

LEGAL DESCRIPTION

PLAN OF SURVEY OF
PART OF LOT 20
CONCESSION 2 (Ottawa Front)
Township of Nepean
NOW CITY OF OTTAWA
PART OF DUMAURIER AVENUE
(As Closed by By-Law 372-78 Inst. NS41961)
AND PART OF THE 1st RESERVE
REGISTERED PLAN 479600
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF
OTTAWA-CARLETON
Prepared by Annis, O'Sullivan, Vollebakk Ltd.

PROJECT DEVELOPER

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DRAWING NOTES:

- PROPERTY LINE
- BUILDING / HEIGHT SETBACK LINE
- OUTLINE OF TOWER
- LINE OF PODIUM (L2-L4) LEVEL
- LINE OF PARKING GARAGE BELOW
- RAMP TO U/G GARAGE (BELOW GRADE)
- EXISTING FIRE HYDRANT
- EXISTING COMMERCIAL BUILDING
- 2.0M WIDE CONCRETE SIDEWALK C/W DEPRESSED CURBS AT DRIVEWAY ENTRANCE
- BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK
- SIAMSESE CONNECTION
- REAR YARD LANDSCAPE SETBACK
- LINE OF U/G HYDRO VAULT
- 2.6 X 5.2m STANDARD PARKING SPACES
- AREA OF TEMPORARY SNOW STORAGE
- NEW 2.0M W. CONCRETE SIDEWALK AS PER CITY STANDARDS C/W DEPRESSED CURB @ DRIVEWAY
- SOFT LANDSCAPING
- HARD LANDSCAPING - PAVERS
- EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK
- CONCRETE RETAINING WALL C/W STONE FACE. PROVIDE GUARD IF GRADE CHANGE EXCEEDS 600mm - SEE SECTION DETAIL A-AA
- EXISTING TREE TO BE REMOVED - SEE LANDSCAPE
- LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS
- LIGHT STANDARD - SEE ELECTRICAL LIGHTING CERTIFICATE
- CATCH BASIN / TRENCH DRAIN - SEE CIVIL & MECH.
- NEW CURB TO TIE INTO EXISTING - SEE CIVIL
- 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS
- RAISED COMMERCIAL TERRACE - SEE GRADING AND LANDSCAPE PLANS
- GARBAGE TRUCK LOADING/BACKUP. HATCH INDICATES PAINTED LINES
- EXISTING STM TO BE REMOVED/RELOCATED - SEE CIVIL
- SEE CIVIL DRAWINGS FOR ALL SERVICING WORK BEYOND PROPERTY LINE OF PROPOSED APPLICATION
- RETAINING EXISTING STREET TREE - SEE LANDSCAPE
- GAS PRESSURE RELEASE STATION
- EXISTING HYDRO POLE TO BE REMOVED
- EXHAUST/INTAKE FOR PARKING GARAGE, FLUSH TO GRADE
- EXISTING ASPHALT PARKING LOT & ENTRANCE
- B/F PARKING AS PER CITY STANDARD. ONE TYPE 'A' & ONE TYPE 'B' SPACE
- PRIVATE ENTRANCE CROSSING AS PER CITY OF OTTAWA STANDARDS SC-7.1
- HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY. PROVIDE GUARD WHEN ADJACENT GRADE TO RAMP EXCEEDS 600mm
- PAINTED LINES TO INDICATE PEDESTRIAN CROSSING
- RAISED PLANTER - SEE LANDSCAPE
- LINE OF WATER ENTRY ROOM BELOW
- RETAINING WALL - SEE LANDSCAPE AND CIVIL
- CISTERN ACCESS COVERS - SEE CIVIL
- L5 PERGOLA STRUCTURE ABOVE - SEE LANDSCAPE
- LINE OF ELECTRICAL ROOM BELOW
- 5th LEVEL EXTERIOR AMENITY TERRACE WITH 1.8m HT. WIND SCREEN
- CONCRETE STEPS
- FIRE HYDRANT
- LINE OF BALCONY ABOVE
- EXISTING UTILITY POLE
- EXISTING CHAIN LINK FENCE TO BE REPLACED AS REQUIRED
- EXIT STAIR PROJECTION AT L5 EXTERIOR TERRACE
- 2.0M H. OPAQUE SCREEN FOR GARBAGE

SITE PLAN SYMBOLS:

- EXTERIOR COMMUNAL LANDSCAPE AREA
- CONCRETE SIDEWALK
- COMMERCIAL PATIO / CONCRETE PAVERS
- PAVERS @ TERRACE LEVEL
- TWIS CROSSING AS PER CITY OF OTTAWA STANDARDS
- AREA OF MAIN TOWER ABOVE
- PROPERTY LINE
- BUILDING SETBACK LINE
- 11.5M TOWER SETBACK LINE
- PROPOSED STORM SERVICE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- FENCE / GUARD LINE
- BIKE RACK
- FIRE HYDRANT
- VEHICULAR DIRECTION
- EXISTING TREE TO BE REMOVED - SEE LANDSCAPE DRAWINGS
- EXISTING TREE TO BE RETAINED - SEE LANDSCAPE DRAWINGS
- NEW TREE - SEE LANDSCAPE PLANS
- SIAMSESE CONNECTION
- PRIMARY ENTRANCE / EGRESS DOOR
- SECONDARY DOOR
- GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS
- NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

PROJECT INFORMATION

ZONING
Zoning By-Law 2008-250 GM (62) F (0.25)

SITE AREA
4,195.2 sq. m. (45,157) sq. ft.

BUILDING HEIGHT
18.0 m

FRONT YARD SETBACK
3.0 m

INTERIOR YARD SETBACK
0.0 m

REAR YARD SETBACK
7.5 m

AMENITY SPACE (6.0 m² PER UNIT)
2,532.0 m²

PROJECT STATISTICS

BUILDING HEIGHT	126.0 m
BUILDING HEIGHT - STOREYS	40
AVERAGE MEAN GRADE (GEO. ELEV.)	74.20
FRONT YARD SETBACK	5.9 m
INTERIOR YARD SETBACK	0.0 m
REAR YARD SETBACK	15.7 m

GROSS BUILDING - AREAS
(PER CITY OF OTTAWA ZONING AREA DEFINITION)

PARKING LEVEL	0.0 sq. m. 000 sq. ft.
GROUND FLOOR	1335.0 sq. m. 14,370 sq. ft.
2nd to 4th FLOOR	3 x 1,455.2 sq. m. 3 x 15,665 sq. ft. 4,365.6 sq. m. 46,995 sq. ft.
5th FLOOR	710.7 sq. m. 7,650 sq. ft.
6th - 38th FLOOR	33 x 710.7 sq. m. 23,453.1 sq. m. 252,450 sq. ft.
38th - 40th FLOOR	2 x 534.5 sq. m. 1,069.0 sq. m. 11,505 sq. ft.
MECHANICAL LEVEL	0.0 sq. m. 000 sq. ft.
TOTAL AREA	30,933.3 sq. m. 332,870 sq. ft.

UNIT STATISTICS

ONE BEDROOM UNIT	240
TWO BEDROOM UNIT	161
THREE BEDROOM UNIT	6
TOTAL	407

COMMERCIAL
TOTAL NFA, COMMERCIAL (PER CITY OF OTTAWA DEFINITION)
200.0 sq. m. 2,150 sq. ft.

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER DWELLING UNIT (AFTER 12 UNITS)	198
VISITOR	- 0.1 PER DWELLING UNIT (NO MORE THAN 30 SPACES REQ'D)	30
COMMERCIAL	- 5.0 MAX PER 100 m ² GFA (PENDING UNIT USE)	15
TOTAL		243

PROVIDED

RESIDENCE (BELOW GRADE) (0.42/ UNIT)	174
VISITOR & COMMERCIAL (BLENDED)	
ABOVE GRADE: 06	
BELOW GRADE: 24	
TOTAL:	30
TOTAL	204

MAXIMUM PARKING RATE FOR RESIDENTIAL USE: 1.75 PER UNIT (INCLUDING VISITOR) 712

BICYCLE PARKING

REQUIRED

RESIDENTIAL	- 0.5 PER UNIT (407 UNITS)	204
COMMERCIAL	- 1.5 PER 250 m ² GFA (200 M ²)	2
TOTAL:		206

PROVIDED

EXTERIOR: 10	
INTERIOR: 304	
TOTAL: 314	

LOT COVERAGE

PAVED SURFACE =	720.0 sq. m. 17.2%
BUILDING FOOTPRINT =	1,570.0 sq. m. 37.4%
LANDSCAPE OPEN SPACE =	1,905.0 sq. m. 45.4%
TOTAL =	4,195.0 sq. m. 100.0%

REAR PARKING/LANDSCAPE AREA

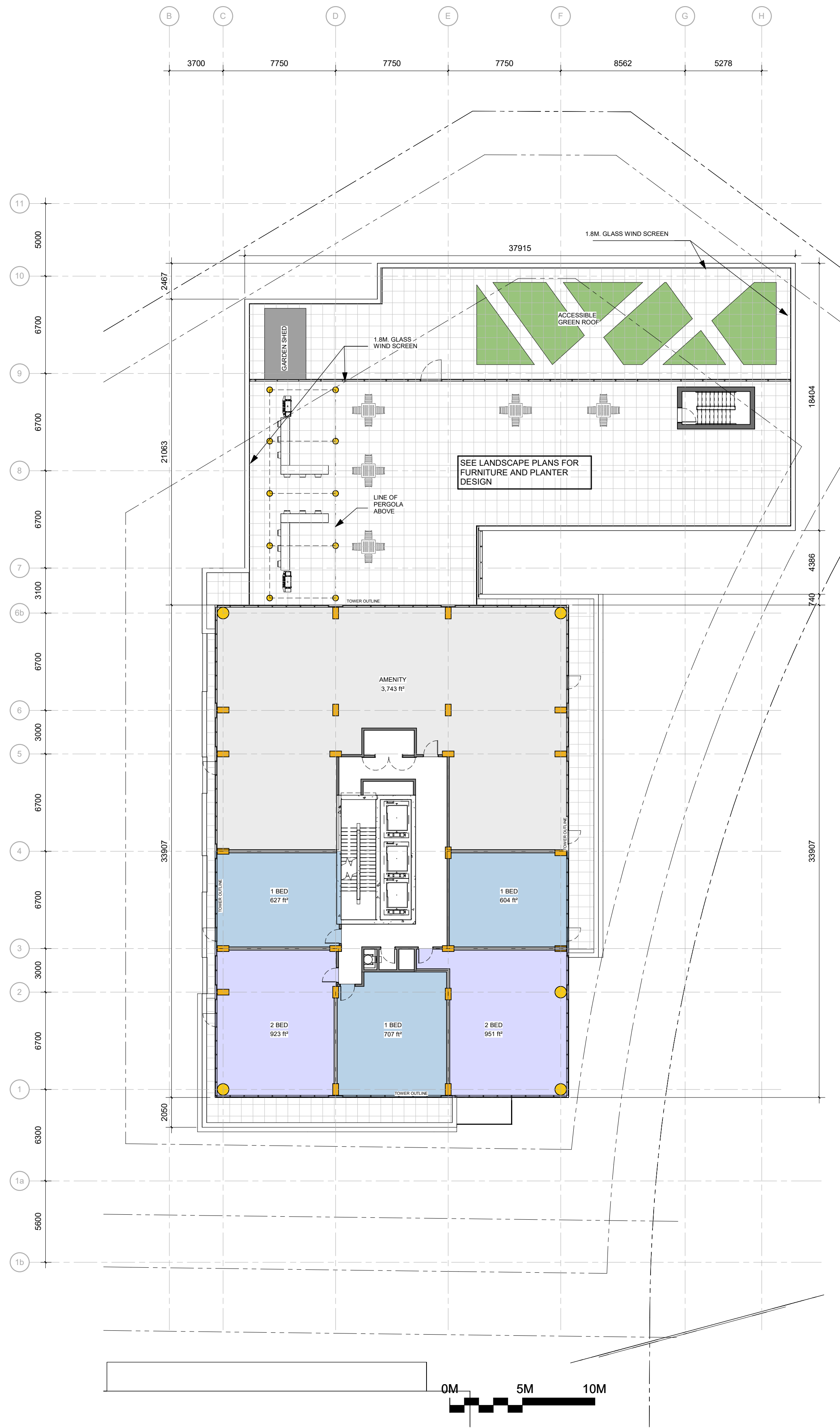
PAVED SURFACE =	511.0 sq. m. 39.5%
LANDSCAPE OPEN SPACE =	784.0 sq. m. 60.5%
TOTAL =	1,295.0 sq. m. 100.0%

AMENITY SPACE

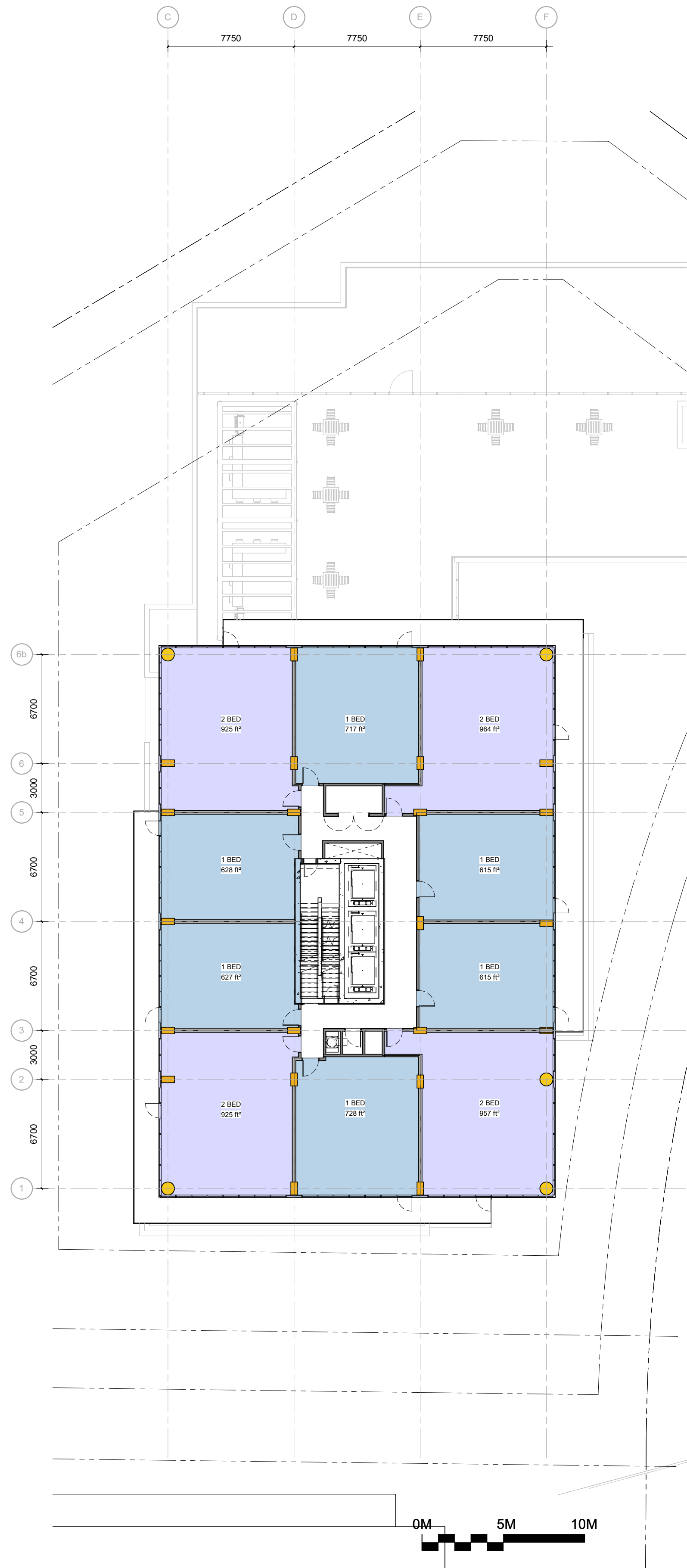
AT GRADE COMMUNAL EXTERIOR =	1,673.0 sq. m.
GROUND COMMUNAL INTERIOR =	555.0 sq. m.
PRIVATE BALCONIES =	5,250.0 sq. m.
5th FLOOR COMMUNAL EXTERIOR =	355.0 sq. m.
5th FLOOR COMMUNAL EXTERIOR =	755.0 sq. m.
ROOF TOP COMMUNAL EXTERIOR =	0.0 sq. m.
TOTAL PRIVATE =	5,250.0 sq. m.
TOTAL COMMUNAL =	3,338.0 sq. m.
TOTAL OVERALL =	8,588.0 sq. m.
REQUIRED - 6.0M ² PER UNIT (407) =	2,442.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1,221.0 sq. m.

REFUSE REQUIREMENT (407 UNITS)

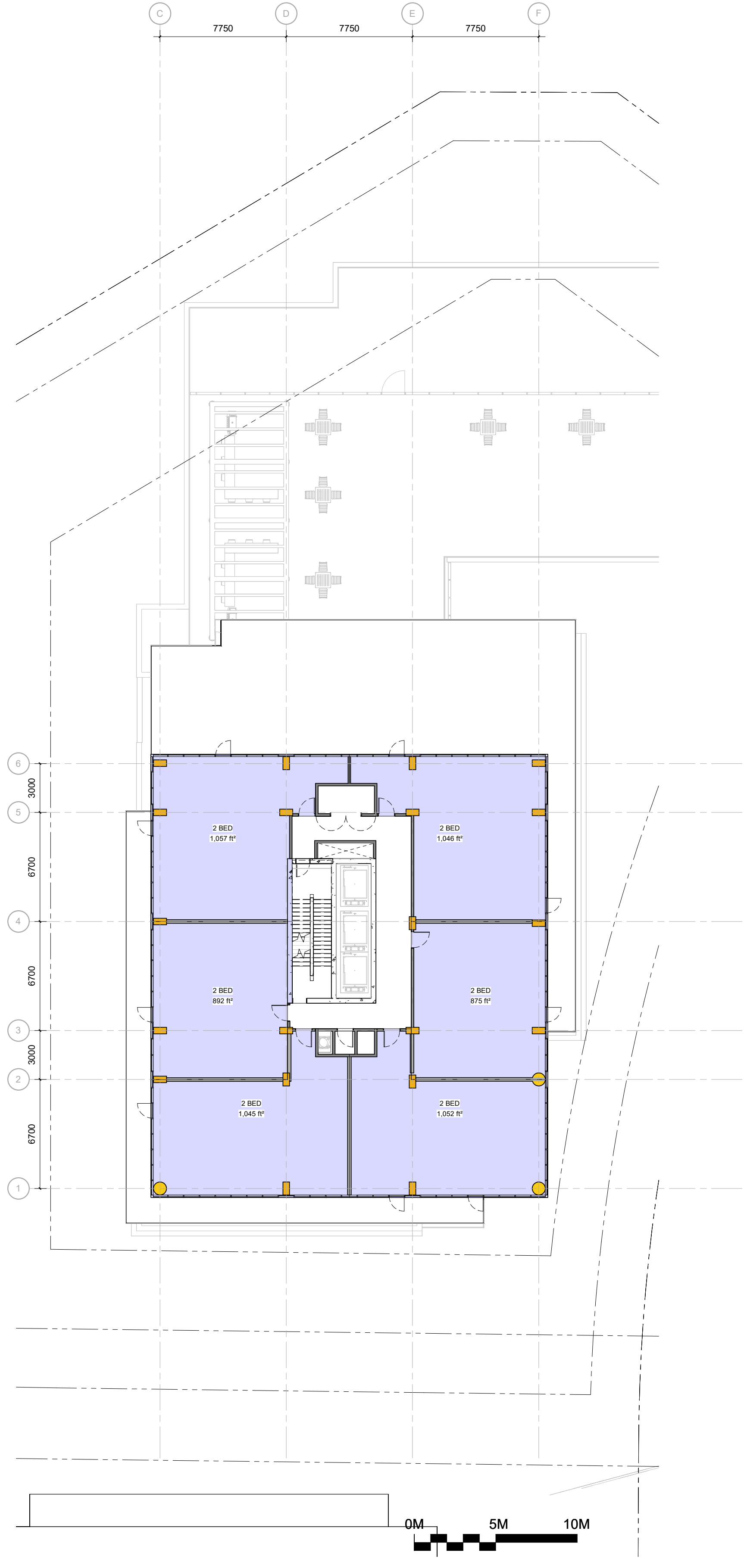
GARBAGE (COMPACTED)	- 0.053 PER UNIT	22 YARDS
RECYCLING GMP	- 0.018 PER UNIT	8 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	16 YARDS
ORGANICS	- 240L PER 50 UNITS	9



5TH FLOOR PLAN



TYPICAL TOWER FLOOR PLAN L6 - L38



TYPICAL PH FLOOR PLAN L39 - L40

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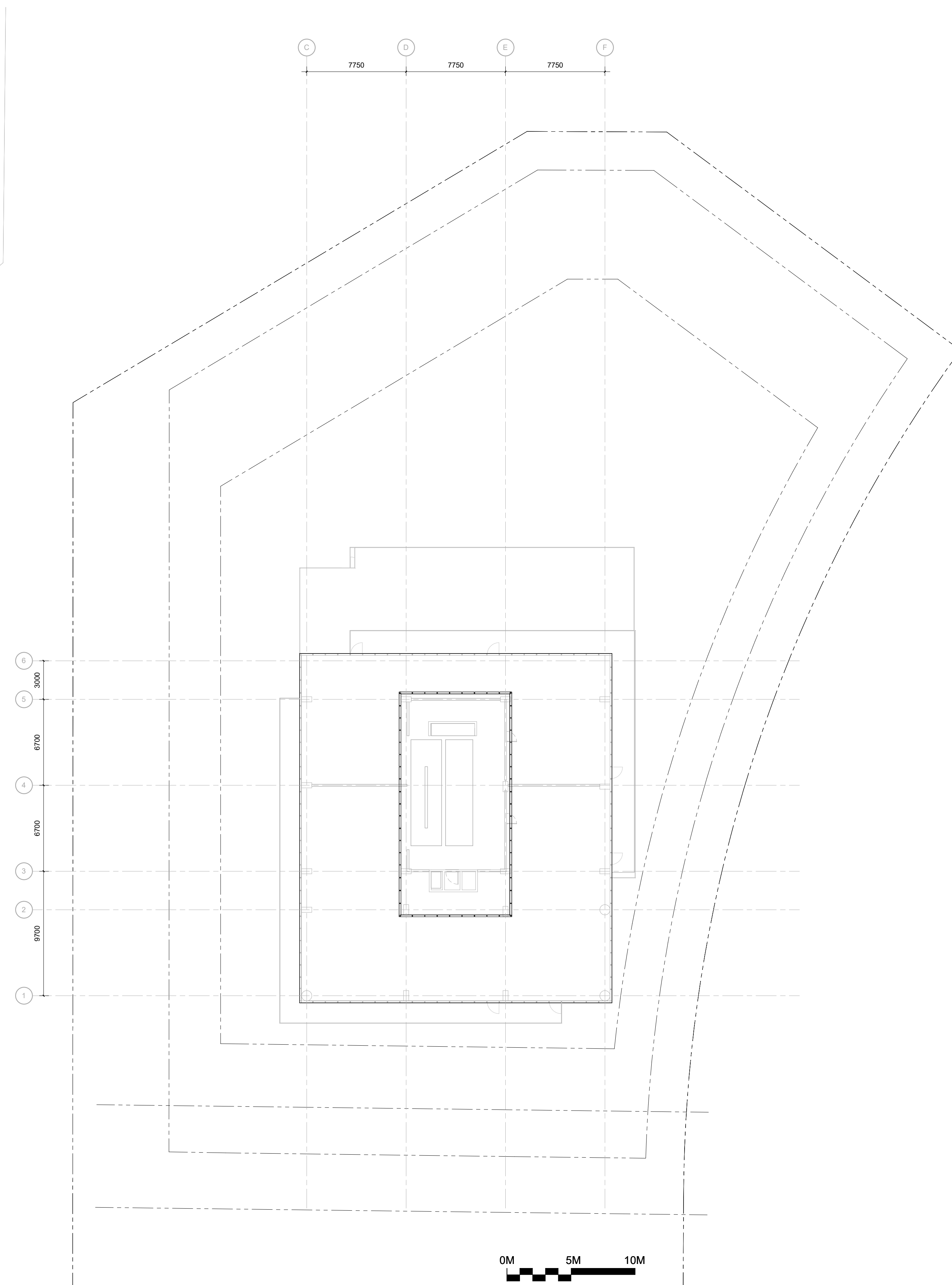
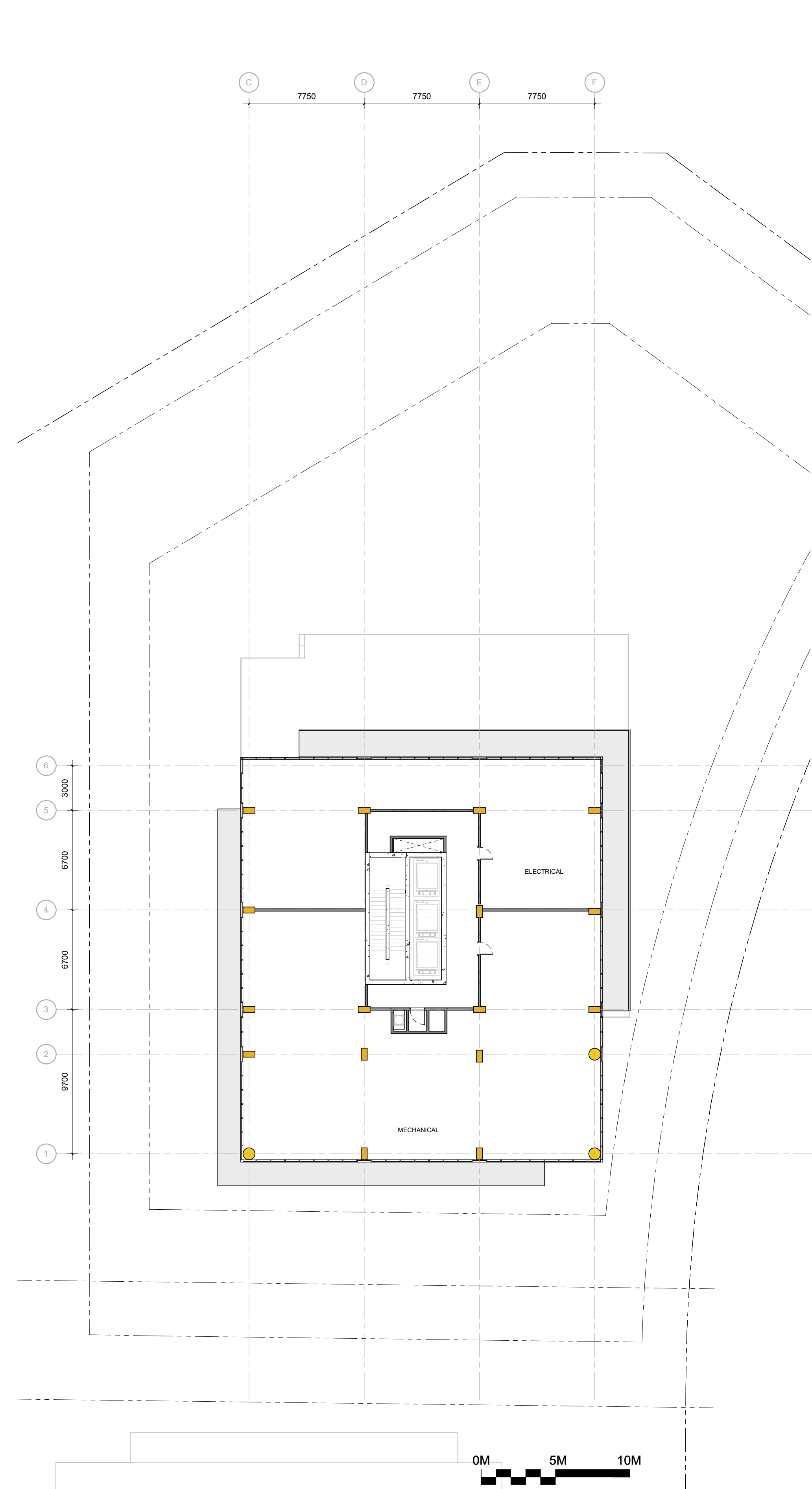
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CLIENT: brigil

ARCHITECT: rla/architecture, 56 Beech Street, Ottawa, Ontario K1S 3J6, t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE: 2829 DUMAURIER AVENUE, 2829 DUMAURIER AVE, OTTAWA, ON, SHEET TITLE: FLOOR PLANS

Table with 2 columns: DRAWN, CHECKED. Rows include: G.E., J.G., SCALE: 1:200, SHEET No.: A-03, PROJECT No.: 1922.



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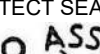
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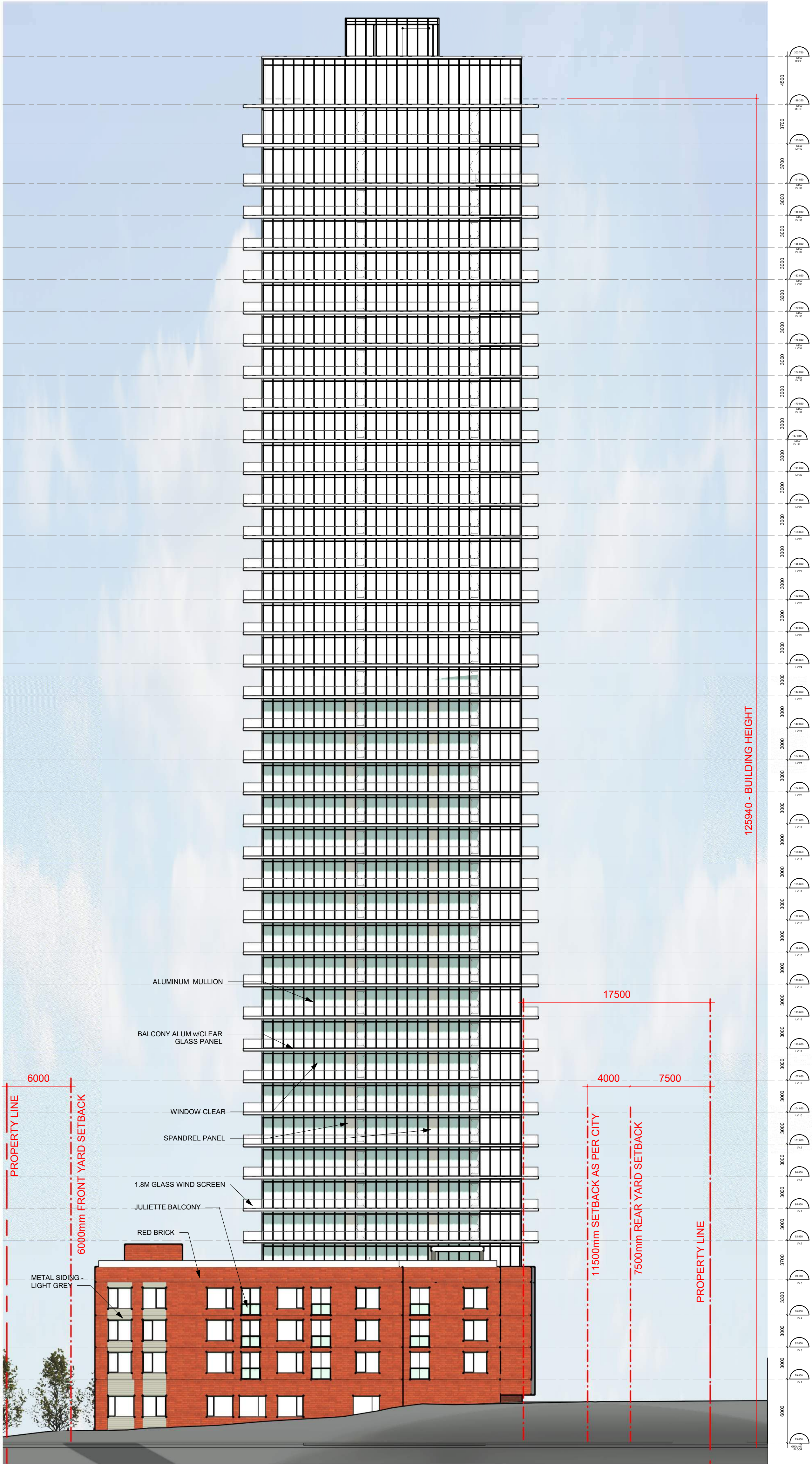
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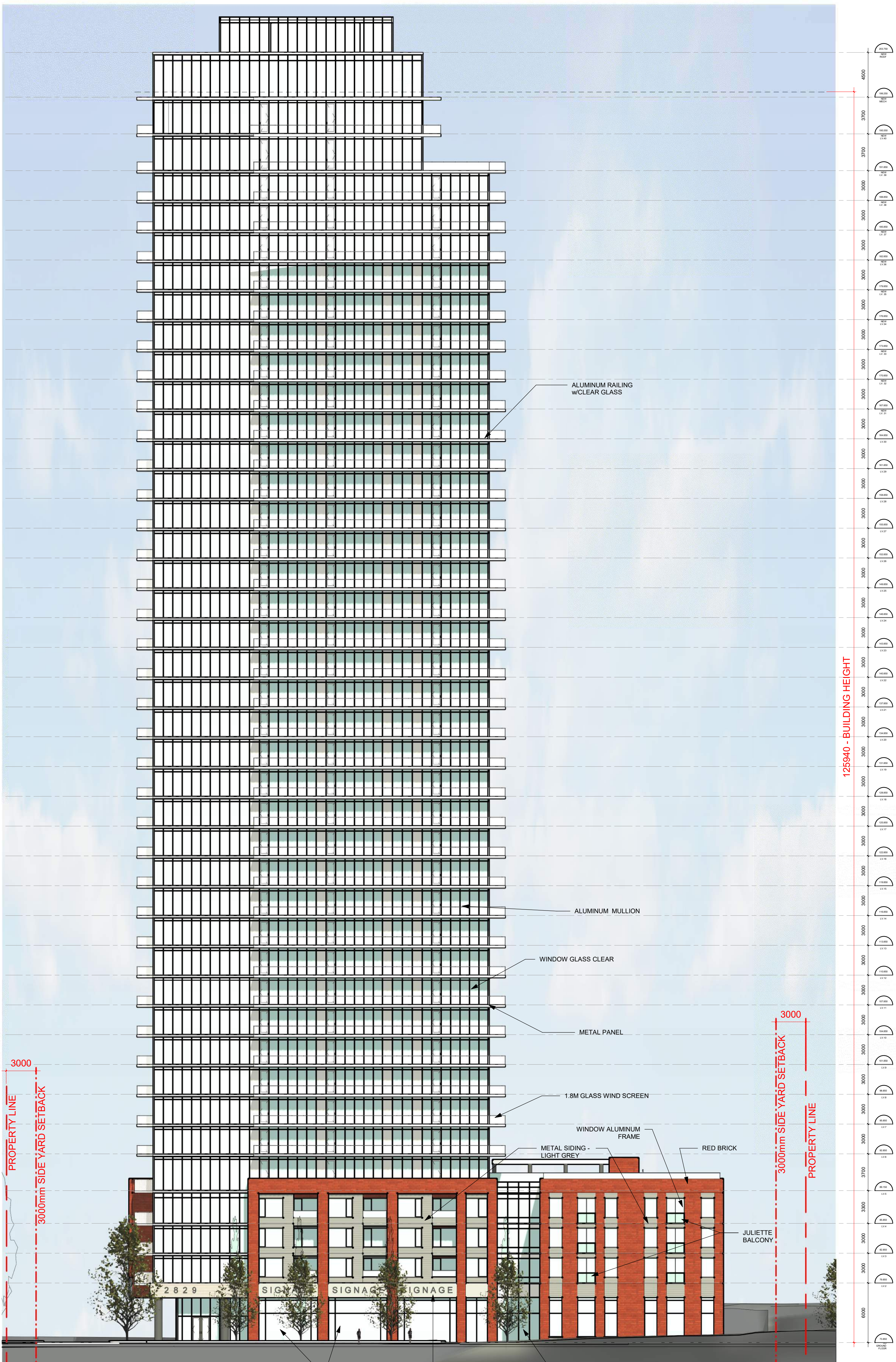
2829 DUMAUER AVENUE

2829 DUMAUER AVE, OTTAWA, ON

SHEET TITLE:	
FLOOR PLANS	
DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: A-04
PROJECT No: 922	



NORTH ELEVATION



EAST ELEVATION

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RODERICK LAHEY

LICENCE 4378

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ARCHITECT:

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SHEET TITLE:

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DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: A-05a
PROJECT No: 1922	

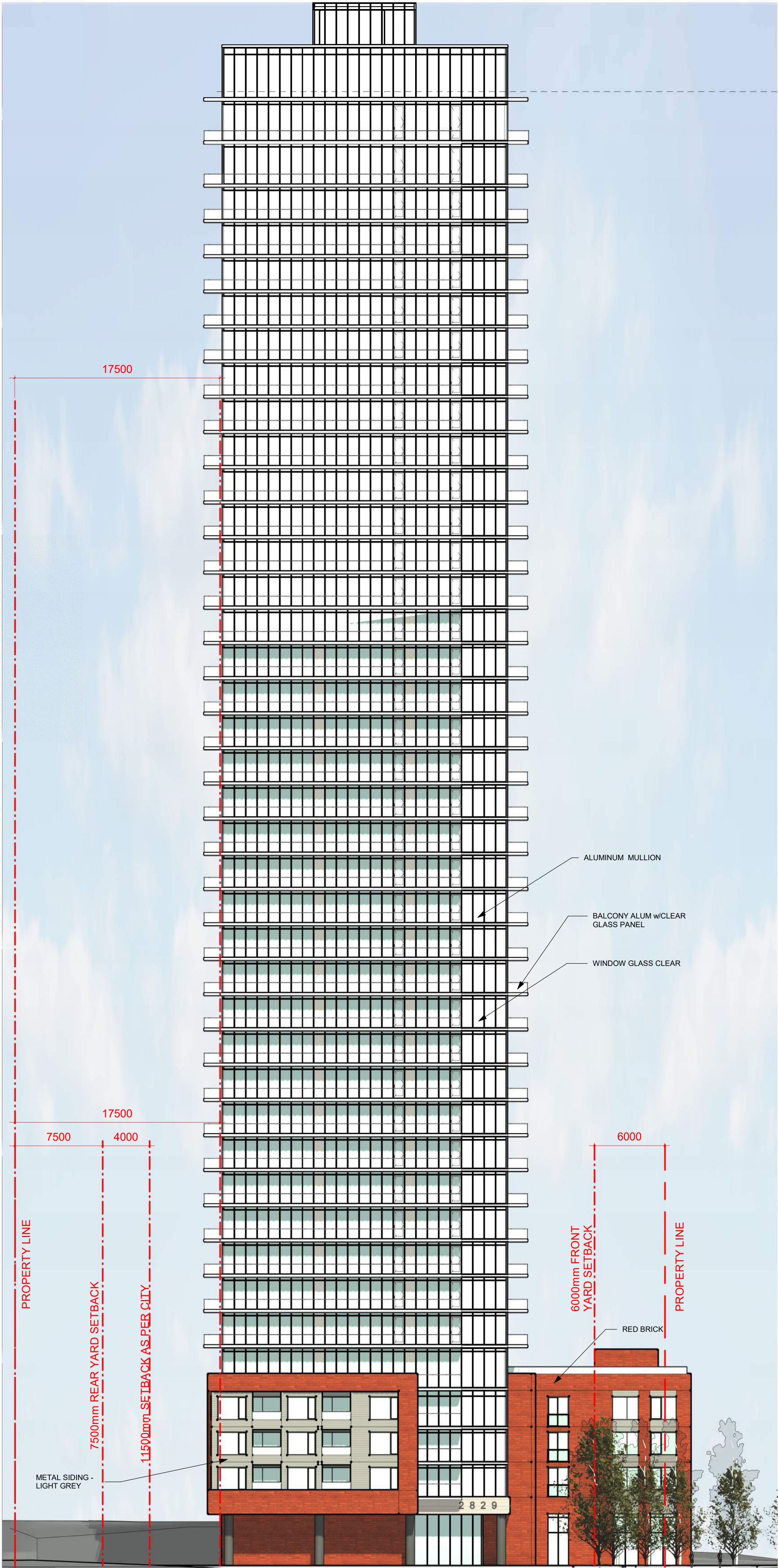
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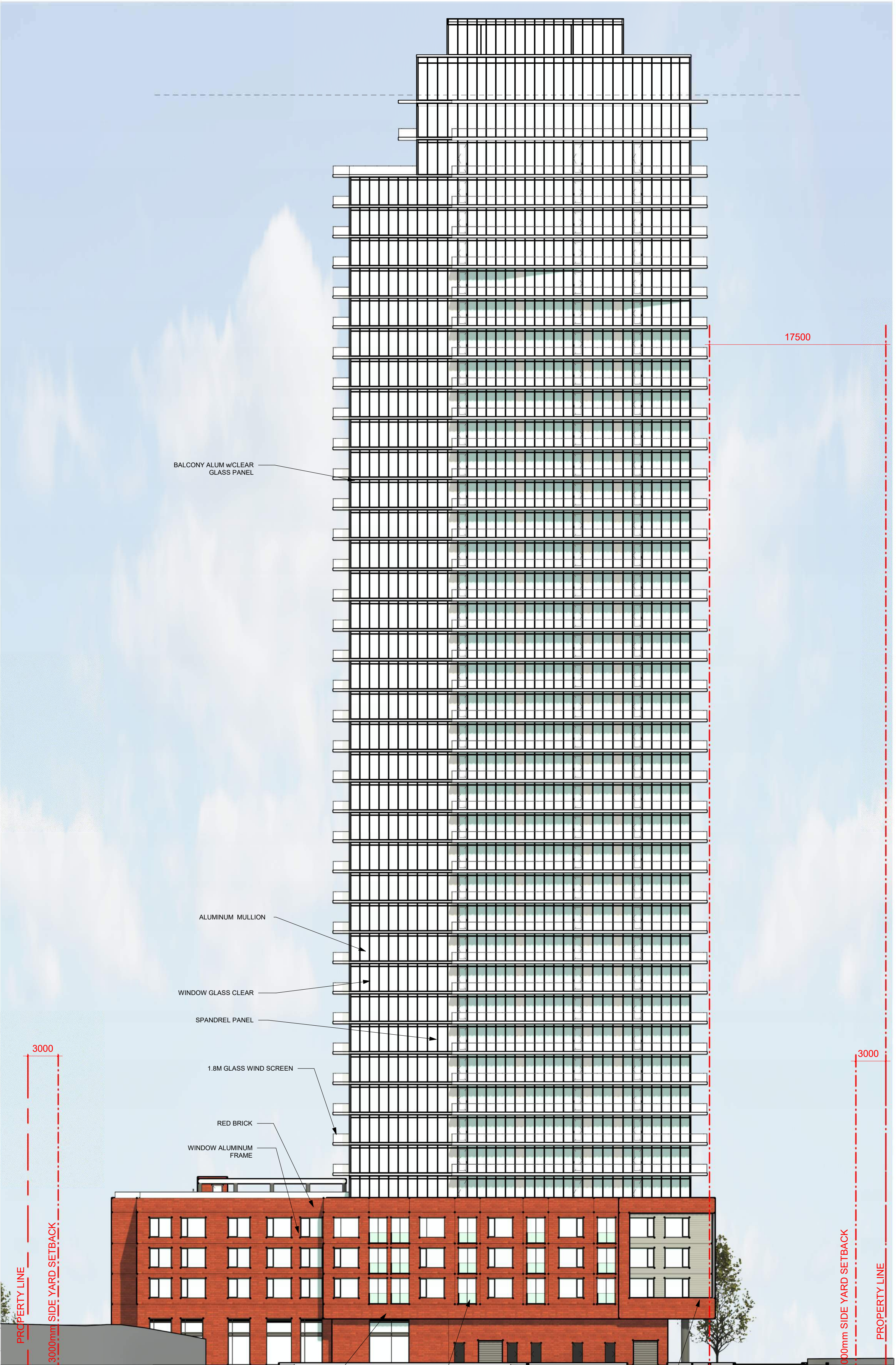
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SOUTH ELEVATION



WEST ELEVATION

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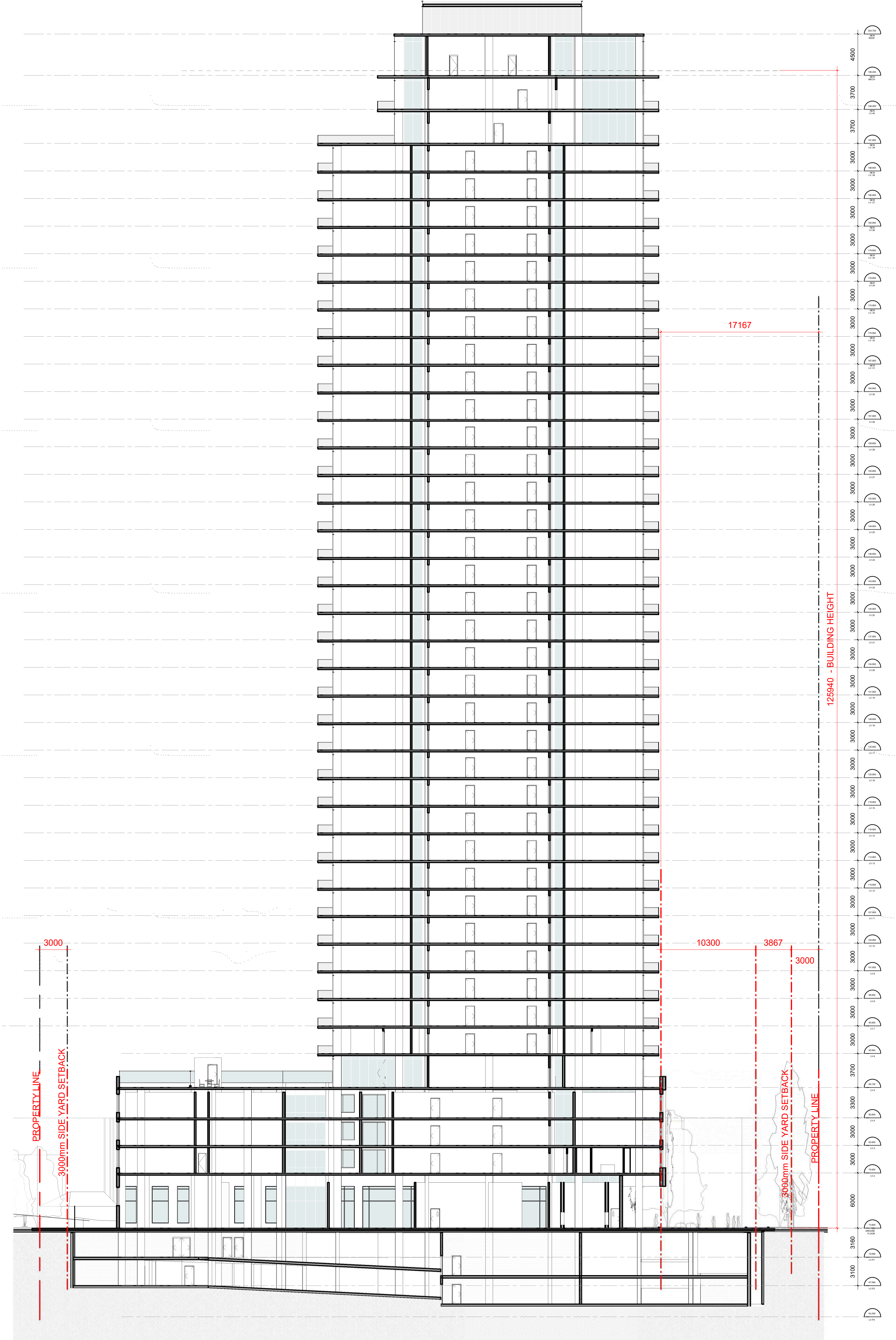
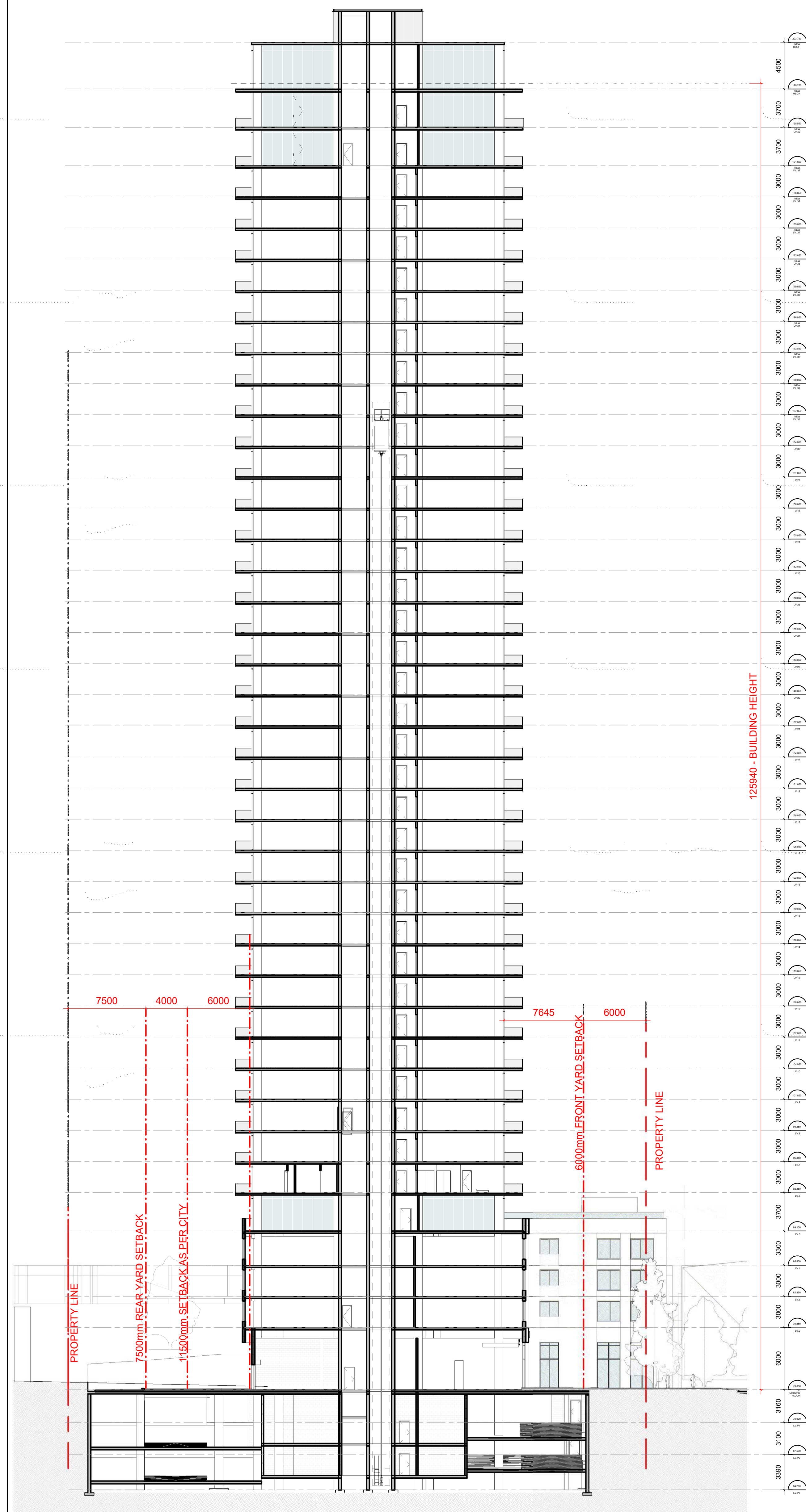
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2829 DUMAURIER AVE, OTTAWA, ON

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PROJECT No: 1922	



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829 DUMAURIER AVE, OTTAWA, ON

SHEET TILE:

SECTIONS

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1 : 225	A 00

PROJECT No:	A-06
1922	

A-06



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rla / architecture

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613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

2829 DUMAURIER AVENUE

829 DUMAURIER AVE, OTTAWA, ON

SHEET TILE:

PERSPECTIVES

DRAWN:	CHECKED:
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G.E.	J.G.
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CHECKED:

G.

SCALE:	SHEET No:
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1 : 100

A 07

EET No:

PROJECT No: **A-07**

1922	
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A-07



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

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NOTATION SYMBOLS:

The diagram illustrates several notation symbols used in drawing notes, each enclosed in a specific shape and connected by lines to its corresponding text description.

- A circle containing "00" is linked to "INDICATES DRAWING NOTES. LISTED ON EACH SHEET."
- A diamond containing "00" is linked to "INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE."
- An oval containing "00" is linked to "INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES."
- A rectangle containing "00" is linked to "INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES."
- A circle containing "00/00/00" is linked to "DETAIL NUMBER".

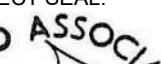
Below these, two additional symbols are shown without connecting lines:

- A rectangle labeled "TITLE" with a dimension line pointing to it from the word "TITLE" below.
- A circle labeled "624E" with a dimension line pointing to it from the word "624E" below.

At the bottom, two more descriptions are listed without associated symbols:

- "DETAIL REFERENCE PAGE"
- "DETAIL CROSS REFERENCE PAGE"

4	ISSUED FOR SPA/RE-ZONING R4	08.10.24
3	ISSUED FOR SPA/RE-ZONING R3	08.07.24
2	UPDATED SPA - R2	03.11.22
1	ISSUED FOR SPA/RE-ZONING	08.06.21
No.	DESCRIPTION	DATE

<p>ARCHITECT SEAL:</p> 	<p>NORTH ARROW:</p>
--	---------------------

CLIENT:

brigit

ARCHITECT:

rla / architecture

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613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

2829 DUMAUER AVENUE

829 DUMAURIER AVE, OTTAWA, ON

PERSPECTIVES

DRAWN:	CHECKED:
G.E.	J.G.

SCALE:	SHEET No:
--------	-----------

PROJECT No:	A-08
1922	

#17421



VIEW FROM FARRELL STREET



VIEW FROM DUMAURIER AVENUE AND WATSON STREET



VIEW FROM DUMAURIER AND RAMSEY CRESCENT

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NOTATION SYMBOLS:

(00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

(00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.

(000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.

(00) — DETAIL NUMBER

(00) — TITLE

(000/0000) — SCALE

(00000000) — DETAIL REFERENCE PAGE

(00000000) — DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

(A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.

(B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS.

(C) REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.

(D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.

(E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHER WISE.

(F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHER WISE.

(G) ALL REINFORCED CONCRETE SUSPENDED SLABS. COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
4	ISSUED FOR SPARE-ZONING R4	08.10.24
3	ISSUED FOR SPARE-ZONING R3	08.07.24
2	UPDATED SPA - R2	03.11.22
1	ISSUED FOR SPARE-ZONING	08.06.21

REVISIONS:

ARCHITECT SEAL:

NORTH ARROW:

TRUE NORTH

CLIENT:

brigil

ARCHITECT:

rla/architecture

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PROJECT TITLE:

2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

PERSPECTIVES

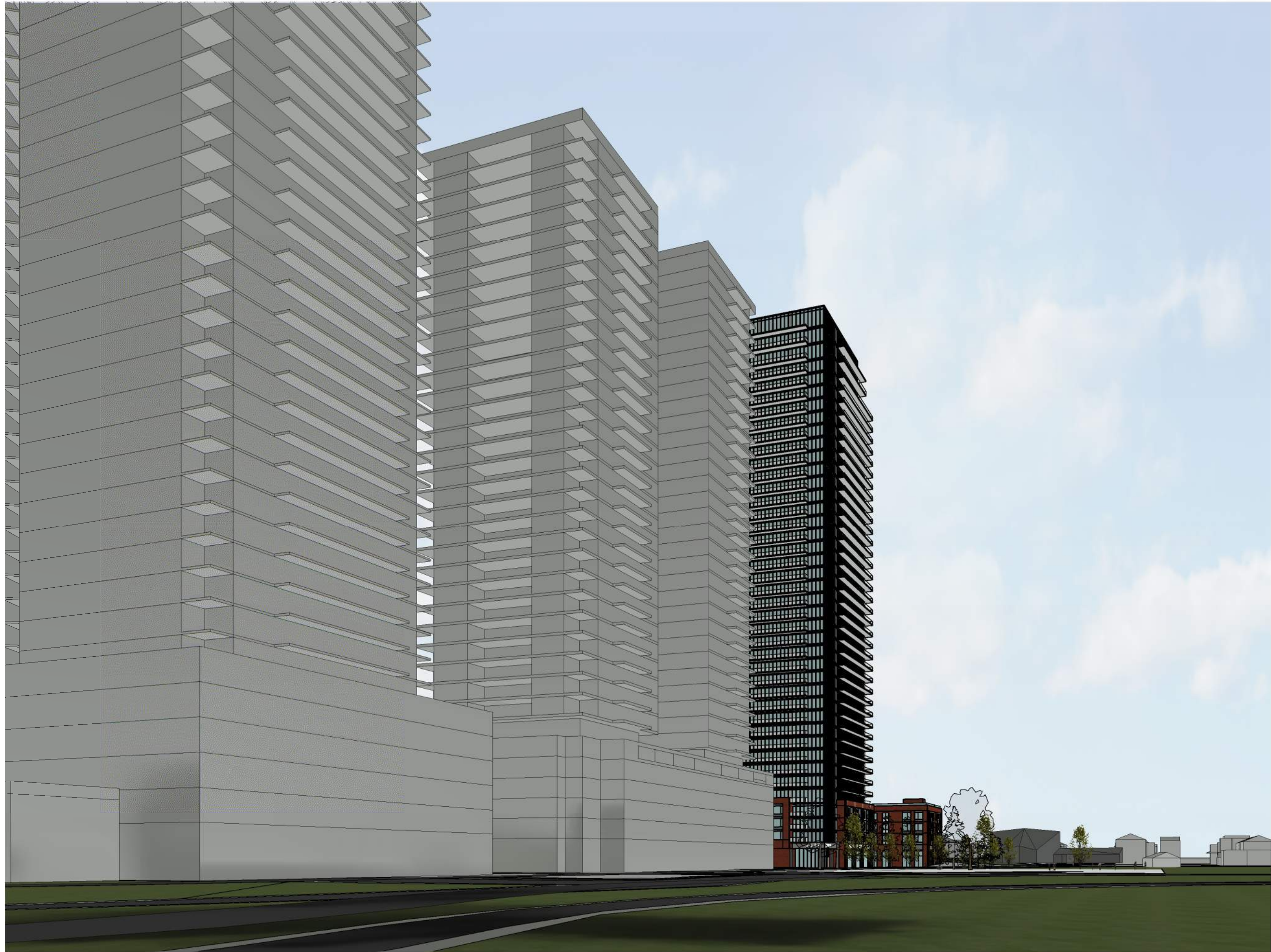
DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No:
PROJECT No: 1922	A-09



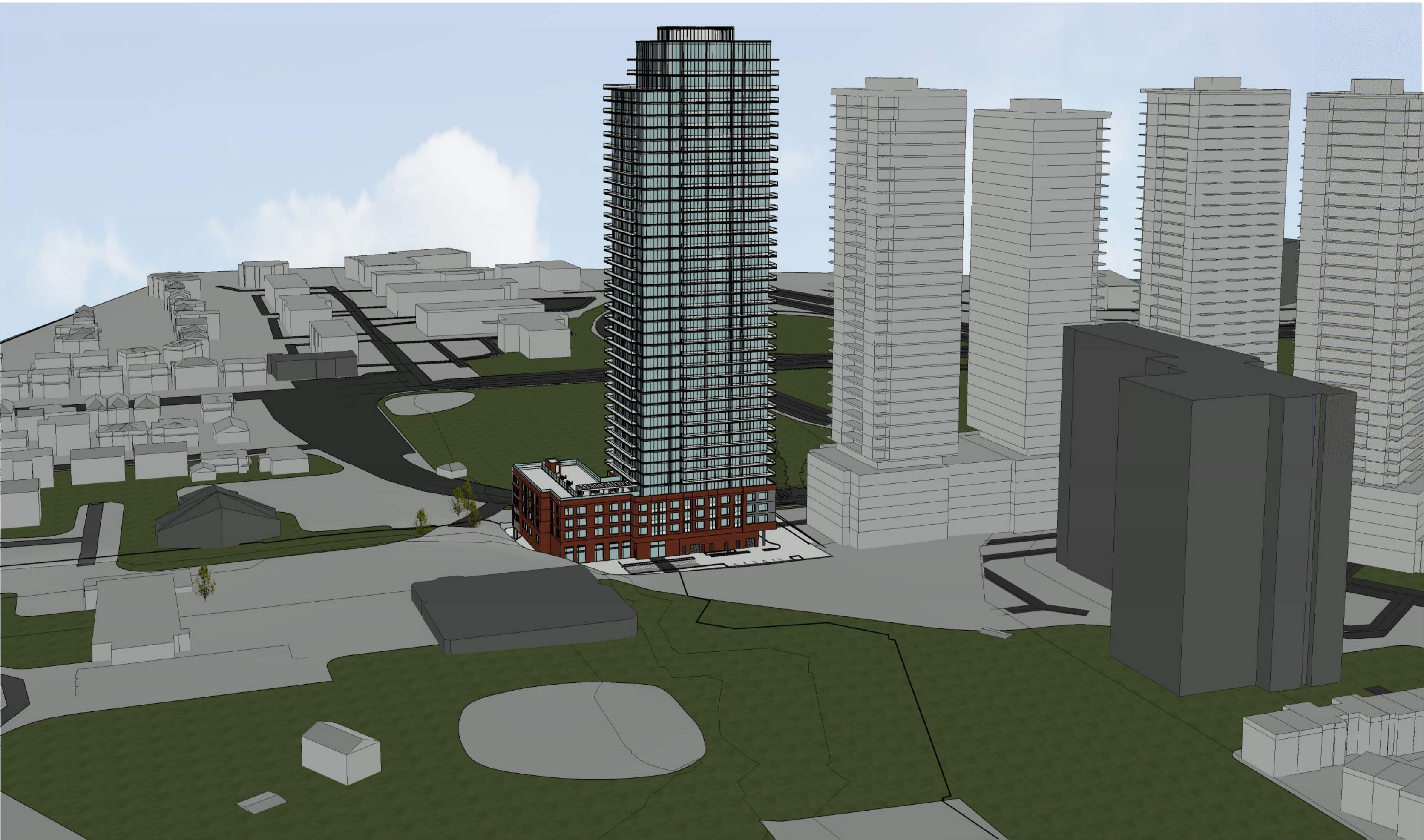
VIEW LOOKING SOUTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING EAST

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(00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.

(000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.

(00) INDICATES DETAIL NUMBER.

(00) TITLE SCALE

(00000000) DETAIL REFERENCE PAGE

(00000000) DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

(A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.

(B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS.

(C) REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.

(D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.

(E) ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.

(F) ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

(G) ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
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2	UPDATED SPA - R2	03.11.22
1	ISSUED FOR SPARE-ZONING	08.06.21

REVISIONS:

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

brigil

ARCHITECT:

rla/architecture

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PROJECT TITLE:

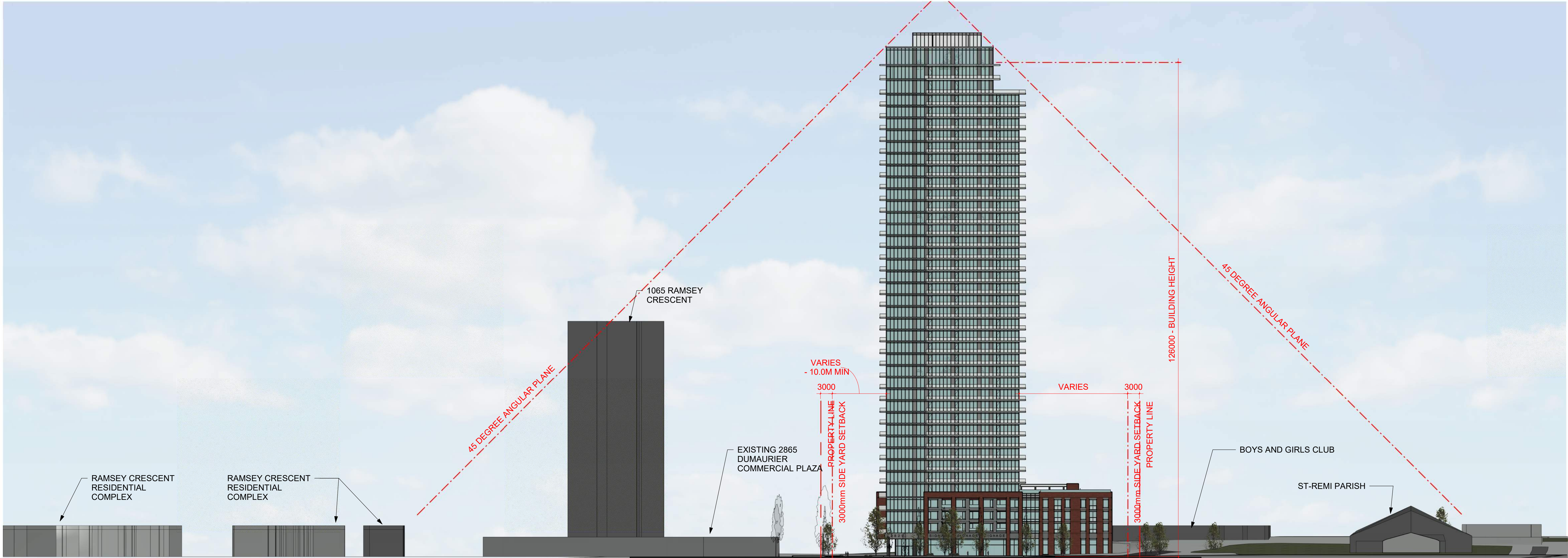
2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

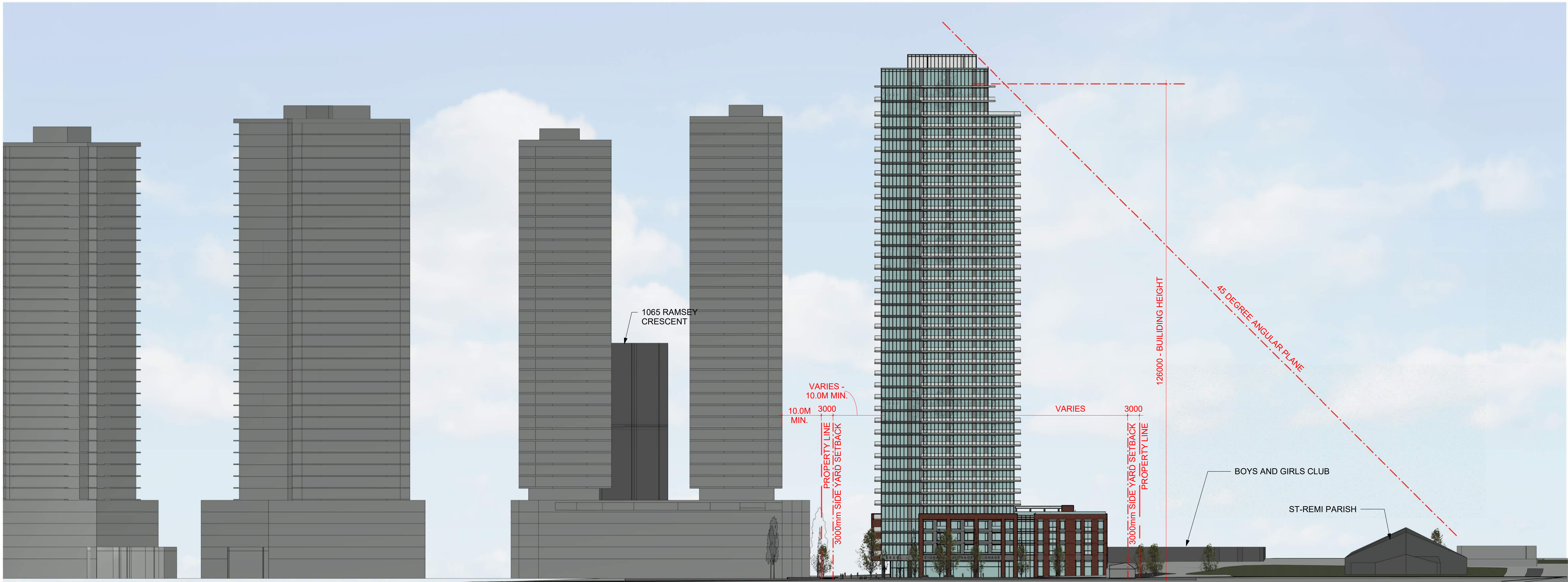
SHEET TITLE:

PERSPECTIVES - FUTURE BUILD-OUT

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No:
PROJECT No: 1922	A-10



VIEW LOOKING WEST



FUTURE VIEW LOOKING WEST

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- (00) INDICATES WINDOW TYPE; REFER TO WINDOW.
- (000) ELEVATIONS AND DETAILS ON A900 SERIES.
- (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- (000) DETAIL NUMBER.
- (00) TITLE.
- (000/000) SCALE.
- (000/000) DETAIL REFERENCE PAGE.
- (000/000) DETAIL CROSS REFERENCE PAGE.

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS.
- (C) REFER TO DOOR SCHEDULE ON A900 SERIES.
- (D) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
- (E) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (F) ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHER WISE.
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- (G) COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

4	ISSUED FOR SPARE-ZONING R4	08.10.24
3	ISSUED FOR SPARE-ZONING R3	08.07.24
2	UPDATED SPA - R2	03.11.22
1	ISSUED FOR SPARE-ZONING	08.06.21

No.	DESCRIPTION	DATE
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REVISIONS:

ARCHITECT SEAL:



NORTH ARROW:

CLIENT:

brigil

ARCHITECT:

rla/architecture
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PROJECT TITLE:

2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

OVERALL SITE ELEVATIONS

DRAWN:

G.E.

CHECKED:

J.G.

SCALE:

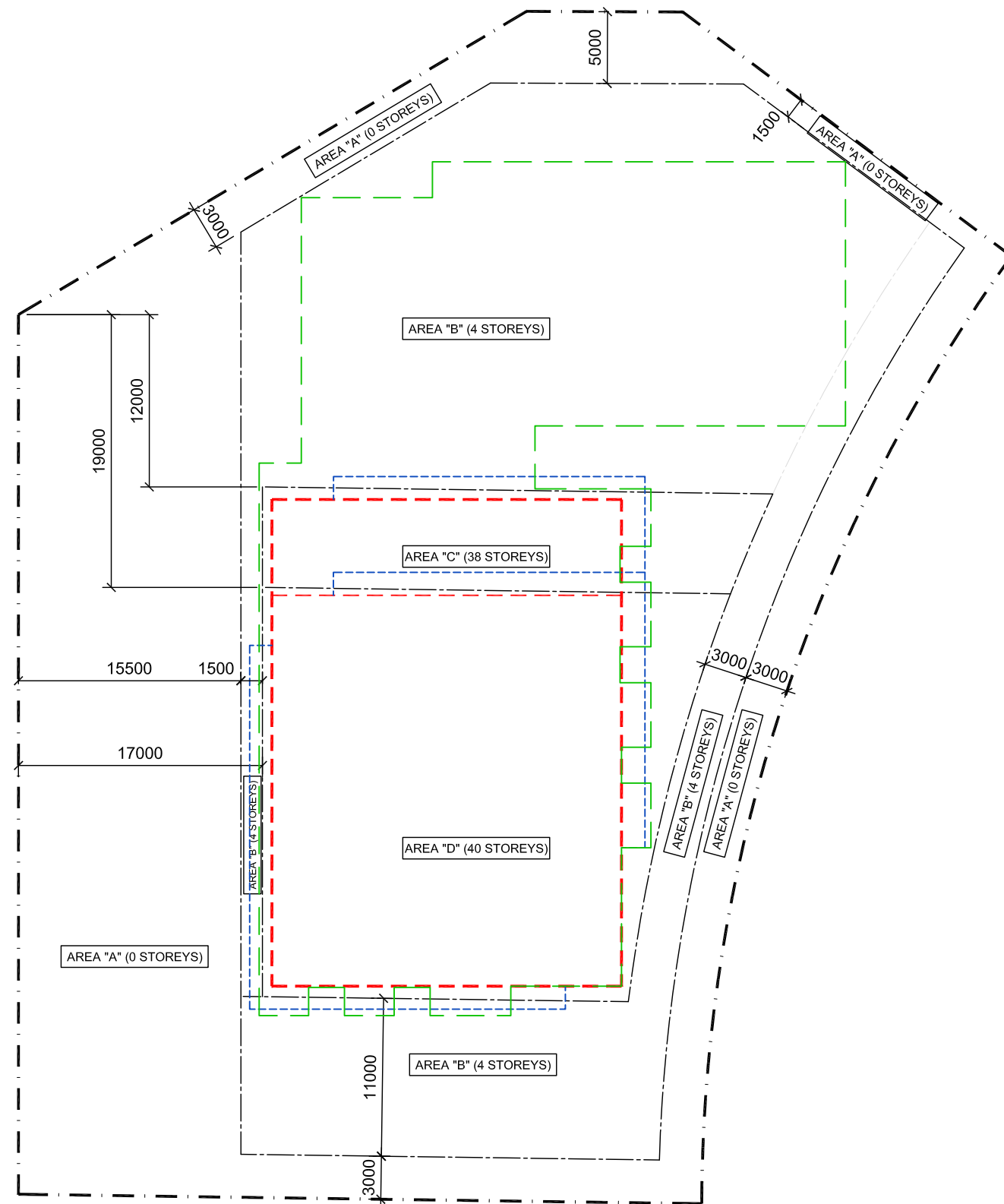
1 : 500

SHEET No:

A-11

PROJECT No:

1922



MAXIMUM BUILDING HEIGHTS AND MAXIMUM NUMBER OF STOREYS

LA HAUTEUR DE BATIMENT MAXIMALE

AREA/ SECTEUR A : 0.0m (0 storeys/ étages)
 AREA/ SECTEUR B : 17.0m (4 storeys/ étages)
 AREA/ SECTEUR C : 118.0m (38 storeys/ étages)
 AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

LEGEND:

- PROPERTY LINE
- SETBACK LINE
- LINE OF TOWER
- LINE OF PODIUM
- LINE OF BALCONY

