

02 KEY PLAN
A1.0 SCALE: N.T.S.

PROPERTY LEGAL DESCRIPTION		
PART 1		
PLAN 4R-35586		
PART OF LOTS 17 & 18 CONCESSION 1 (RIDEAU FRONT)		
GEOGRAPHIC TOWNSHIP OF NEPEAN CITY OF OTTAWA		
Prepared by Stantec Geomatics Ltd. Dated July 27, 2023		
BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	1,439m ²	15,490ft ²
GROSS FLOOR AREA:		
WAREHOUSE (PHASE I)	750m ²	8,137ft ²
WAREHOUSE (PHASE II)	327m ²	3,519ft ²
OFFICE	135m ²	1,453ft ²
SHOWROOM	221m ² (15% OF GFA)	2,379ft ²
MEZZANINE	92m ²	990ft ²
TOTAL	1,531m ²	16,478ft ²
PROJECT ZONING REVIEW STATISTICS		
MUNICIPALITY:	CITY OF OTTAWA	
MUNICIPAL ADDRESS:	100 BILL LEATHAM DRIVE	
REGISTERED OWNER:	CONTINENTAL FLOORING INC.	
LOT AREA:	4,530m ²	
ZONING ANALYSIS:		
OTTAWA ZONE:	IL9	
PROPOSED USE:	1 STOREY OFFICE + WAREHOUSE	

ZONING MECHANISM (IL9)	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	50m	82.2m
MINIMUM LOT AREA	3,000m ²	4,530m ²
MAXIMUM BUILDING HEIGHT	22m	8.1m
MINIMUM FRONT YARD SETBACK	6.0m	19.0m
MINIMUM REAR YARD SETBACK	6.0m	6.9m
MINIMUM INTERIOR YARD SETBACK	7.5m	7.5m
MAXIMUM LOT COVERAGE	60%	32%
MAXIMUM FLOOR SPACE INDEX	2	0.3
MINIMUM LANDSCAPE WIDTH ABUTTING STREET	3.0m	3.0m
PARKING & LOADING SPACE PROVISIONS		
MINIMUM REQUIRED VEHICLE PARKING SPACES	OFFICE: 2.4 PER 100m ² GFA = 12 SPACES (469m ²) WAREHOUSE: 0.8 PER 100m ² FOR FIRST 5,000m ² GFA = 8 SPACES (1,061m ²)	22 SPACES
PROVIDED PARKING	REGULAR SPACES (NEW) ACCESSIBLE SPACE (TYPE A) ACCESSIBLE SPACE (TYPE B) COMPACT SPACES*** (50% OF PARKING SPACES BY-LAW 2021-218, PART 4 - SECTION 106)	10 SPACES 1 SPACE 1 SPACE 10 SPACES
TOTAL		22 SPACES
BICYCLE PARKING REQUIRED	OFFICE USE - 1 PER 250m ² GFA = 2 SPACES WAREHOUSE USE - 1 PER 2,000m ² GFA = 1 SPACE	4 SPACES
MINIMUM AISLE WIDTH	PARKING LOT: 6.0m	6.7m
MINIMUM PARKING SPACE DIMENSIONS	LENGTH: 5.2m WIDTH: 2.6m UP TO 50% OF REQUIRED PARKING SPACES MAY BE 4.6m x 2.4m	LENGTH: 5.2m WIDTH: 2.6m 50% (10 SPACES PERMITTED) = 10 SPACES PROVIDED
PROVIDED LOADING	1 SPACE PER 1000-1999m ² OF OFFICE/WAREHOUSE	1
MINIMUM WIDTH OF DRIVEWAY ACCESSING LOADING SPACE	SINGLE TRAFFIC LANE - 3.5m	7.4m
MINIMUM WIDTH OF LOADING SPACE	3.5m	3.5m
MINIMUM LENGTH OF LOADING SPACE	9m	9m
MINIMUM VERTICAL CLEARANCE OF LOADING SPACE	4.2m	8.4m
MINIMUM LANDSCAPE WIDTH ABUTTING STREET	3.0m	3.0m
OUTDOOR REFUSE COLLECTION	MIN. SETBACK FROM A PUBLIC STREET: 9.0m MIN. SETBACK FROM ANY LOT LINE: 3.0m SCREENING MIN. HEIGHT: 2.0m	22.4m 5.0m 2.0m

NOTE#	NOTE
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY
(E)BU	EXISTING BUSHES - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
(E)OHV	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY
(E)RW	EXISTING RETAINING WALL - REFER TO SURVEY
(E)T	EXISTING TREE - REFER TO SURVEY
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY
B	BOLLARD, 6MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 6MM X 150MM BASE PLATE WITH 4 BOLT HOLES. SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 16MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.
BFPS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 150MM ABOVE GRADE AND NOT MORE THAN 200MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BF PARKING SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY-LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE" & FOUR-CORNER ACCESSIBLE.
BR	BIKE RACK - REFER TO LANDSCAPE
CC	CONCRETE CURB - REFER TO CIVIL
CP	CONCRETE PAD - REFER TO CIVIL
CSW	CONCRETE SIDEWALK - REFER TO CIVIL
CY	CANOPY C/W RECESSED POT LIGHTS - REFER TO ELECTRICAL
GM	GAS METER - REFER TO SITE SERVICING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL
RSL	ROOF STORM LINE - REFER TO CIVIL
RW	RETAINING WALL - REFER TO CIVIL
SL	SANITARY LINE - REFER TO CIVIL
STL	STORM LINE - REFER TO CIVIL
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP. RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE - REFER TO CIVIL
WTS	WATER SERVICE - REFER TO CIVIL
WTSL	WEAVING TILE STORM LINE - REFER TO CIVIL

SITE PLAN SYMBOLS	
	NEW OVERHEAD DOOR
	NEW DOOR / ENTRANCE
	BICYCLE PARKING SPACE (1.8Mx0.6M)
	NO PARKING LINES
	PARKING STALL COUNT PER ROW
	NEW SIGN, REFER TO SIGN LEGEND
	FIRE ROUTE SIGN
	STREET LIGHT
	DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
	VISITOR PARKING
	TWO WAY TRAFFIC
	DEPRESSED CURB (DC)
	TACTILE WALKING SURFACE INDICATORS (TWSI)
	PROPERTY LINE
	MINIMUM SETBACKS (ZONING)
	NEW CONSTRUCTION
	EXISTING BUILDINGS
	SOFT LANDSCAPING
	CONCRETE SIDEWALK
	BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	INDICATION OF COMPACT PARKING SPACES

01 SITE PLAN
A1.0 SCALE: 1:150

APPROVED
By Lily Xu at 4:06 pm, Nov 04, 2024

Lily Xu

LILY XU, MCIIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

CLIENT NAME: CONTINENTAL FLOORING

NOTES:
1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
3) DO NOT SCALE DRAWINGS.
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

PLANNER/CIVIL

NOVATECH ENGINEERING CONSULTANTS LTD.
240 MICHAEL COWPLAND DRIVE, SUITE 200
OTTAWA, ONTARIO, K2M 1P6
(P) 613 254-9643 (F) 613 254-5887

NOVATECH ENGINEERING CONSULTANTS LTD.

SEA: ARCHITECTS OF OTTAWA

17 2024.10.31 ISSUED FOR SPC RESPONSE 01 REV
16 2024.08.16 ISSUED FOR SPC REV
15 2024.07.09 ISSUED FOR SPC
14 2024.05.31 PHASE II - PRE-CONSULTATION
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03 2024.02.08 ISSUED FOR REVIEW
02 2024.02.02 ISSUED FOR REVIEW
01 2024.01.30 ISSUED FOR REVIEW

No. DATE REVISION

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 206 OTTAWA, ONTARIO K2E 8B7
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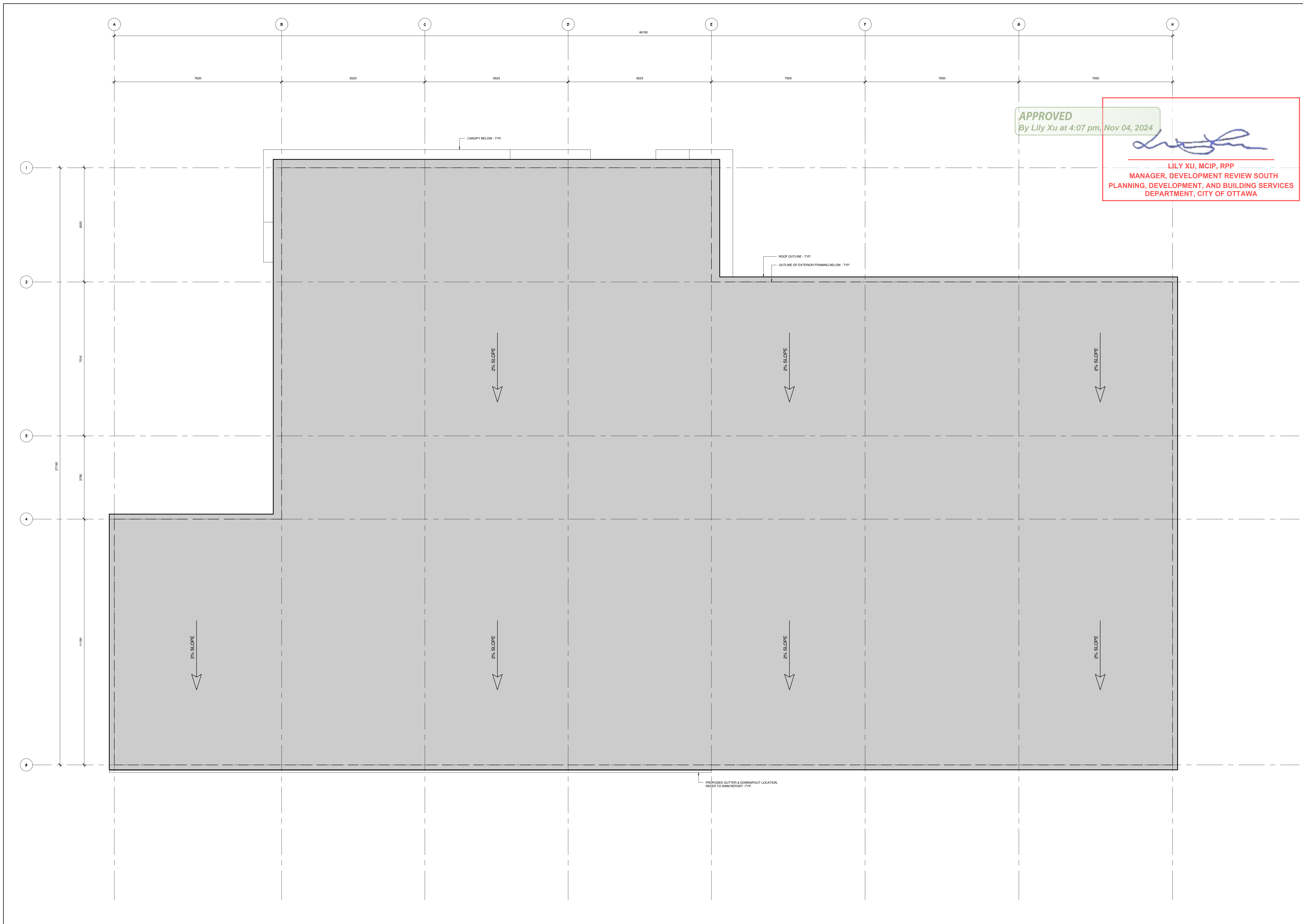
PROJECT: CONTINENTAL FLOORING OFFICE + WAREHOUSE
100 BILL LEATHAM, OTTAWA, ON

SHEET TITLE: SITE PLAN

DRAWN BY: B.L. CHECKED BY: S.L.
PLOT DATE: 2024.10.31 PROJECT DATE: 2024.01.16
JOB NUMBER: SL-1117-24 SCALE: 1:150
SHEET NUMBER: 1 OF 1

PLAN NUMBER: A1.0183

FILE NUMBER: D07-12-24-0092

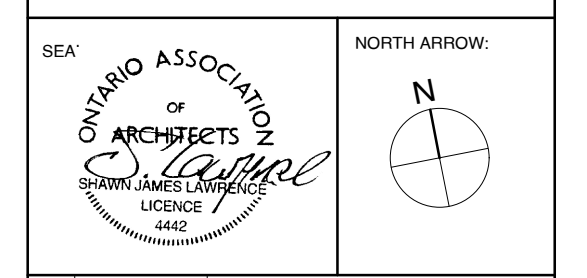


APPROVED
By Lily Xu at 4:07 pm, Nov 04, 2024

[Signature]
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

CLIENT NAME:
CONTINENTAL FLOORING

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01	2024.01.30	ISSUED FOR REVIEW

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PROJECT:
**CONTINENTAL FLOORING
OFFICE + WAREHOUSE**
100 BILL LEATHER, OTTAWA, ON

SHEET TITLE:
ROOF PLAN

DRAWN BY: B.L. CHECKED BY: S.L.
PLOT DATE: 2024.10.31 PROJECT DATE: 2024.01.16
JOB NUMBER: SL-1117-24 SCALE: 1:75
SHEET NUMBER:

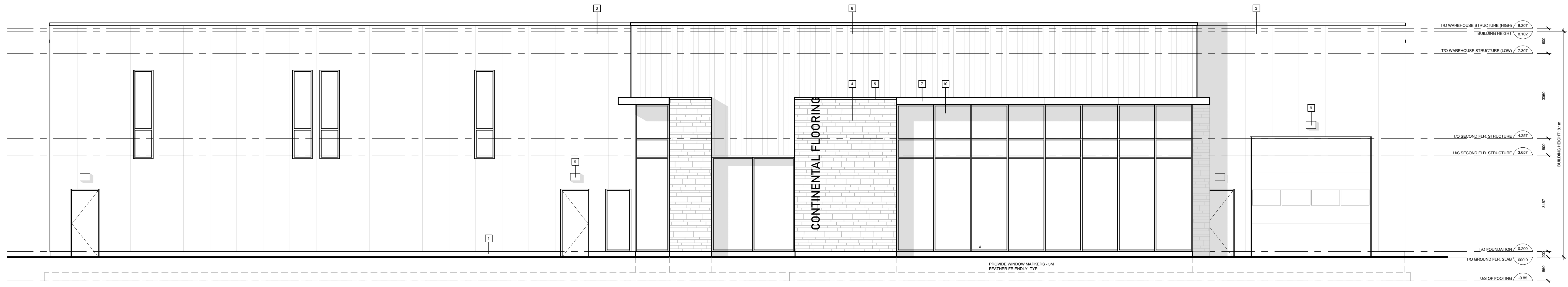
01 ROOF PLAN
A2.2
SCALE: 1:75

A2.2
PLAN NUMBER: #19183

FILE NUMBER: D07-12-24-0092

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- MATERIAL LEGEND:**
- 1 CEMENT PARPING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
 - 2 METAL ROOFING - TBD
 - 3 PRE-FINISHED INSULATED METAL PANELS - COLOUR AND PROFILE TBD
 - 4 STONE VENEER - TBD
 - 5 3" PRECAST CONCRETE SILL
 - 6 WALL SCONCE
 - 7 ARCHITECTURAL CANOPY
 - 8 METAL SIDING - COLOUR AND PROFILE TBD
 - 9 EXTERIOR LIGHTING - TBD
 - 10 ALUMINUM WINDOW WALL C/W BIRD SAFE MITIGATIONS & GLAZING. COLOUR & PROFILE - TBD



APPROVED
By Lily Xu at 4:07 pm, Nov 04, 2024

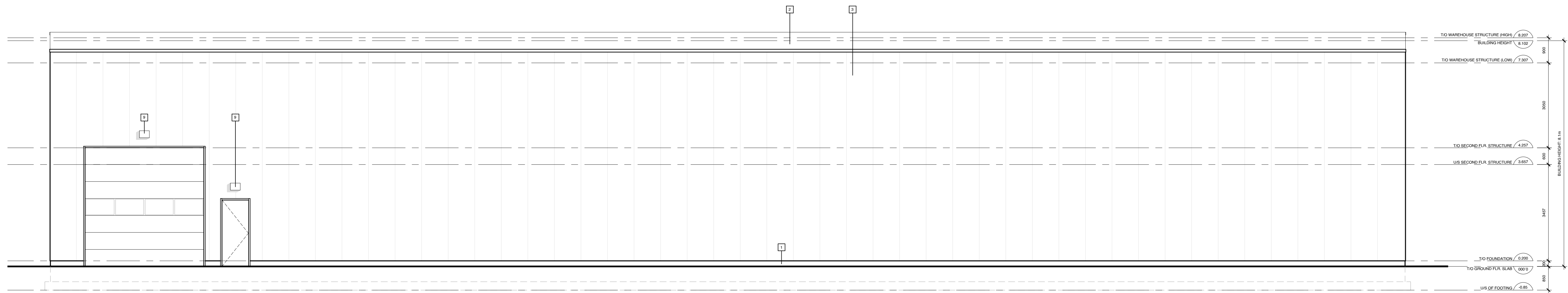
[Signature]
LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, DEVELOPMENT, AND BUILDING SERVICES
 DEPARTMENT, CITY OF OTTAWA

01 NORTH (FRONT) ELEVATION
A3.0 SCALE: 1/75

SEA: **ONTARIO ASSOCIATION OF ARCHITECTS**
 SHAWN J. LAWRENCE ARCHITECT INCORPORATED
 442

NORTH ARROW:

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02 SOUTH (REAR) ELEVATION
A3.0 SCALE: 1/75

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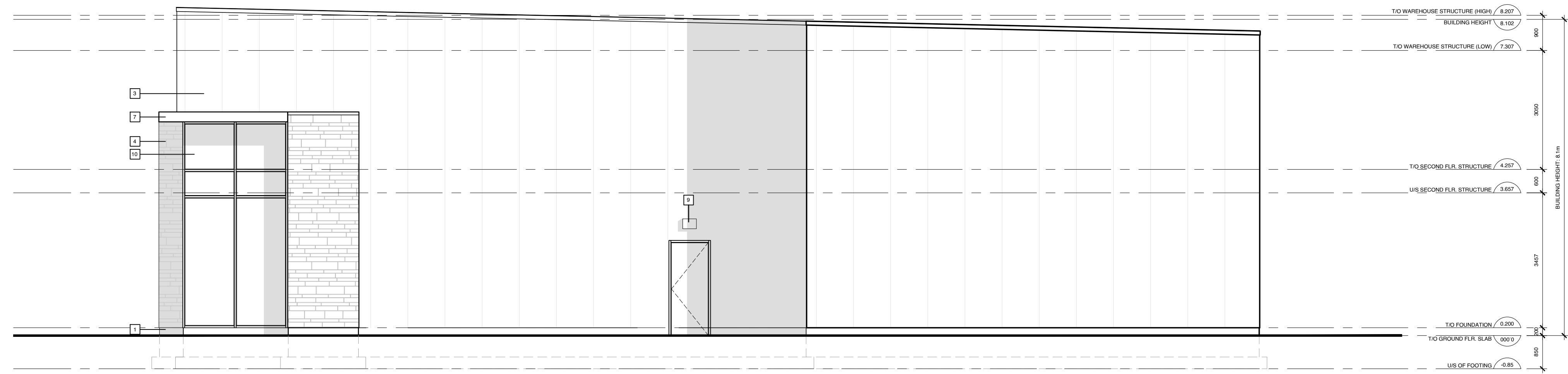
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PROJECT:
CONTINENTAL FLOORING OFFICE + WAREHOUSE
 100 BILL LEATHER, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

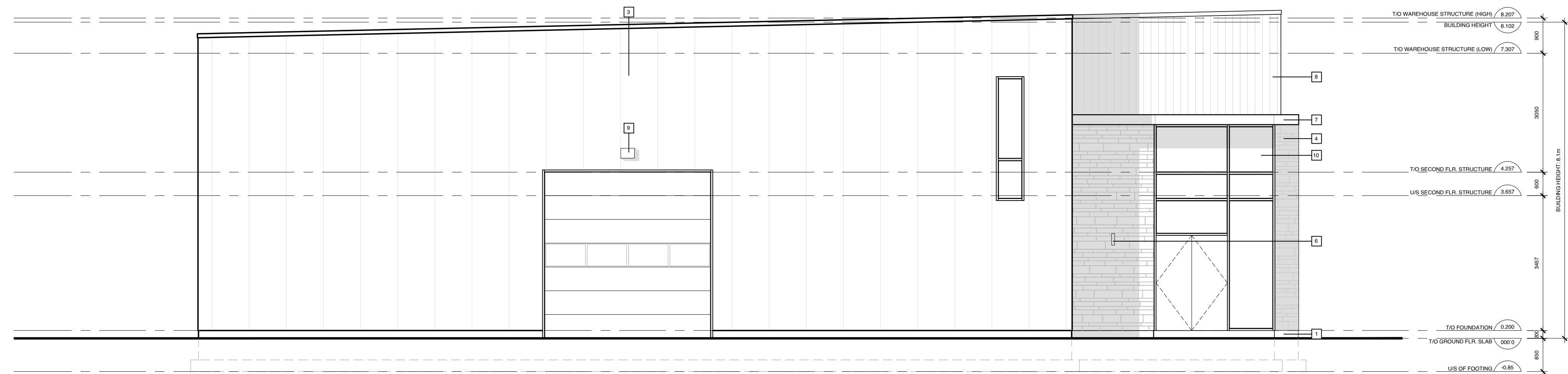
DRAWN BY: B.L. CHECKED BY: S.L.
 PLOT DATE: 2024.10.31 PROJECT DATE: 2024.01.16
 JOB NUMBER: SL-1117-24 SCALE: AS SHOWN
 SHEET NUMBER:



APPROVED
By Lily Xu at 4:06 pm, Nov 04, 2024

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

01 WEST (LEFT) ELEVATION
A3.1 SCALE: 1/75



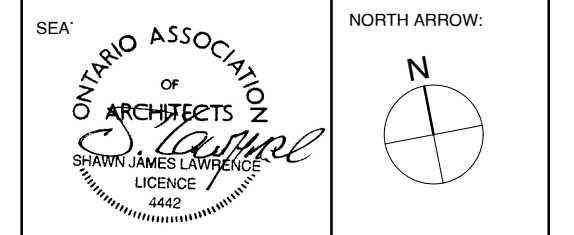
02 EAST (RIGHT) ELEVATION
A3.1 SCALE: 1/75

CLIENT NAME:
CONTINENTAL FLOORING

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MATERIAL LEGEND:

- 1 CEMENT PARGING ON ALL EXPOSED FOUNDATION TO 6" BELOW GRADE
- 2 METAL ROOFING - TBD
- 3 PRE-FINISHED INSULATED METAL PANELS - COLOUR AND PROFILE TBD
- 4 STONE VENEER - TBD
- 5 3" PRECAST CONCRETE SILL
- 6 WALL SCONCE
- 7 ARCHITECTURAL CANOPY
- 8 METAL SIDING - COLOUR AND PROFILE TBD
- 9 EXTERIOR LIGHTING - TBD
- 10 ALUMINUM WINDOW WALL C/W BIRD SAFE MITIGATIONS & GLAZING. COLOUR & PROFILE - TBD



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**CONTINENTAL FLOORING
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100 BILL LEATHER, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

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PLOT DATE: 2024.10.31 PROJECT DATE: 2024.01.16

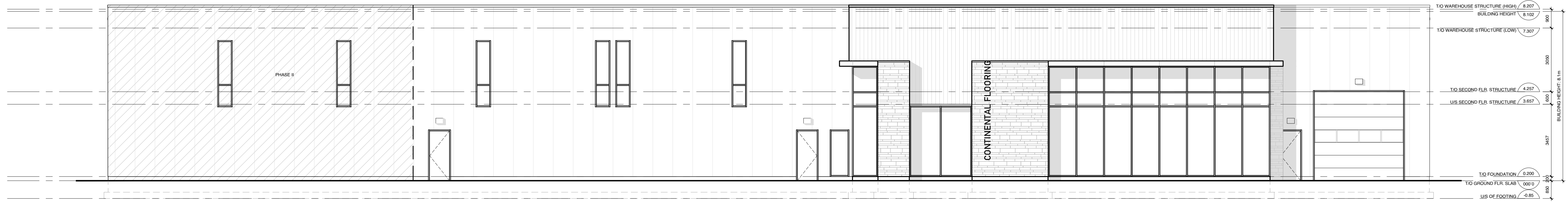
JOB NUMBER: SL-1117-24 SCALE: AS SHOWN

SHEET NUMBER:

A3.1

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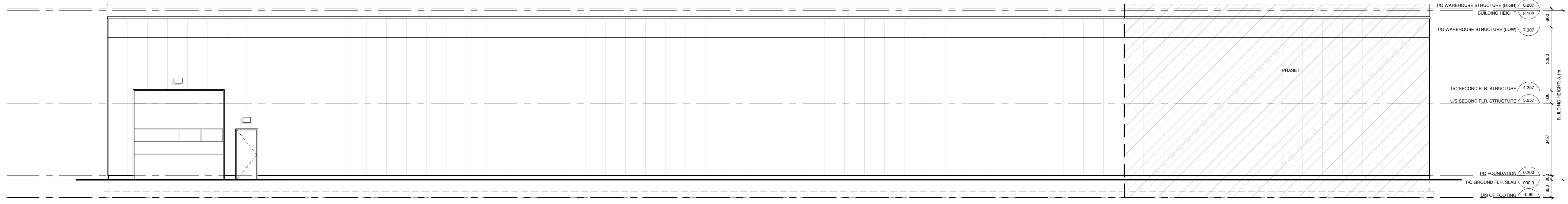
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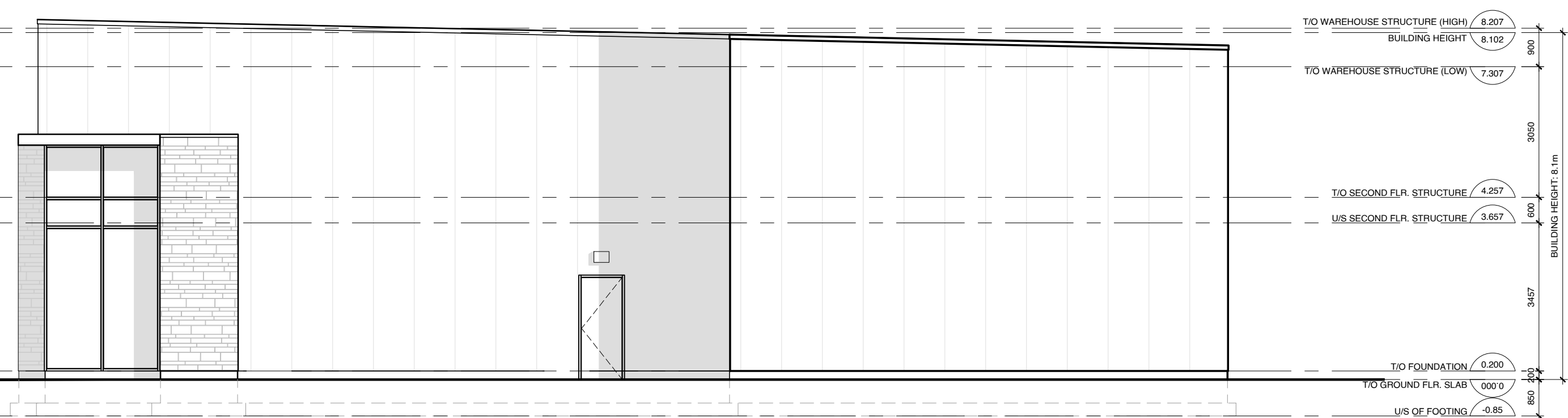
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By Lily Xu at 4:06 pm, Nov 04, 2024

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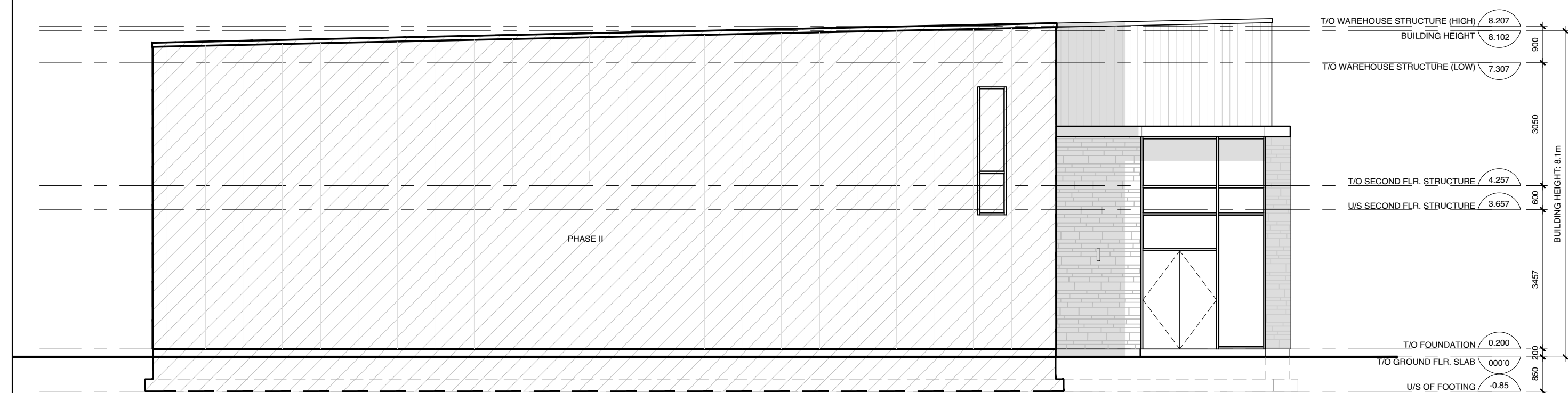
01 NORTH (FRONT) ELEVATION INCLUDING PHASE II
A3.2 SCALE: 1:100



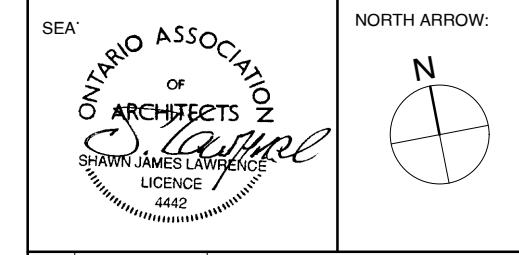
02 SOUTH (REAR) ELEVATION INCLUDING PHASE II
A3.2 SCALE: 1:100



03 WEST (LEFT) ELEVATION INCLUDING PHASE II
A3.2 SCALE: 1:100



04 EAST (RIGHT) ELEVATION INCLUDING PHASE II
A3.2 SCALE: 1:100



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02	2024.02.02	ISSUED FOR REVIEW
01	2024.01.30	ISSUED FOR REVIEW

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PROJECT:
CONTINENTAL FLOORING OFFICE + WAREHOUSE
100 BILL LEATHAM, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: S.L.
PLOT DATE: 2024.10.31 PROJECT DATE: 2024.01.16
JOB NUMBER: SL-1117-24 SCALE: AS SHOWN
SHEET NUMBER: PLAN NUMBER: # 19183