

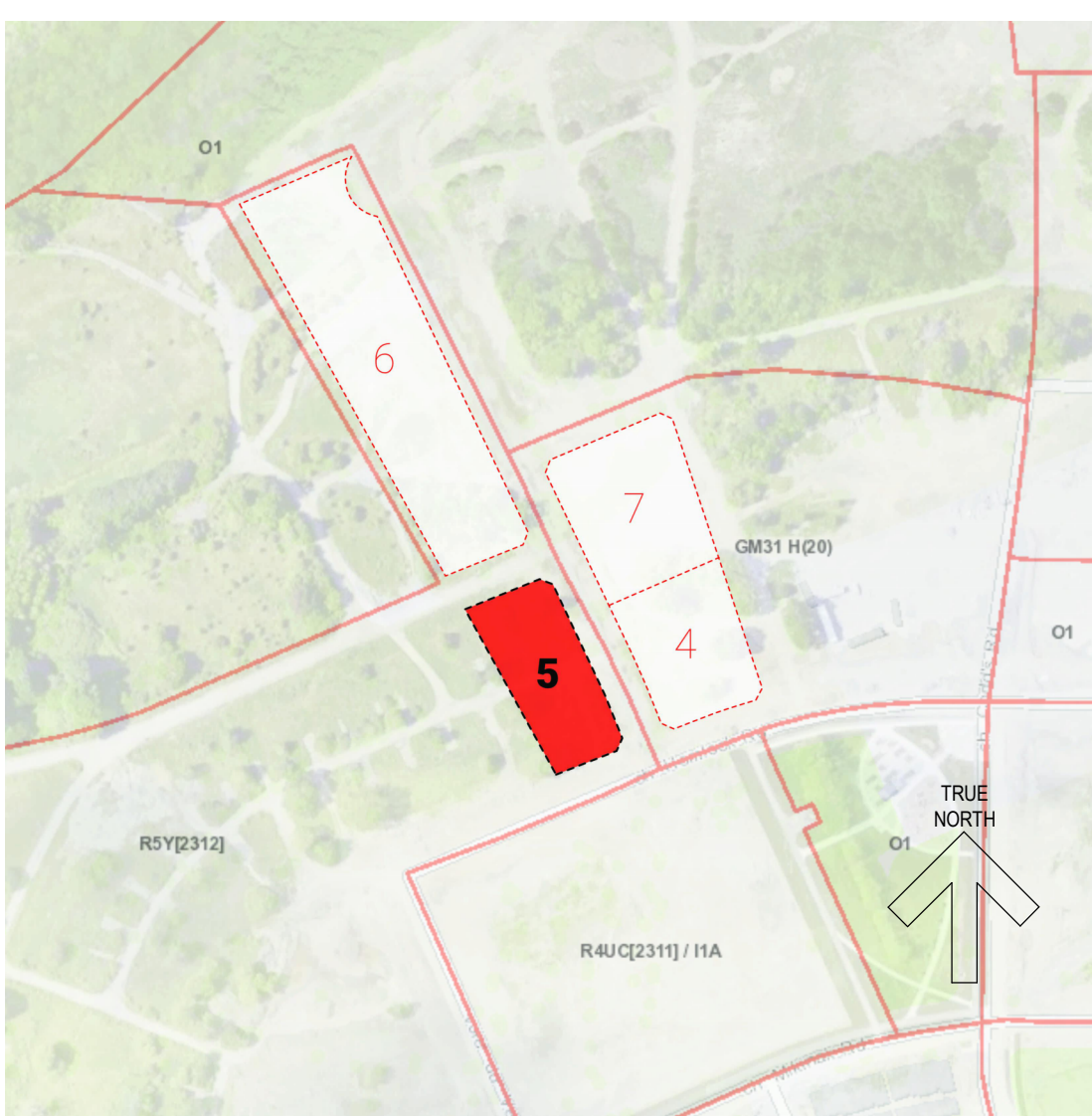
**GENERAL NOTES**

- ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED MARCH 31st, 2023 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- WHEEL STOPS TO BE 100MM HIGH AND PLACED 600MM FROM FRONT OF PARKING STALL. TYP.
- ANY SNOW ACCUMULATED IN SURFACE PARKING AREAS IS TO BE TRUCKED OFF SITE.
- FIRE FIGHTING TO TAKE PLACE FROM HEMLOCK ROAD.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING, SITE LIGHTING, AND FURNITURE DETAILS.
- REFER TO CIVIL DRAWINGS FOR SERVING AND GRADING.

**SITE PLAN LEGEND**

- ▲ PRINCIPAL ENTRY
- ➔ VISITOR PARKING
- ➔ DIRECTION OF TRAVEL
- T PROPOSED TRANSFORMER LOCATION
- ⊕ FIRE HYDRANT
- B.F. BARRIER-FREE PARKING SIGNAGE
- VIS VISITOR PARKING SIGNAGE
- NO NO PARKING SIGNAGE
- F FIRE LANE SIGNAGE
- S STOP SIGN
- CONCRETE ROAD OVER UNDERGROUND PARKING
- CONCRETE
- LANDSCAPING - SOD
- LANDSCAPING - PEA GRAVEL
- LANDSCAPING - OTHER
- LOW IMPACT DEVELOPMENT AREA
- TREE TO BE TRANSPLANTED - ORIGINAL LOCATION
- TREE TO BE TRANSPLANTED - NEW LOCATION

**1 BLOCK 5 SITE PLAN**  
SCALE: 1:200



**SITE CONTEXT MAP**

**Site Information**

<b>LAND USE DISTRICT</b>	RSY [2312]	Residential Fifth Density Zone, Subzone Y, Urban Exception Z312
<b>LEGAL DESCRIPTION / PIN</b>	Block 5, Registered Plan 4M-1718/ PIN 04273-1231	
<b>MUNICIPAL ADDRESS</b>	1255 Hemlock Road, Ottawa, ON	
<b>COMMUNITY</b>	Wateridge Village	
<b>SITE AREA</b>	4,174 SM Required: 450 SM	44,930 SF 1.03 AC 0.417 HA
<b>AMENITY AREA</b>	Required: 606 SM Total amenity area: 606 SM Communal amenity area: 120 SM	Provided: 1,689 88 SM 189 45 SM
<b>LOT WIDTH</b>	Required: 18.0m Provided: 39.29m	

**Development Statistics**

<b>PROPOSED USES</b>	One (1) Apartment Dwelling, Low Rise; one (1) accessory utility installation structure in rear yard
<b>UNITS TOTAL</b>	89
<b>SETBACKS</b>	Required: 5.0m (Front yard (Hemlock Road)), 3.0m (Corner side yard (Oshedinna Street)), 5.0m (Rear yard (Kijigong Street)), 3.0m (Interior side yard) Provided: 5.11m, 3.50m, 12.33m, 4.01m
<b>PROJECTIONS INTO SETBACKS</b>	Greatest: 1.80m (Front yard (Hemlock Road)), 0.64m (Corner side yard (Oshedinna Street)), None (Rear yard (Kijigong Street)), 0.61m (Interior side yard)
<b>DENSITY</b>	Units/ Ha: 105 (Minimum), N/A (Maximum), 213 (Proposed)
<b>HEIGHT</b>	Maximum: 16.00m, Proposed: 13.79m
<b>SITE COVERAGE</b>	41.66%

**Area Calculations**

BLDG / LEVEL	GROSS FLOOR AREA	
	SF	SM
<b>BUILDING A</b>		
LEVEL 1	18,719.1	1,739.06
LEVEL 2	18,466.8	1,715.62
LEVEL 3	18,466.8	1,715.62
LEVEL 4	18,466.8	1,715.62
<b>GFA</b>	<b>74,119.4</b>	<b>6,885.91</b>
<b>TOTAL GFA</b>	<b>74,119 SF</b>	<b>6,886 SM</b>
<b>SITE COVERAGE</b>	18,719 SF	1,739 SM
		41.66%

**Area Calculations - Parkade**

BLDG / LEVEL	GROSS FLOOR AREA		UNDERGROUND PARKING # OF STALLS
	SF	SM	
<b>BUILDING A</b>			
PARKADE	31,628.1	2,938.34	89

**Landscape Calculations**

BLOCK 5	AREA
<b>HARDSCAPE</b>	<b>330</b>
CONCRETE	295
UNIT PAVER	27
PEA GRAVEL	8
<b>SOFTSCAPE</b>	<b>1,134</b>
PLANT BEDS	646
SOD	488
<b>TOTAL</b>	<b>1,464 SM</b>
<b>SITE COVERAGE</b>	35.1%

**Vehicle Parking**

TYPE	RATE	UNITS	STALLS	
			REQUIRED	PROVIDED
<b>Building A</b>				
Resident	0.50 stalls/unit	89	35	89
Visitor	0.10 stalls/unit	89	8	8
Barrier-Free	Traffic & Parking Bylaw, Part C	89	1 of 89	2
<b>Total Stalls</b>			<b>42</b>	<b>97</b>
			Deficiency	55
			Surplus	

\*NOTE: Required resident parking determined by: total units - 12 units, x required rate, x 10% reduction for all below grade stalls  
\*NOTE: Required visitor parking determined by: total units - 12 units, x required rate

**Unit Types - Building A**

IDENTIFIER	SIZE	DESCRIPTION		PROVIDED AREA	SQ.FT.	BUILDING A		QTY....	%
		BEDROOM	WASHROOM			UNIT	%		
UNIT A	< 60 SM			46.38	499.25	11	11	12.36%	
UNIT B2	< 60 SM	1	1	50.82	547.02	8	8	8.99%	
UNIT B	< 60 SM	1 + DEN	1	57.42	618.11	36	36	40.45%	
GIALLO	< 60 SM	1 + DEN	1	64.32	692.37	4	4	4.49%	
AZURRO	< 60 SM	1 + DEN	1	59.08	635.91	3	3	3.37%	
GRIGIO	< 60 SM	1 + DEN	1	64.65	695.89	3	3	3.37%	
ARGENTO	> 60 SM	2	2	87.24	939.04	16	16	17.98%	
UNIT G	> 60 SM	2	2	81.82	880.70	1	1	1.12%	
ORO	> 60 SM	2 + DEN	2	89.90	967.69	3	3	3.37%	
UNIT I	> 60 SM	3	2	109.21	1175.53	4	4	4.49%	
<b>BUILDING TOTAL</b>						89	89		
<b>TOTAL</b>						89	89	100%	

**Accessible Suite Breakdown - Building A**

TYPE	QUANTITY	ACTUAL %	TYPE %	TOTALS
STUDIO / 1 BEDROOM	19	21.35%		
1 BEDROOM + DEN	46	51.69%	73.0%	65
<b>1 BEDROOM ACCESSIBLE</b>	<b>11</b>	<b>12.36%</b>		
2 BEDROOM	17	19.10%		
2 BEDROOM + DEN	3	3.37%	22.5%	20
<b>2 BEDROOM ACCESSIBLE</b>	<b>4</b>	<b>4.49%</b>		
3 BEDROOM	4	4.49%		
3 BEDROOM ACCESSIBLE	1	1.12%	4.5%	4
<b>SUBTOTAL</b>	<b>89</b>	<b>100%</b>		
<b>ACCESSIBLE TOTALS</b>	<b>16</b>	<b>17.98%</b>		

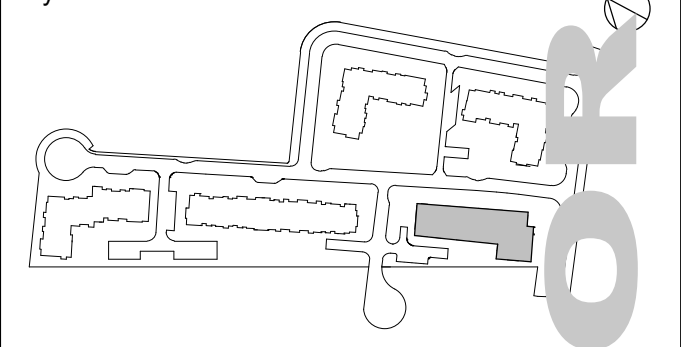
DATE	ISSUED FOR	REV
2023-12-20	PRE-SPA REVIEW	A
2024-03-05	PRE-SPA REVIEW	B
2024-05-21	PRE-SPA REVIEW	C
2024-08-13	SPA SUBMISSION	D



This drawing has been prepared solely for the use of ROHIT COMMUNITIES and there are no representations of any kind made by NORR Architects Engineers Planners to any party with whom NORR Architects Engineers Planners has not entered into a contract.

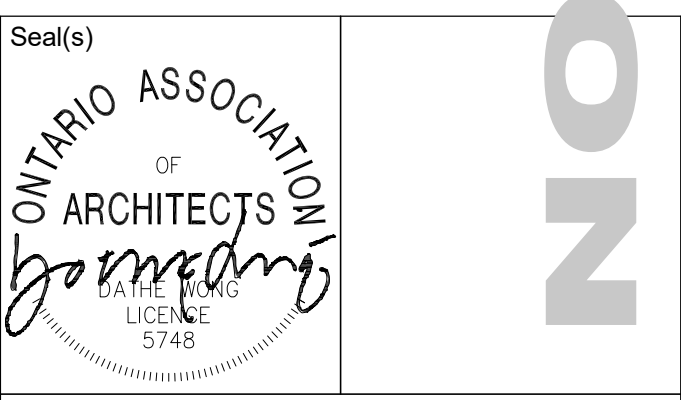
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component  
**SITE PLAN CONTROL APPLICATION**



**Consultants**

- Civil: Arcadis Professional Services (Canada) Inc.
- Landscape: Arcadis Professional Services (Canada) Inc.
- Architecture: NORR Architects Engineers Planners
- Structural: Cunliffe & Associates
- Mechanical: Goodley, Weedmark & Associates Ltd.
- Electrical: Goodley, Weedmark & Associates Ltd.
- Owner: Rohit at Wateridge S.Ltd.



**NORR**  
NORR Architects & Engineers Ltd.  
55 Murray Street, Suite 600  
Ottawa, ON, Canada K1N 5M3  
norr.com

Project Manager: M.EISELEN  
Project Leader: O.BREYTENBACH  
Checked: E.FAULKNER

**Client**  
**ROHIT COMMUNITIES**

550 91 ST SW #101, EDMONTON, AB T6X 0V1

Project  
**Wateridge Village Block 5**

1255 HEMLOCK ROAD  
OTTAWA, ON

Drawing Title  
**SITE PLAN, CONTEXT, AND STATISTICS**

Scale  
As indicated

Project No.  
NCCA22-0243

Drawing No.  
**DP10-01**