870-130 BY SICO. TWO COATS LATEX INTERIOR PAINT, MATT FINISH. REFERENCE PRODUCT: 871-112 BY SICO.
- 20.4. FORMULA NO. 4 FOR INTERIOR SHOP PRIMED FERROUS METAL
- SURFACES 20.5. TOUCH UP WITH ANTICORROSIVE PRIMER. REFERENCE PRODUCT:
- 926-260 BY SICO.
- 20.6. PRIME COAT. REFERENCE PRODUCT: 926-260 BY SICO 20.7. TWO COATS ALKYD PAINT. PEARL FINISH, REFERENCE PRODUCT: 886

EACH TYPE AND COLOUR OF TILES AND STORE THEM AT THE 21. SPECIALTIES:

- 21.1. ROOF ACCESS HATCH: BILCO THERMALLY BROKEN R20+, SINGLE LEAF HATCH FROM SHIP'S LADDER.
- 21.2. ROOF HATCH RAILINGS: BILCO BIL-GUARD® 2.0 ROOF HATCH SAFETY RAILING SYSTEM.

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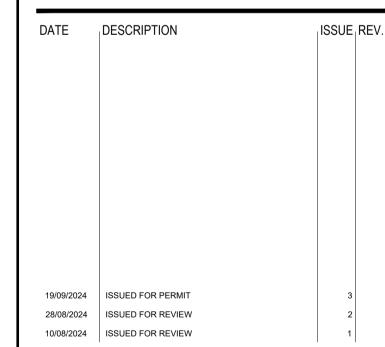
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MECHANICAL + ELECTRICAL

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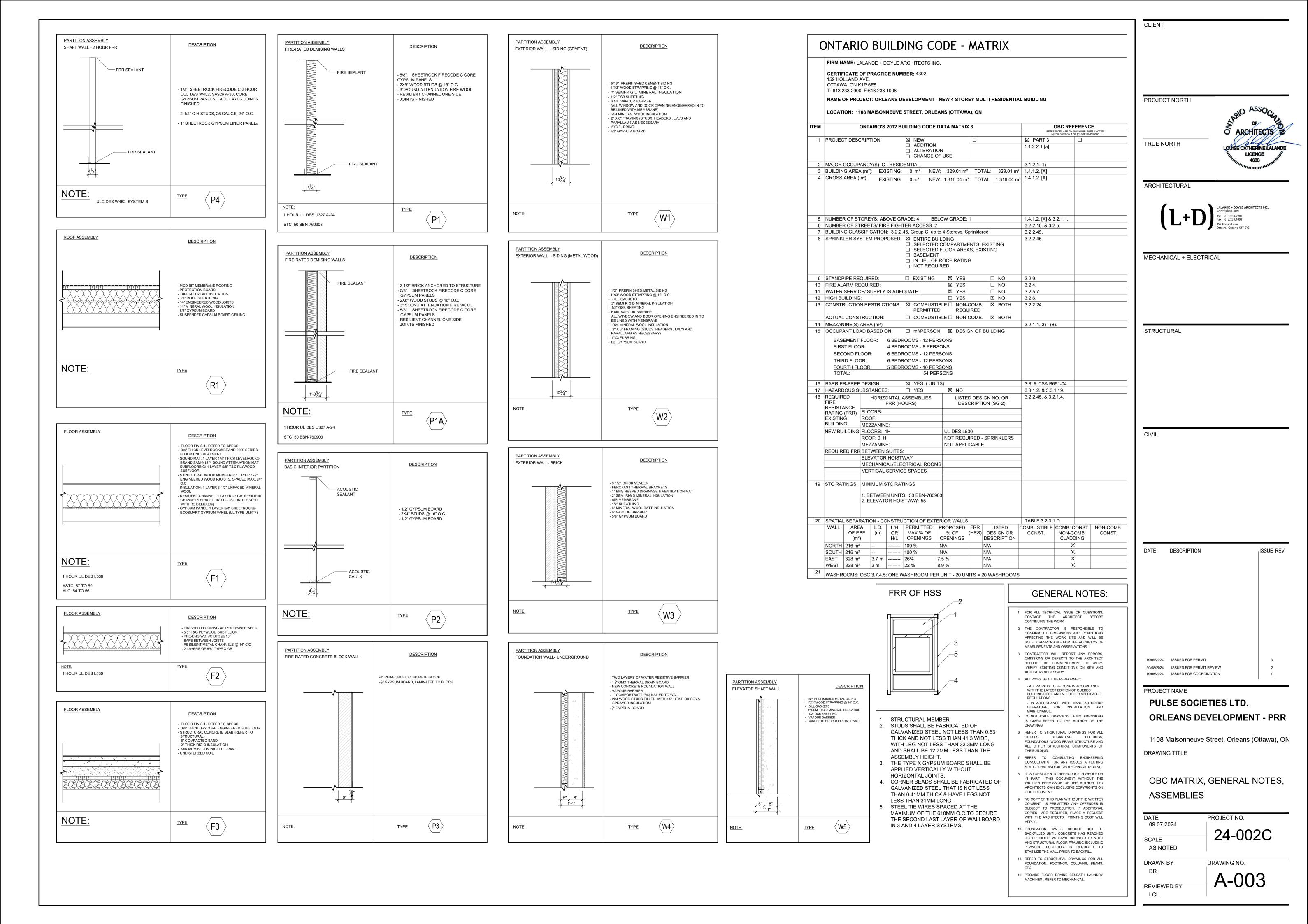
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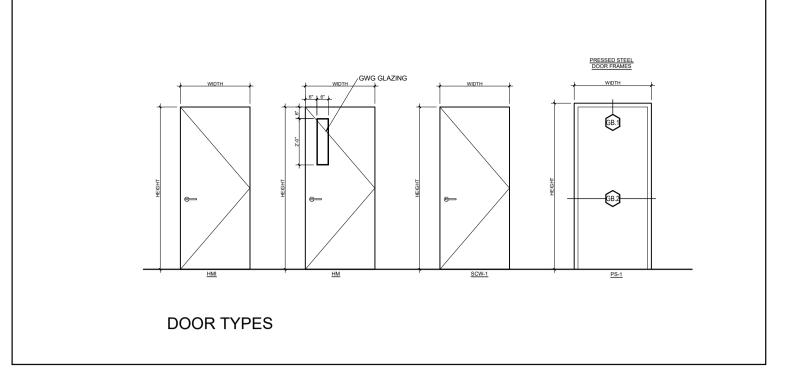
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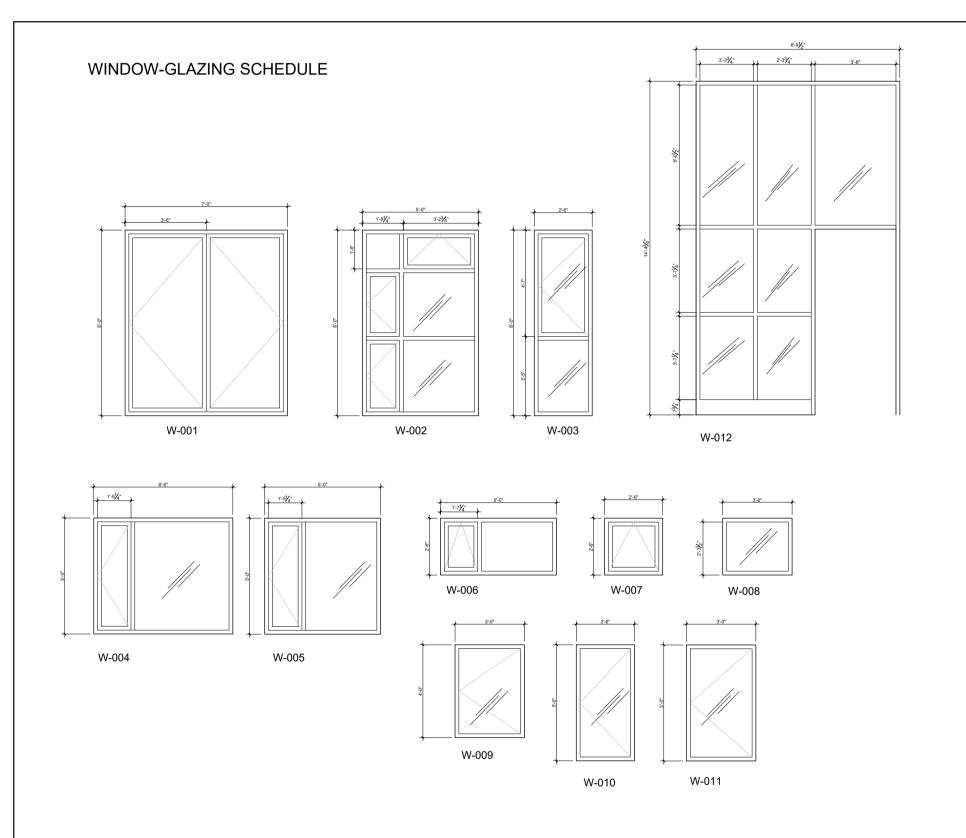
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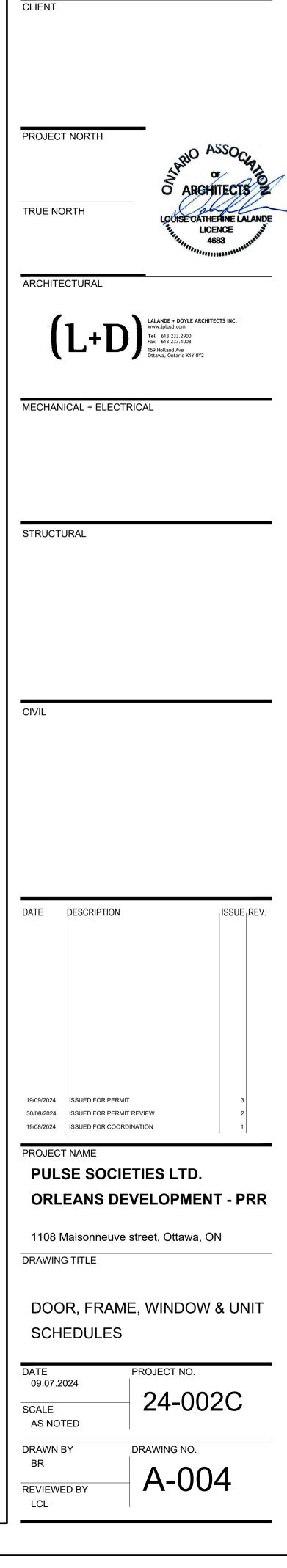


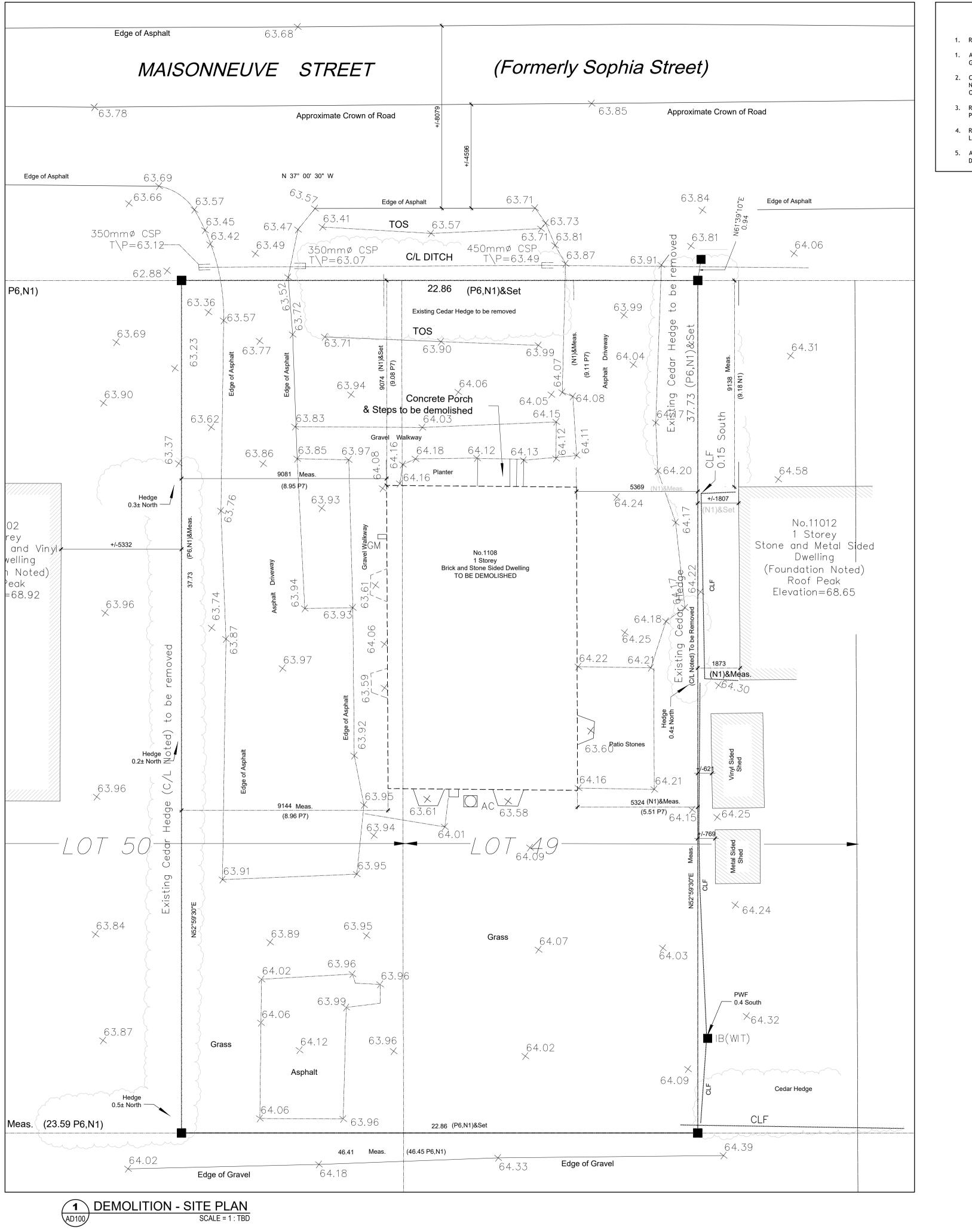


		DOOR SCHEDULE						
No.	QTT.	LOCATION	TYPE	DIMENSIONS	FRAME	FRR	HARDWARE	NOTES
D01	1	EXTERIOR ENTRANCE DOOR	ALUMINUM-CLAD WOOD	3'-4" X 8'-0"	ALUMINUM		LOCKSET W/ CLOSER, WEATHERSTRIPPING, POWER OPENER	GLAZED SIDELIGHT & TRANSOM (SEE ELEVATION)
D02	1	INTERIOR ENTRANCE DOOR	ALUMINUM-CLAD WOOD	3'-4" X 8'-0"	ALUMINUM		CLOSER, WEATHERSTRIPPING, POWER OPENER	GLAZED SIDELIGHT & TRANSOM (SEE ELEVATION)
D03	2	EXIT DOOR	HOLLOW METAL INSULATED	3'-0" X 8'-0"	STEEL		LOCKSET & DEADBOLT	
D04	10	STAIRWELL DOOR	HOLLOW METAL	3'-0" X 8'-0"	STEEL	45 MIN.	CLOSER, PASSAGE SET	
D05	16	APART. ENTRANCE DOOR	SOLID CORE WOOD	3'-2" X 8'-0"	WOOD	45 MIN.	LOCKSET & DEADBOLT W/ CLOSER, DOOR VIEWER	
D06	4	ACCESSIBLE APART. ENTRANCE DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD	45 MIN.	LOCKSET & DEADBOLT W/ CLOSER, DOOR VIEWER	
D07	16	BEDROOM DOOR	SOLID CORE WOOD	2'-8" X 8'-0"	WOOD		PRIVACY SET	
D08	4	ACCESSIBLE BEDROOM DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD		PRIVACY SET	
D09	16	WASHROOM DOOR	SOLID CORE WOOD	2'-8" X 8'-0"	WOOD		PRIVACY SET	
D10	4	ACCESSIBLE WASHROOM DOOR	SOLID CORE WOOD	3'-4" X 8'-0"	WOOD		PRIVACY SET	



	UNIT No.	AREA (ft²)	No. of BEDROOMS	REMARKS
	UNIT 1	598 SQ FT	STUDIO	ACESSIBLE
BASEMENT	UNIT 2	453 SQ FT	STUDIO	
	UNIT 3	590 SQ FT	1 BEDROOM	
	UNIT 4	451 SQ FT	STUDIO	
	UNIT 5	578 SQ FT)	1 BEDROOM	
	UNIT 6	600 SQ FT	STUDIO	ACESSIBLE
OOR	UNIT 7	454 SQ FT	STUDIO	
1ST FLOOR	UNIT 8	588 SQ FT	1 BEDROOM	
18	UNIT 9	455 SQ FT	STUDIO	
	UNIT 10	575 SQ FT	1 BEDROOM	
\propto	UNIT 11	578 SQ FT	STUDIO	ACCESSIBLE
FLOOR	UNIT 12	452 SQ FT	STUDIO	
2ND F	UNIT 13	548 SQ FT	1 BEDROOM	
	UNIT 14	455 SQ FT	STUDIO	
	UNIT 15	859 SQ FT	2 BEDROOMS	
N N	UNIT 16	578 SQ FT	1 BEDROOM	
3RD FLOOR	UNIT 17	452 SQ FT	STUDIO	
	UNIT 18	455 SQ FT	1 BEDROOM	
	UNIT 19	455SQ FT	STUDIO	
	UNIT 20	859 SQ FT	2 BEDROOMS	
4TH FLOOR	UNIT 21	578 SQ FT	1 BEDROOM	
	UNIT 22	727 SQ FT	1 BEDROOM	ACCESSIBLE
	UNIT 23	749 SQ FT	1 BEDROOM	ACCESSIBLE
	UNIT 24	859 SQ FT	2 BEDROOMS	





1. REFER TO SURVEY BY FARLEY, SMITH AND DENIS SURVEYING LTD.

- 1. ALL GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON SITE PLAN. NEW GRADES TO TIE INTO EXISTING GRADES.
- CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
- 3. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE
- 4. REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHT 11ING, AND MASTER SITE PLAN.
- ALL NOTES ARE AS PER CITY/ PROVINCIAL STANDARDS, GUIDELINES, BY-LAWS AND DETAIL DRAWINGS.

CLIENT

PROJECT NORTH

TRUE NORTH



ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL

DATE	DESCRIPTION	ISSUE	REV
0004/00/40	IOOUED FOR REPAIR		
2024/09/19	ISSUED FOR PERMIT	3	
2024/08/28	ISSUED FOR REVIEW	2	
2024/05/06	ISSUED FOR REVIEW	1	

PROJECT NAME

PULSE SOCIETIES LTD. ORLEANS DEVELOPMENT - MSN

1108 Maisonneuve St, Ottawa, ON K1C 1L1

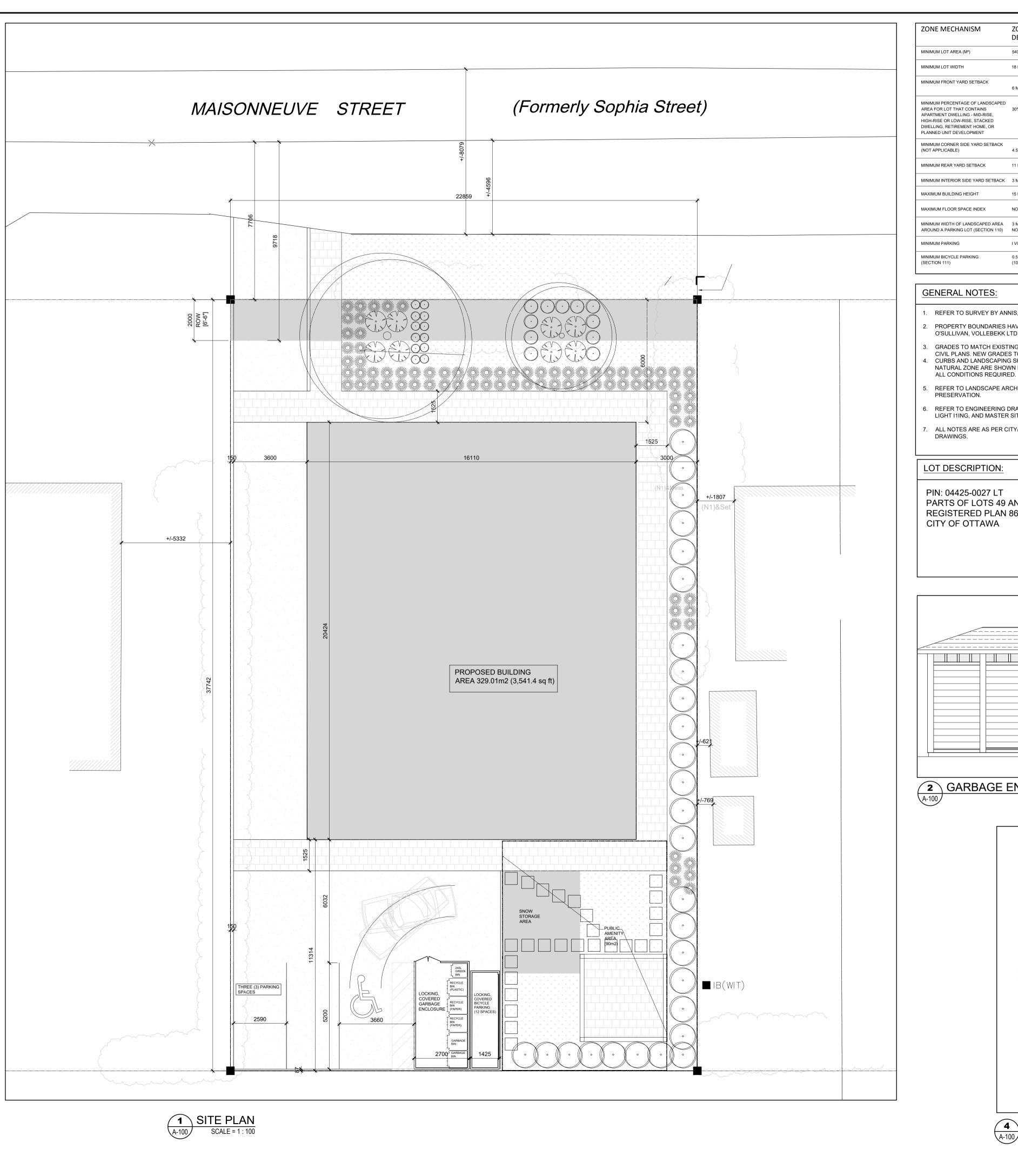
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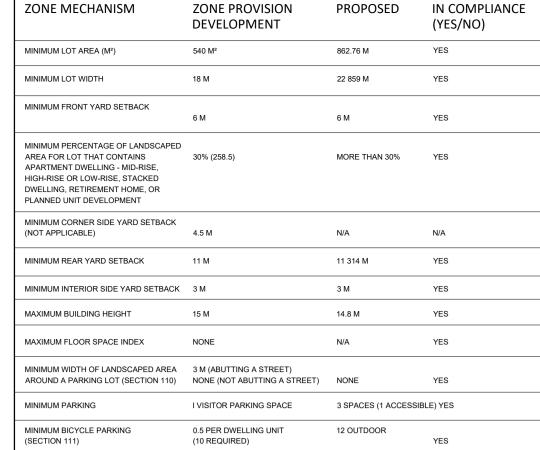
SITE PLAN - DEMOLITION

DATE 09.07.2024	PROJECT NO.
	24-002
SCALE AS NOTED	- : 33-

DRAWN BY
BR
REVIEWED BY
LCL
DRAWING NO.

A-050

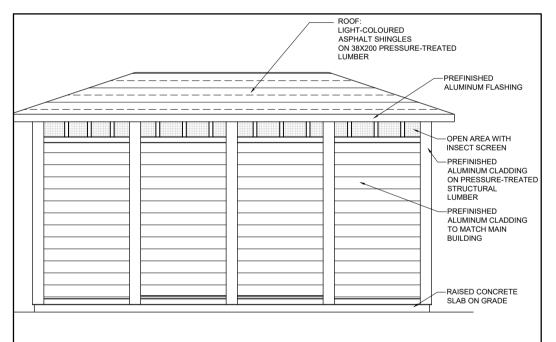


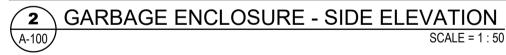


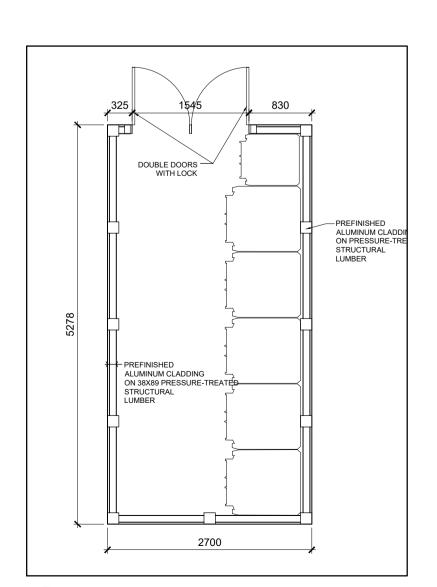
- REFER TO SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- PROPERTY BOUNDARIES HAVE BEEN ESTABLISHED FROM SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. JUNE 21, 2023.
- 3. GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON NEW CONSTRUCTION CIVIL PLANS. NEW GRADES TO TIE INTO EXISTING GRADES. REFER TO CIVIL DRAWINGS. CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF
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LOT DESCRIPTION:

PIN: 04425-0027 LT PARTS OF LOTS 49 AND 50; AS IN CT176790; GLOUCESTER **REGISTERED PLAN 86** CITY OF OTTAWA







GARBAGE ENCLOSURE - PLAN
SCALE = 1:50

PROJECT INFORMATION

PROJECT: NEW LOW RISE STACKED APARTMENT

CLIENT

SITE AREA: 890.44m² (9,584.57 SQ FT)

PROJECT NORTH

TRUE NORTH

ARCHITECTURAL

STRUCTURAL

CIVIL

MECHANICAL + ELECTRICAL

MUNICIPAL ADDRESS: 1108 MAISONNEUVE ST, ORLEANS (OTTAWA), ON K1C 1L1

ZONING USE: R5A - R5A[2179]H(40). RESIDENTIAL ZONE 5, APARTMENT DWELLING, LOW RISE, STACKED

PROPOSED CONSTRUCTION: NEW 4 - STOREY

PROPOSED USE: APARTMENT DWELLING, LOW

RISE, STACKED

BUILDING HEIGHT: 14 901m (48.89 FT) GROSS FLOOR AREA: 329.01 m² (3 541 SQ FT)

PARKING STATISTICS:

2 SPACES OF 2.6m W x 5.2m L (8' - 7" W x 17' - 0" L)

ACCESSIBLE PARKING:

1 SPACE OF 3.66m W X 5.2m L (12' - 0" W x 17' - 0" L)

TOTAL PARKING SPACES: 3

BICYCLE PARKING: 12 EXTERIOR COVERED

<u>LANDSCAPING:</u> REQUIRED 15% OF PARKING AREA

TOTAL PARKING AREA: 127.4 m² 15% LANDSCAPING REQUIRED: 19.11 m²

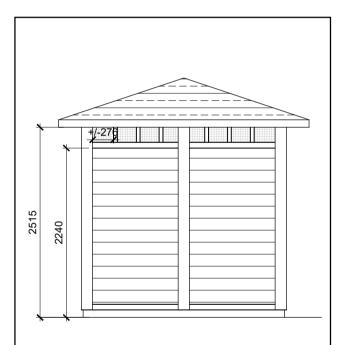
TOTAL LANDSCAPED AREAS PROVIDED: 345.7 m²

TOTAL EXTERIOR AMENITY AREA PROVIDED: 72m²

LEGEND

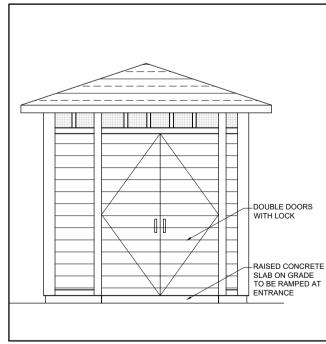
INTERLOCKING PAVERS

DENOTES THE EXTENT FOR THE AMENITY AREA



GARBAGE ENCLOSURE

A-100 REAR ELEVATION SCALE = 1:50



4 GARBAGE ENCLOSURE

A-100 FRONT ELEVATION SCALE = 1:50

DATE DESCRIPTION ISSUE REV. ISSUED FOR PERMIT 5 2024/09/19 ISSUED FOR REVIEW 5 REISSUED FOR SPA 5 2024/07/31 4 2024/07/31 REISSUED FOR SPA ISSUED FOR COORDINATION 3 2024/06/04 REISSUED FOR SPA REISSUED FOR SPA 2024/05/21 2 1 ISSUED FOR SPA 2024/05/17

ISSUED FOR REVIEW

PROJECT NAME

2024/05/06

PULSE SOCIETIES LTD. **ORLEANS DEVELOPMENT - MSN**

1108 Maisonneuve St, Ottawa, ON K1C 1L1

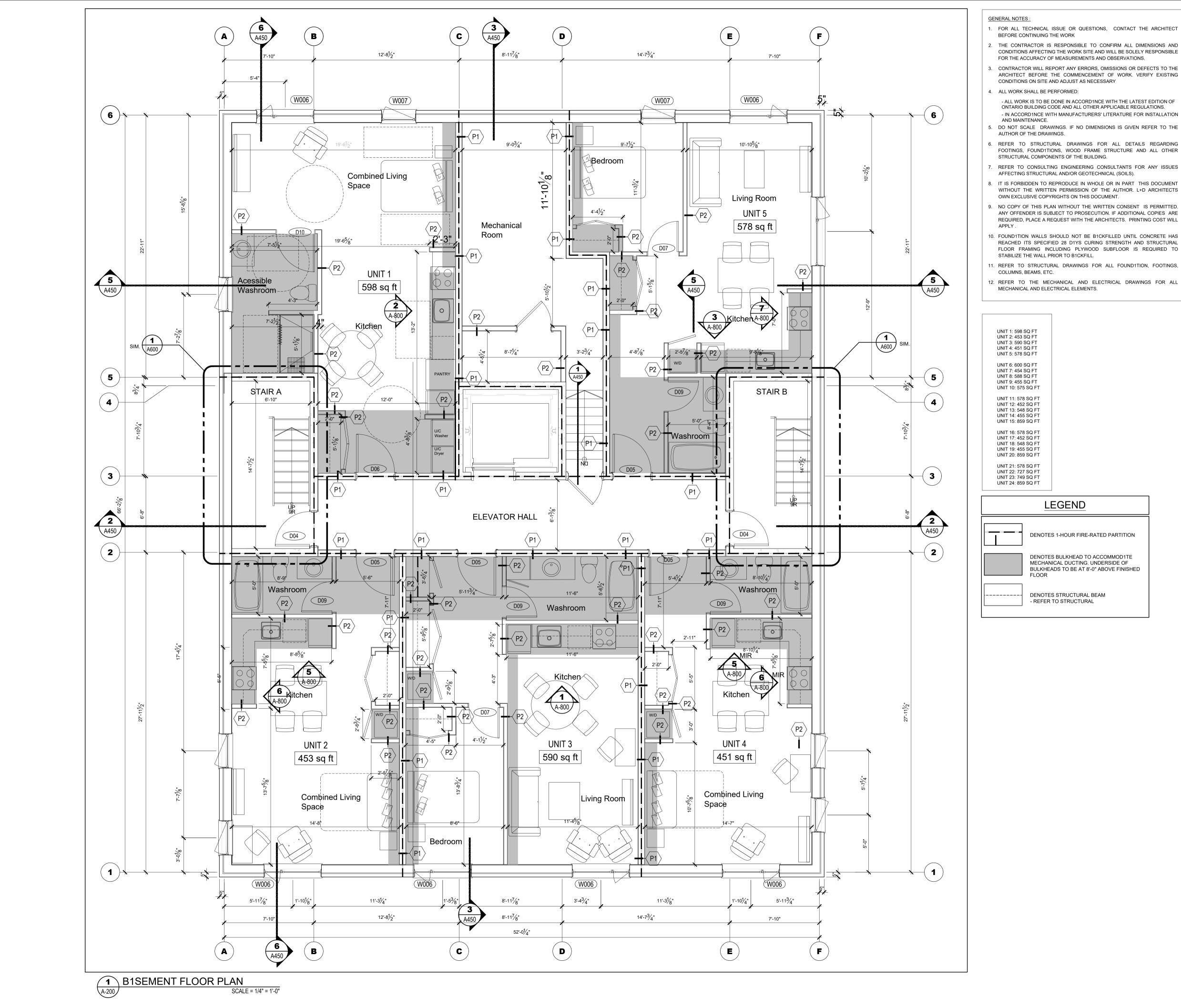
SITE PLAN

DRAWING TITLE

LCL

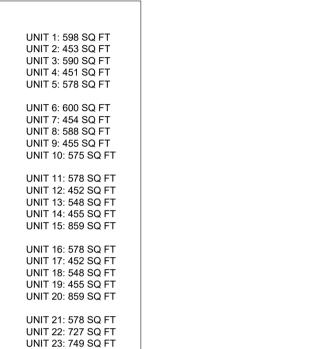
DATE PROJECT NO. 09.07.2024 24-002 SCALE AS NOTED

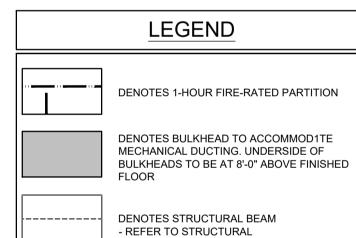
DRAWN BY DRAWING NO. A-100 **REVIEWED BY**

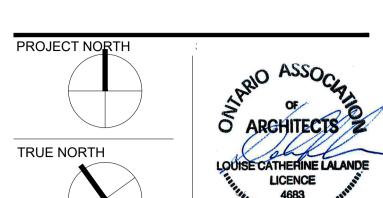


1. FOR ALL TECHNICAL ISSUE OR QUESTIONS, CONTACT THE ARCHITECT

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- REFER TO CONSULTING ENGINEERING CONSULTANTS FOR ANY ISSUES AFFECTING STRUCTURAL AND/OR GEOTECHNICAL (SOILS).
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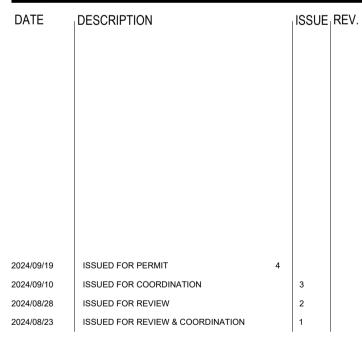
ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

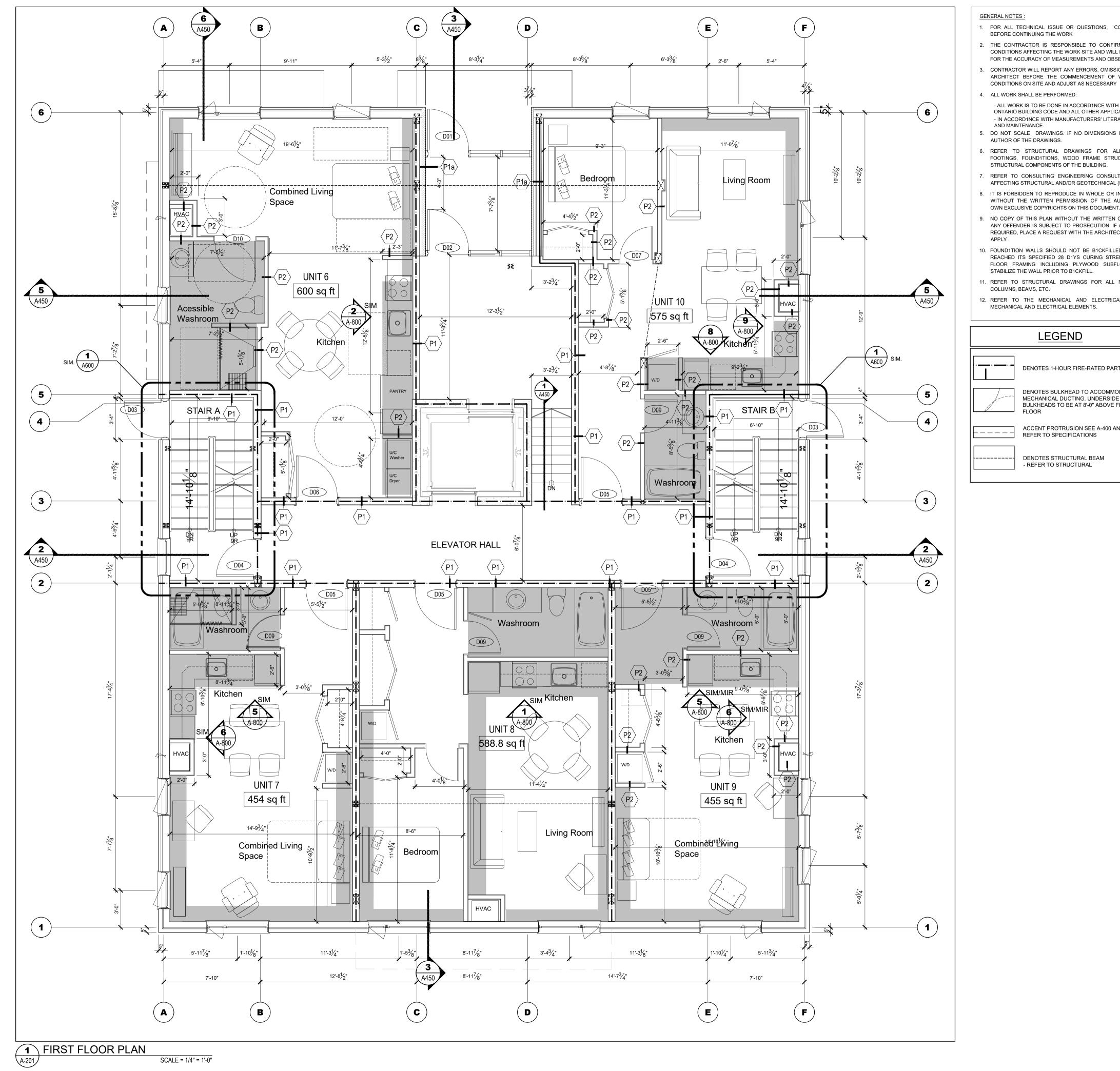
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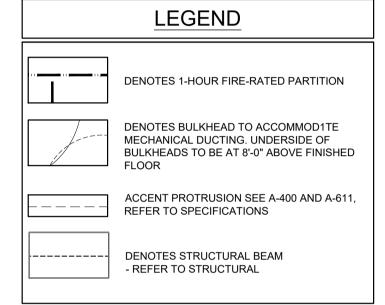
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B1SEMENT FLOOR PLAN

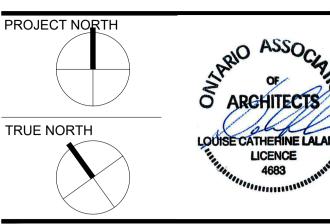
DATE	PROJECT NO.
09.07.2024	
	- 24-002C
SCALE	24-0020
AS NOTED	
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DRAWN BY	DRAWING NO.
BR	
	− A-200
REVIEWED BY	─ /\-



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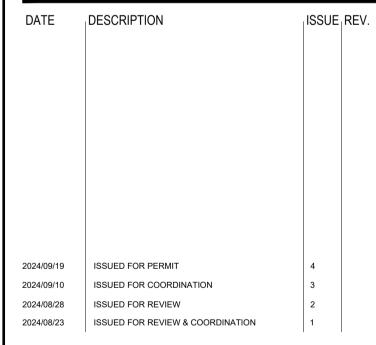
ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

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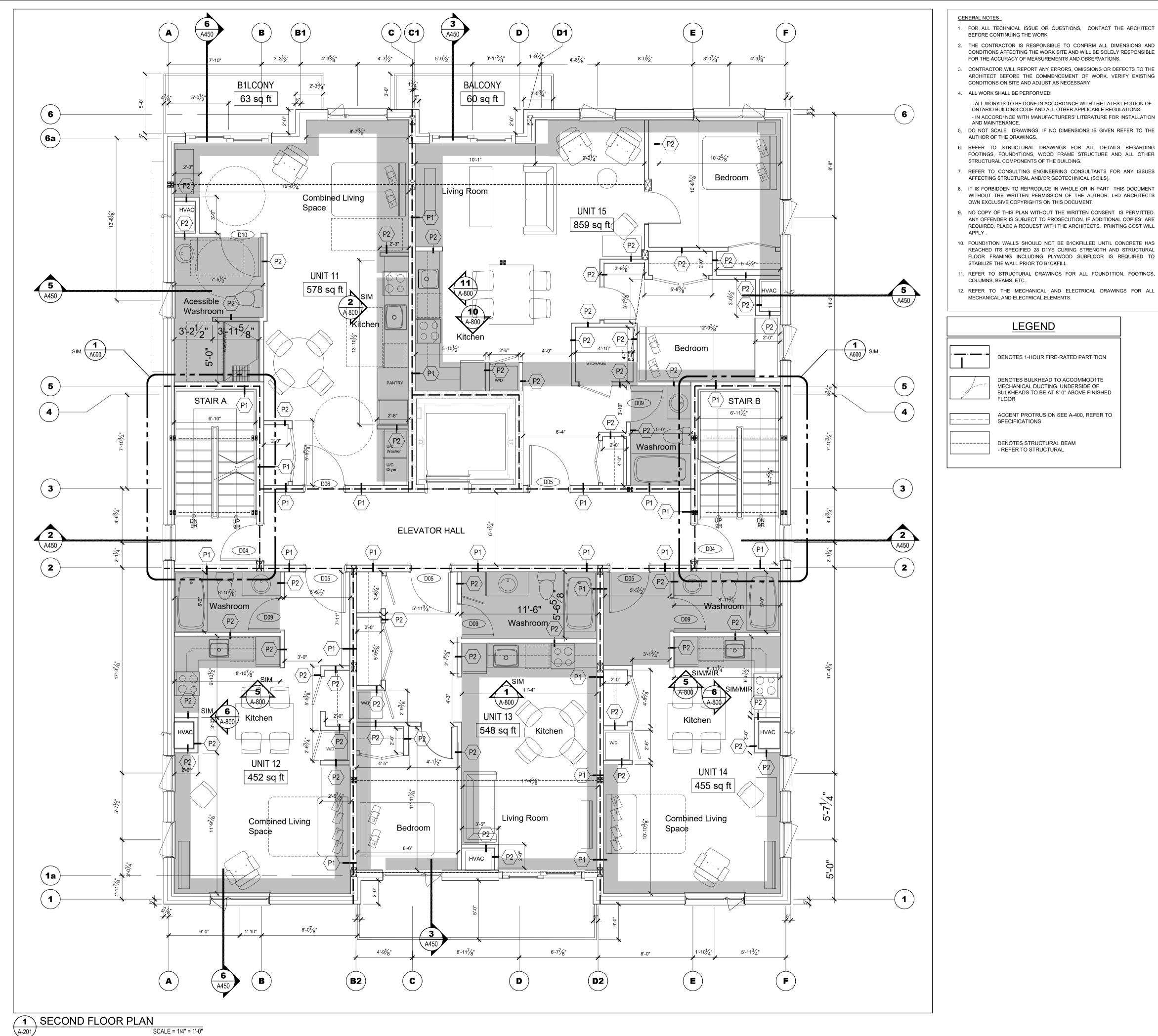
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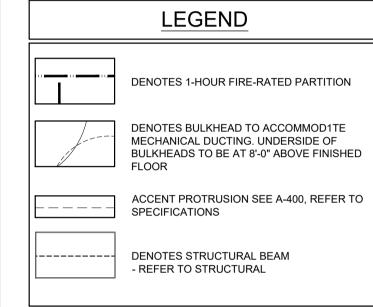
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FIRST FLOOR PLAN

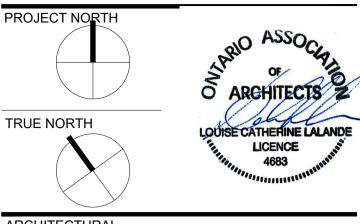
DATE 23.08.2024	PROJECT NO.
SCALE	24-002C
AS NOTED	
DRAWN BY	DRAWING NO.



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FOR THE ACCURACY OF MEASUREMENTS AND OBSERVATIONS.



ARCHITECTURAL

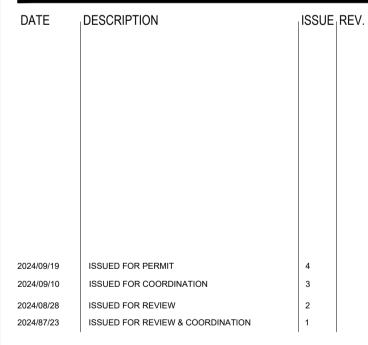
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MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

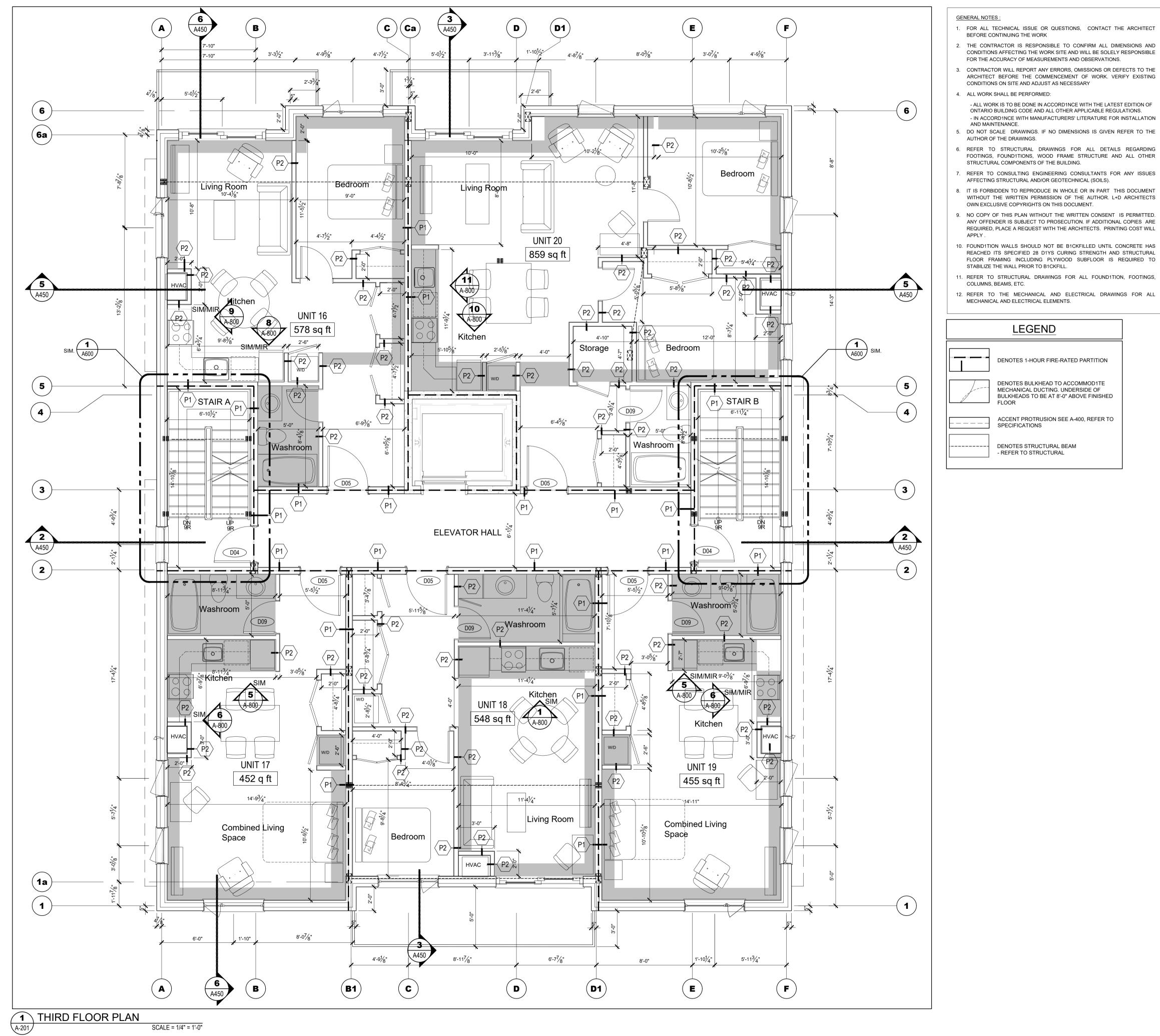
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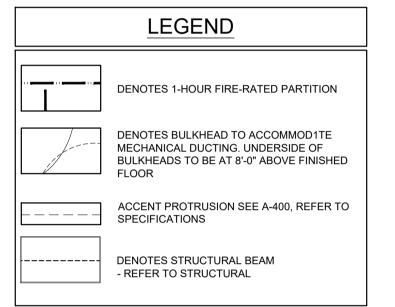
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SECOND FLOOR PLAN

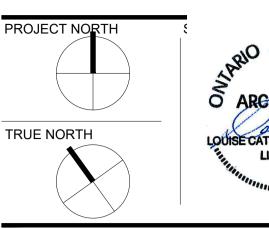
DATE 09.07.2024	PROJECT NO.
SCALE AS NOTED	24-002C
DRAWN BY	DRAWING NO.
REVIEWED BY	A-202



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- STABILIZE THE WALL PRIOR TO B1CKFILL. 11. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUND1TION, FOOTINGS,
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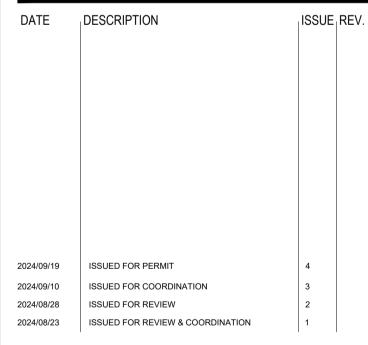
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MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

REVIEWED BY

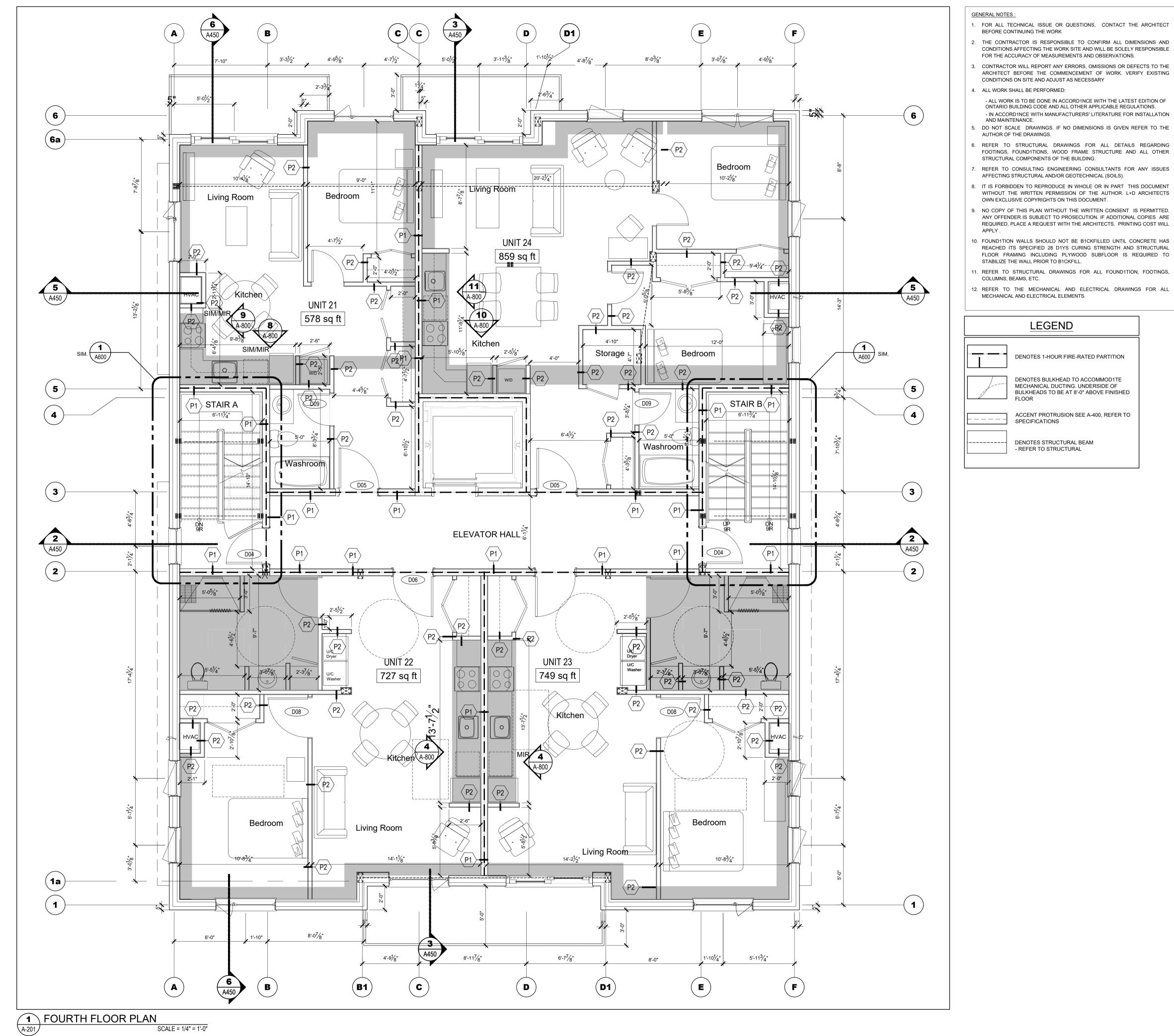
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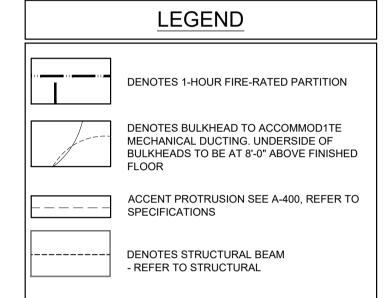
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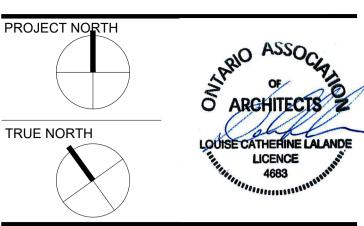
THIRD FLOOR PLAN

DATE 09.07.2024	PROJECT NO.
SCALE AS NOTED	24-002C
DRAWN BY	DRAWING NO.



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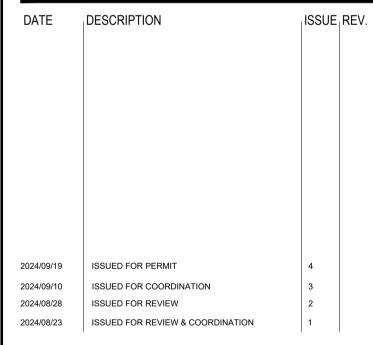
ARCHITECTURAL



MECHANICAL + ELECTRICAL

STRUCTURAL

CIVIL



PROJECT NAME

DRAWING TITLE

REVIEWED BY

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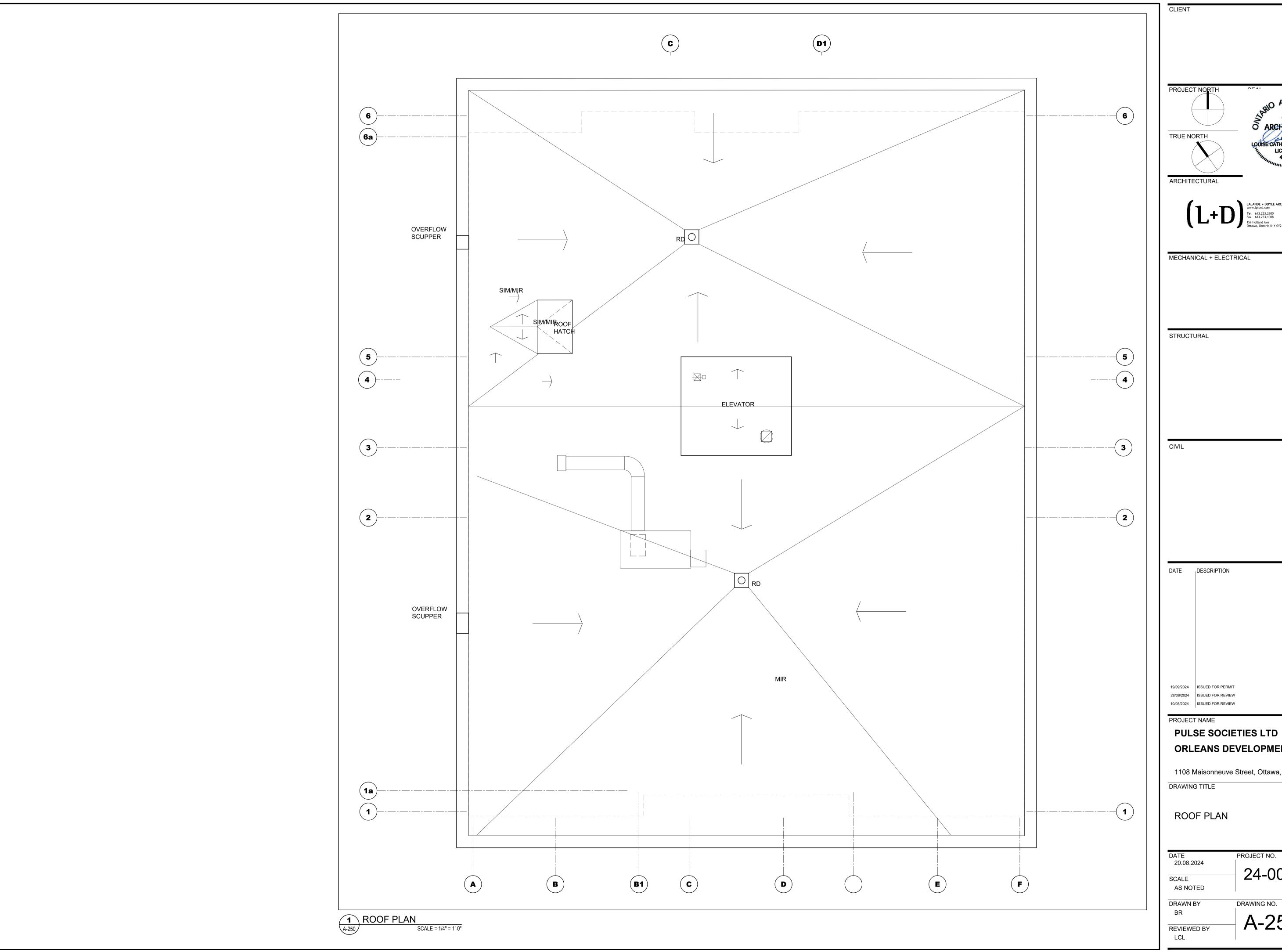
PULSE SOCIETIES LTD. ORLEANS DEVELOPMENT - MSN

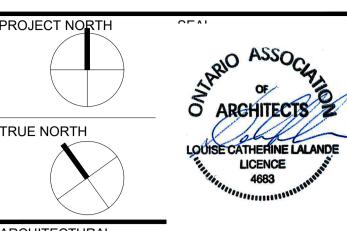
1108 Maisonneuve Street, Orleans (Ottawa), ON

FOURTH FLOOR PLAN

DATE 09.07.2024 PROJECT NO. 24-002C SCALE AS NOTED DRAWING NO. DRAWN BY

A-204



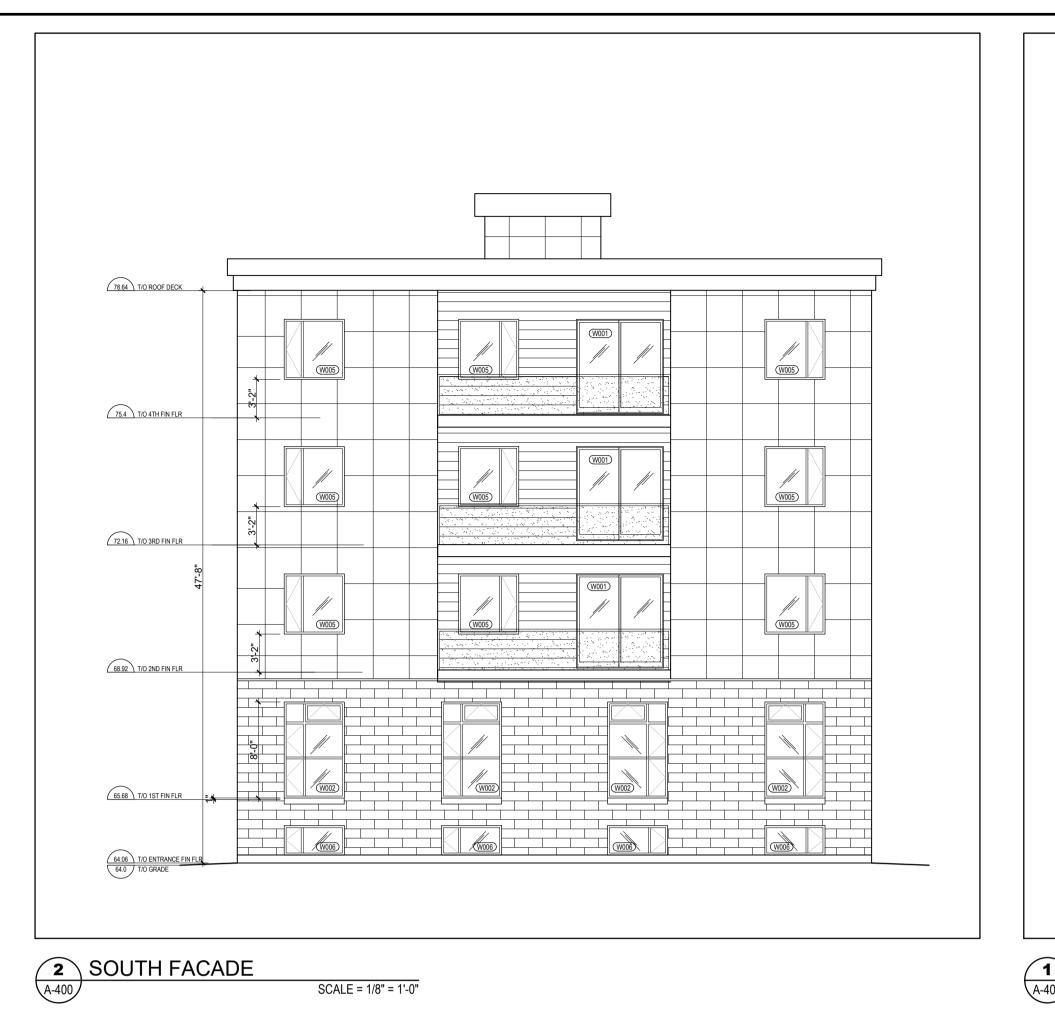


ISSUE REV.

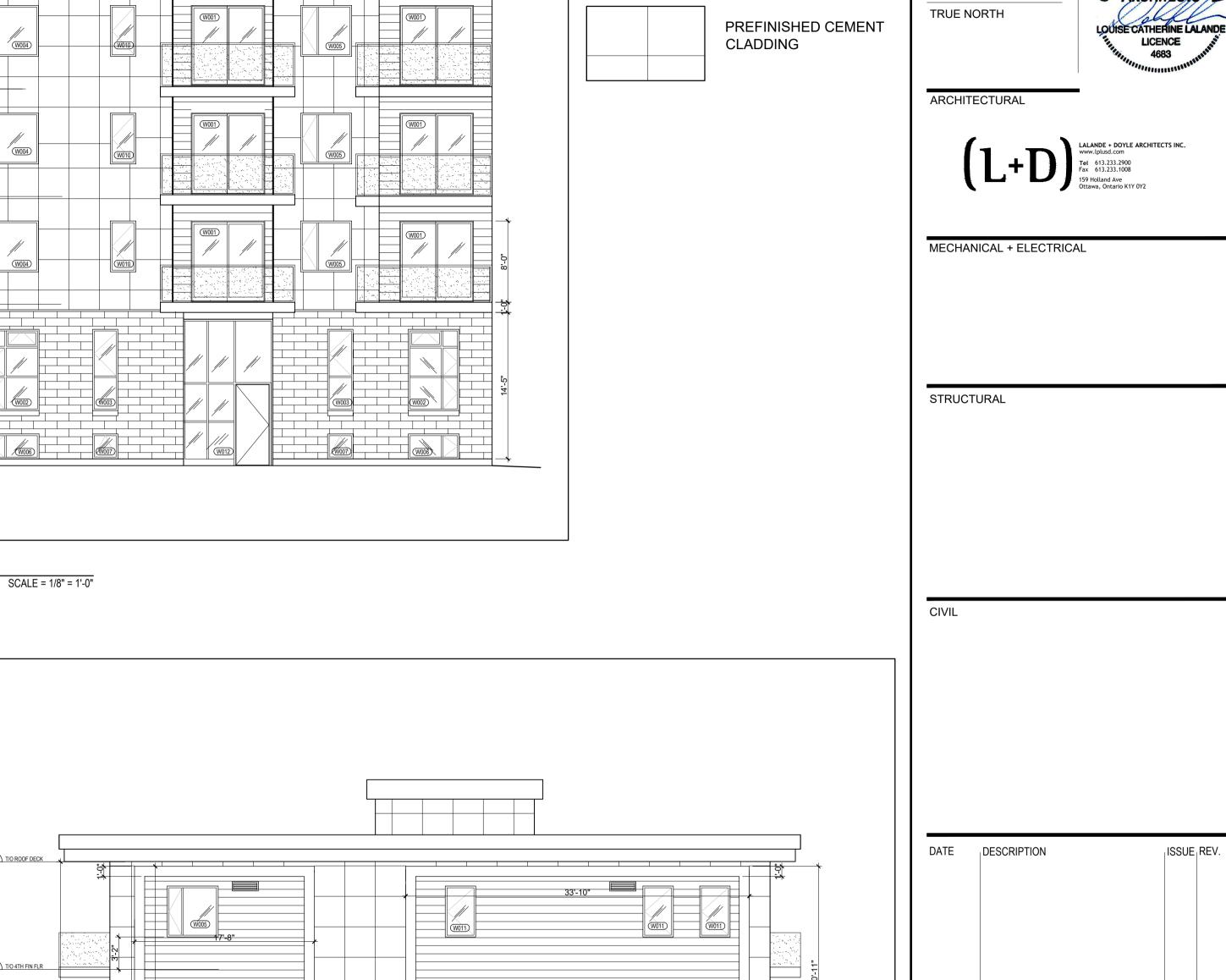
ORLEANS DEVELOPMENT - PRR

1108 Maisonneuve Street, Ottawa, ON K1C 1L1

DATE 20.08.2024	PROJECT NO.
SCALE AS NOTED	24-002C
DRAWN BY	DRAWING NO

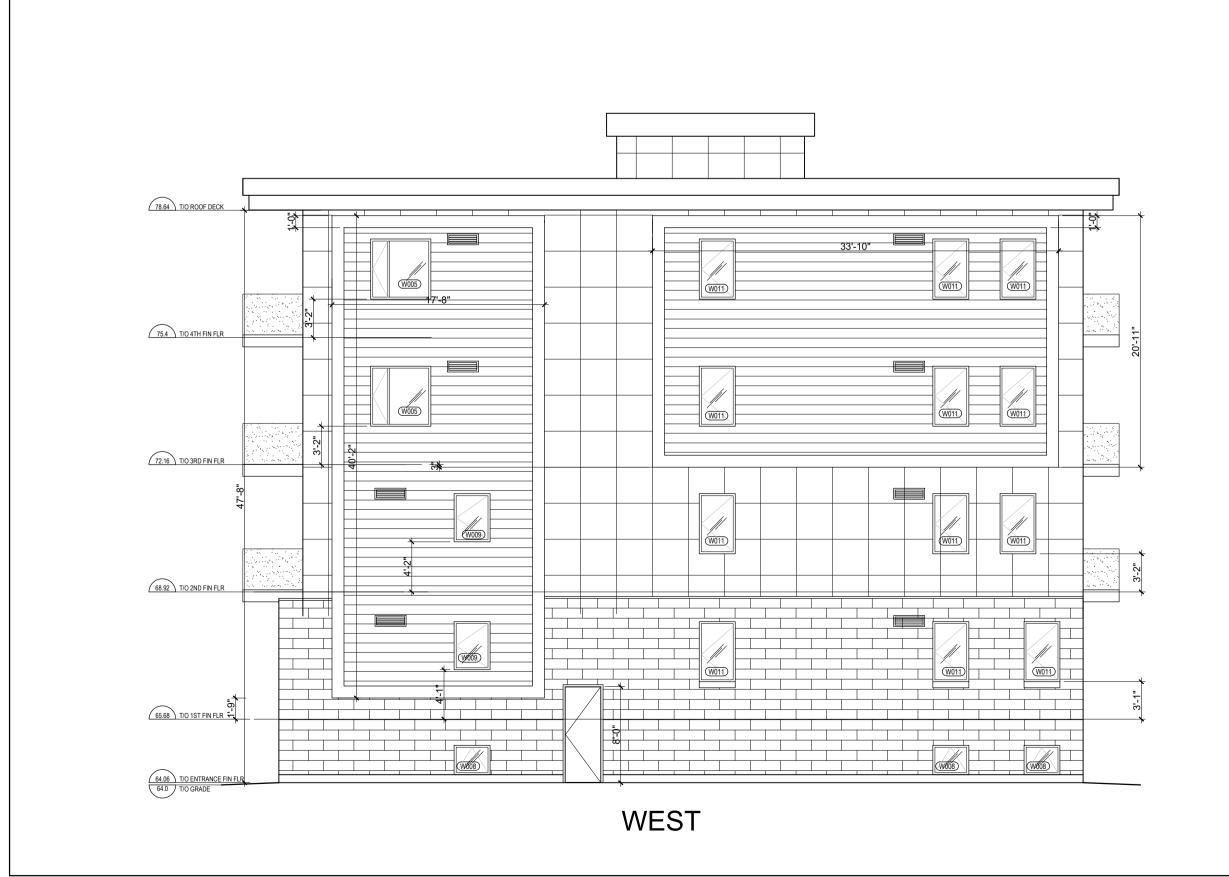


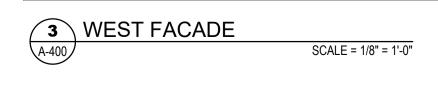






SCALE = 1/8" = 1'-0"





PROJECT NAME PULSE SOCIETES LTD.\ ORLEANS DEVELOPMENT - MSN

1108 Maisonneuve Street, Orleans (Ottawa), ON DRAWING TITLE

ELEVATIONS

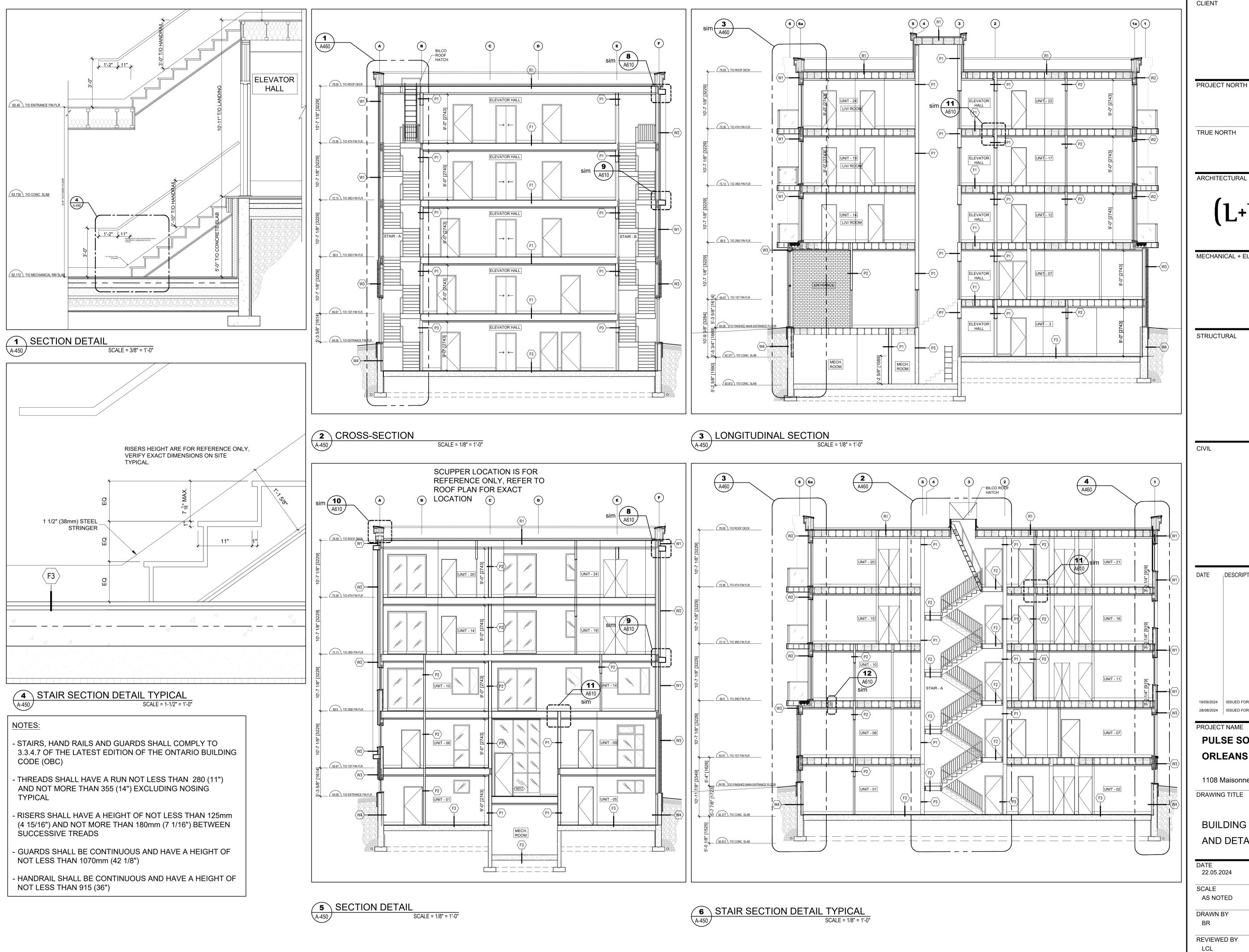
19/09/2024 ISSUED FOR PERMIT 28/08/2024 ISSUED FOR REVIEW

CLIENT

PROJECT NORTH

DATE 10/07/2024	PROJECT NO.
	24-002C
SCALE	24 0020
AS NOTED	
DRAWN BY	DRAWING NO.
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ARCHITECTURAL



MECHANICAL + ELECTRICAL

DESCRIPTION ISSUE, REV. 19/09/2024 ISSUED FOR PERMIT 28/08/2024 ISSUED FOR REVIEW

PROJECT NAME

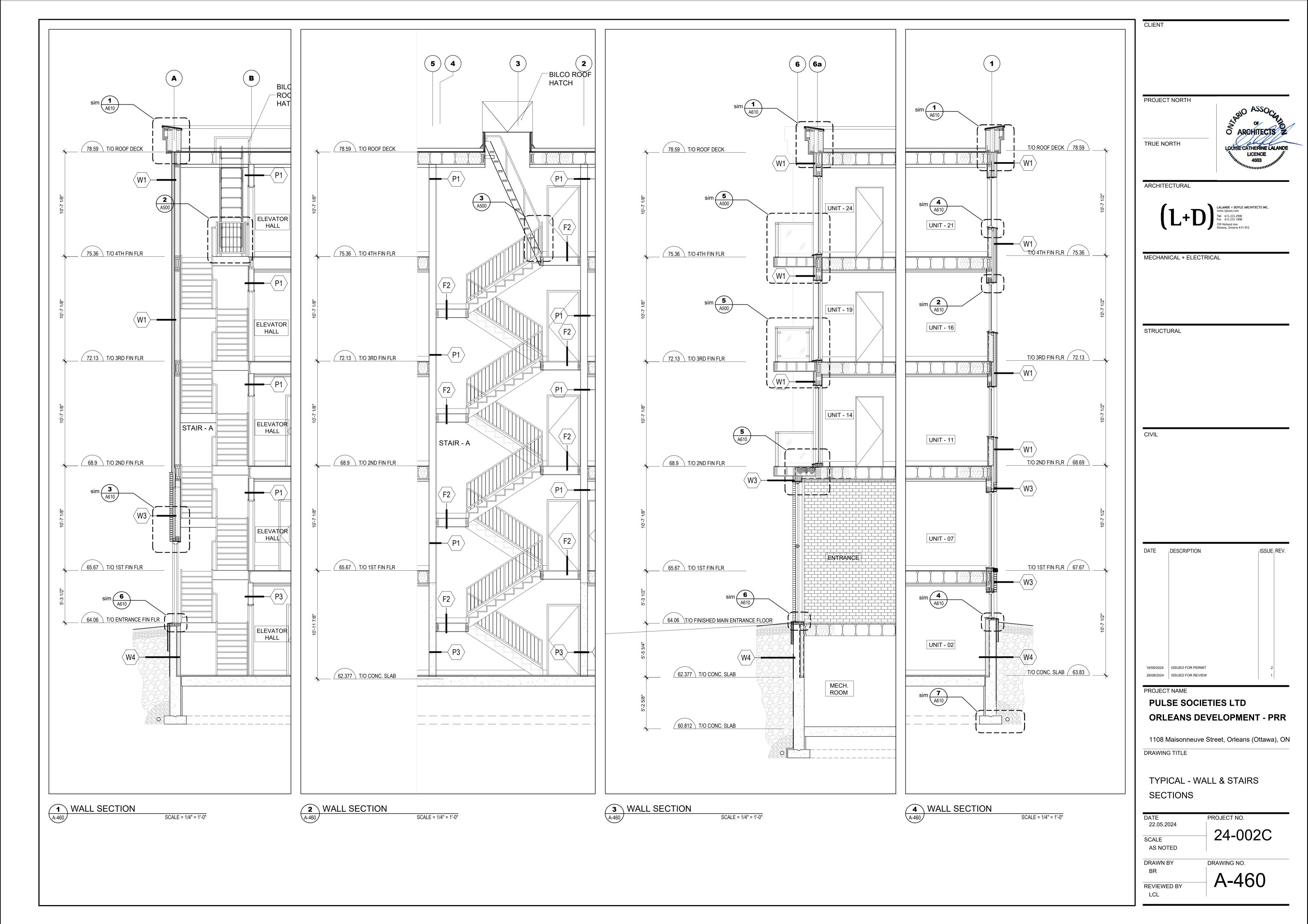
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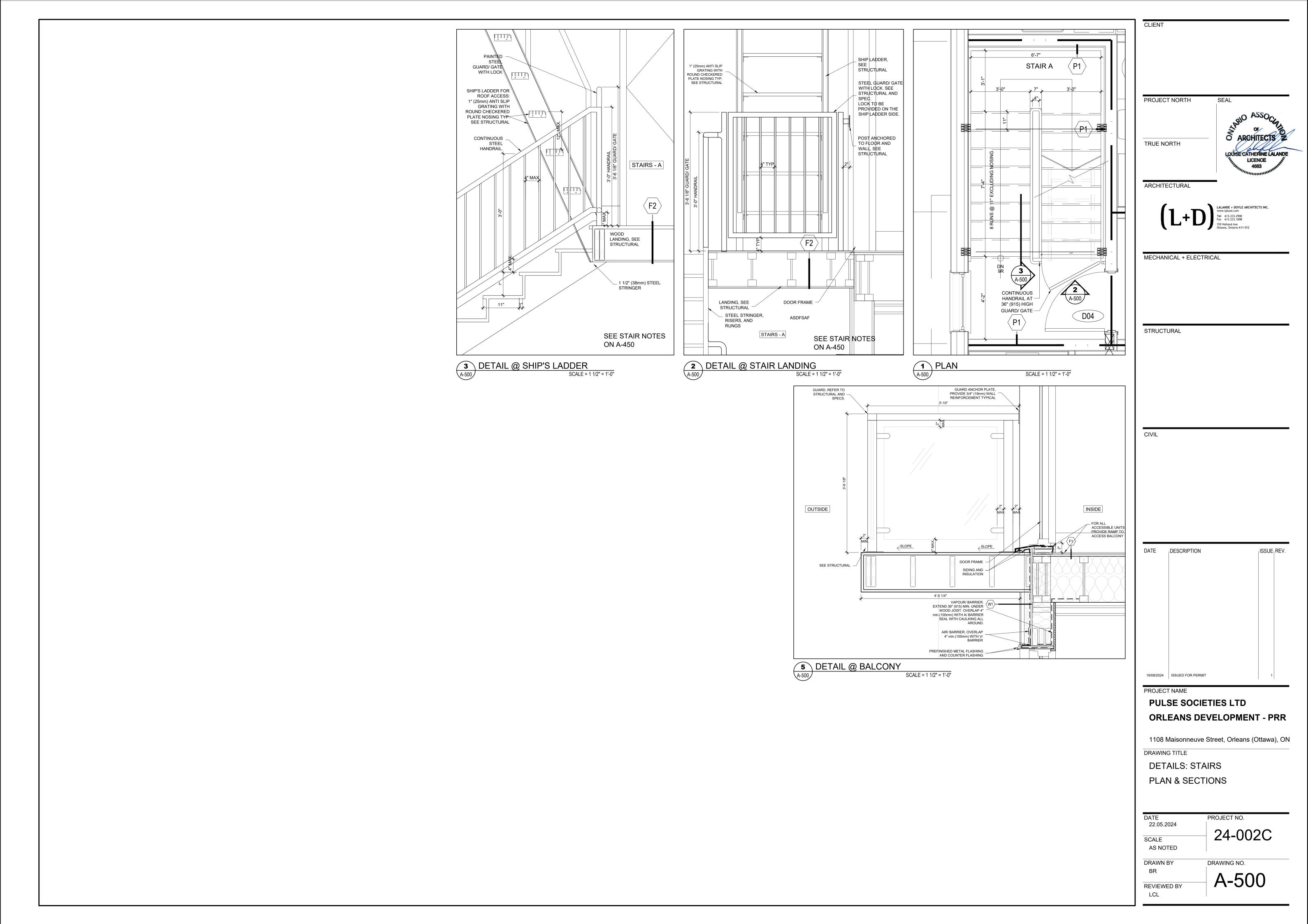
1108 Maisonneuve Street, Orleans (Ottawa), ON

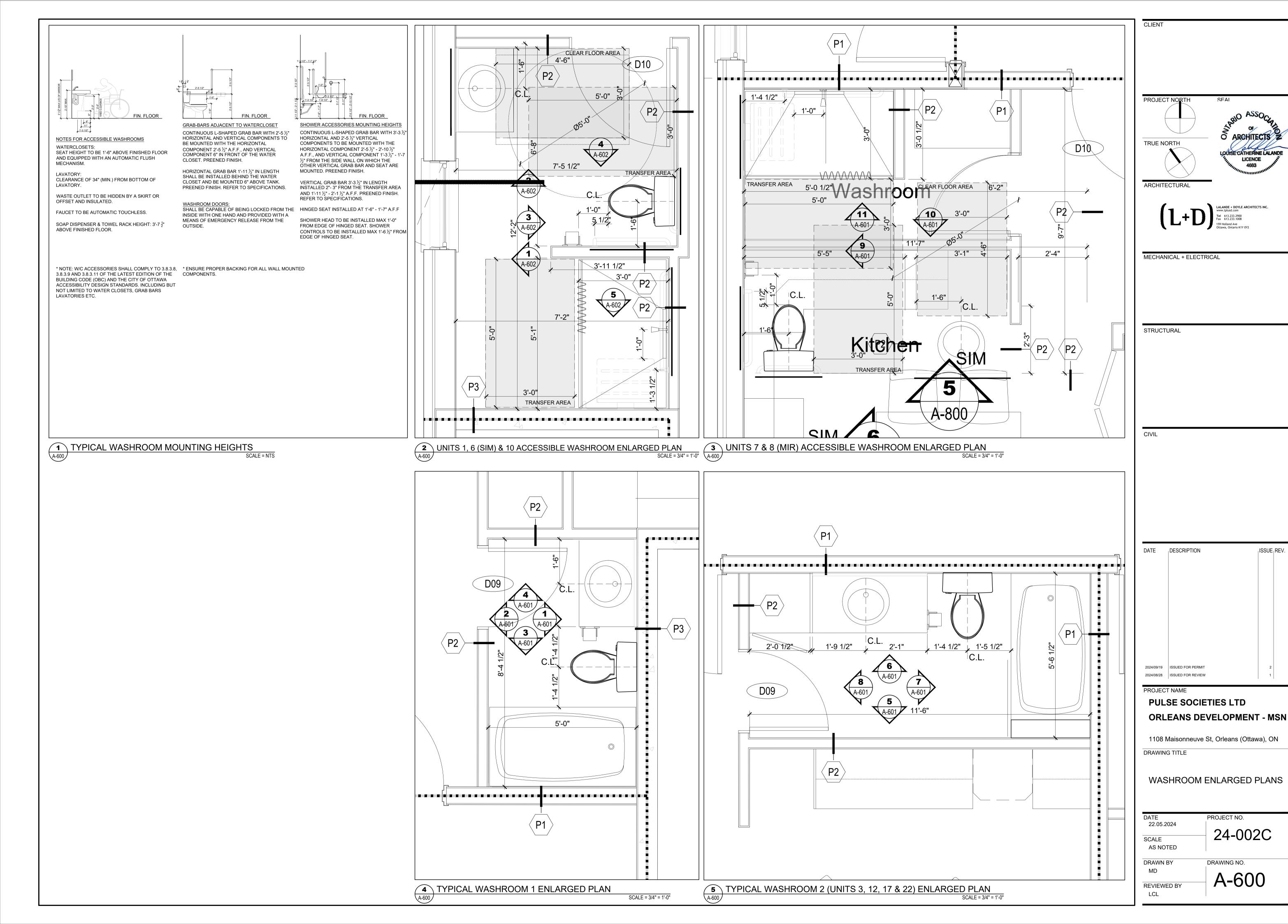
BUILDING SECTIONS AND DETAILS

PROJECT NO. 22.05.2024 24-002C AS NOTED

DRAWING NO. A-450







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