

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- OTTAWA HYDRO SETBACK / CLEARANCES
- PROPOSED RETAINING WALL
- EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- PLAYGROUND AREA
- SNOW STORAGE
- NEW LANDSCAPE STAIR
- NOT IN USE
- BOLLARDS ALONG PROPOSED WOONERF, TYP.
- EASEMENT
- PARKING GARAGE SIGNAL
- DEPRESSED CURB
- EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
- NOT IN USE
- AREA DRAIN. REFER TO CIVIL DOCUMENTS

SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EXTENT OF EASEMENT
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD

- EMERGENCY EXIT
- SERVICE DOORS
- GROUND LEVEL SUITE ENTRANCE
- BUILDING MAIN ENTRANCE (PRINCIPAL FIRE FIGHTING ENTRANCE)
- PROPERTY LINE / EASEMENT

- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- GAS

- CATCH BASIN
- CATCH BASIN EXISTING
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB

STAMP

3	2024-10-08	Issued for SPC
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%

REV DATE ISSUE

NOTES

- OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS. AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
- THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

BETTER LIVING CO-OPERATIVE
 OTTAWA
 ONTARIO, CANADA

PROJECT

BLOCK 3 REDEVELOPMENT

1360 OGLIVIE ROAD
 GLOUCESTER, ON K1J 9M6

TITLE

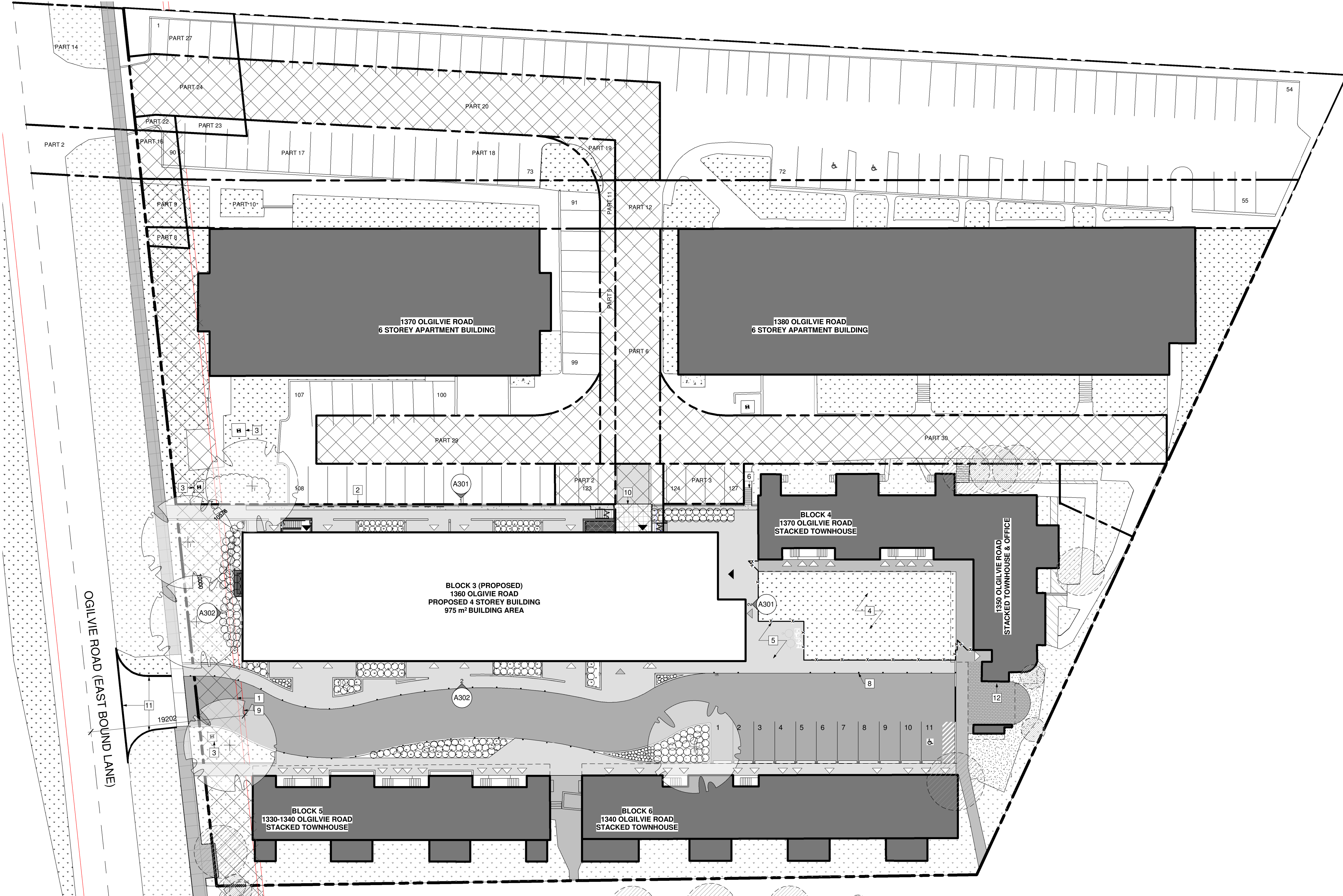
OVERALL SITE PLAN

PROJECT NO: 2022-2040
 DRAWN: KM
 APPROVED: PM
 SCALE: As indicated
 DATE PRINTED: 2024-10-09 5:01:27 PM

REV DRAWING NO.

3 A100

DOT-19-24-0061



DEVELOPMENT INFO

LEGAL DESCRIPTION
 BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA

REFERENCE SURVEY
 BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023

MUNICIPAL ADDRESS
 1360 OGLIVIE RD, OTTAWA, ON K1J 9M6

SITE AREA 12,912m²
 BUILDING AREA 975m²
 GROSS FLOOR AREA 3,900m²
 BUILDING HEIGHT 14.15m , 4 STOREYS
 ZONE AM10 H(40)

ZONING INFO

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	No minimum	47.68m
MIN. LOT AREA	No minimum	5367m²
MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m
MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A
MIN. REAR YARD SETBACK	7.5m	N/A
MAX. HEIGHT	40m	14.15m
AMENITY AREA	468m²	552m²
LANDSCAPED AREA	no minimum	349.5m²

AMENITY BREAKDOWN
 Ground Floor Amenity: 83m²
 Balconies: 227m²
 Playground: 242m²

ZONING PROVISION	REQUIRED	PROVIDED
GROUND FACADE ACTIVATION	The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	Building is located within 6.1m of the front lot line. No active entrances face Oglivie Rd.
MINIMUM GLAZING OF GROUND FLOOR FACADE	50% of the surface area of the ground floor facade facing Oglivie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	7.7 m²/ 72m² = 10.7% glazing

PARKING QUEING + LOADING

	REQUIRED	PROVIDED
RESIDENTIAL SPACES	94	43
VISITOR SPACES	16	7
ACCESSIBLE PARKING	-	3
BICYCLE PARKING	39	39
DRIVEWAY WIDTH	3m @ single traffic lane	4m for single traffic lane, driveway to parking garage 6m @ double traffic lane

ACCOMODATIONS LEGEND

DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL
1-BEDROOM	26			1	27
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	13	78

- NOTES:**
- PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
 - TOTAL SITE PARKING(INCLUDING BLC SITE): 170 SPACES

PARKING LEGEND

DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	13	39	47	36
VISITOR PARKING (0.2)						16	7
						109	total: 43

AMENITY LEGEND

DWELLING UNITS	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
	39	14	12	13	78	468	552

STAMP

4	2024-10-08	Issued for SPC
3	2024-10-07	Issued for Coordination
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%
REV DATE	ISSUE	

NOTES
 1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
 2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
 4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT
BETTER LIVING CO-OPERATIVE
 OTTAWA ONTARIO, CANADA

PROJECT
BLOCK 3 REDEVELOPMENT

1360 OGLIVIE ROAD
 GLOUCESTER, ON K1J 9M6
 TITLE

PROPOSED SITE PLAN

PROJECT NO: 2022-2040
 DRAWN: KM
 APPROVED: PM
 SCALE: 1 : 200
 DATE PRINTED: 2024-10-09 5:01:30 PM

REV DRAWING NO.

4 A110

19156

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

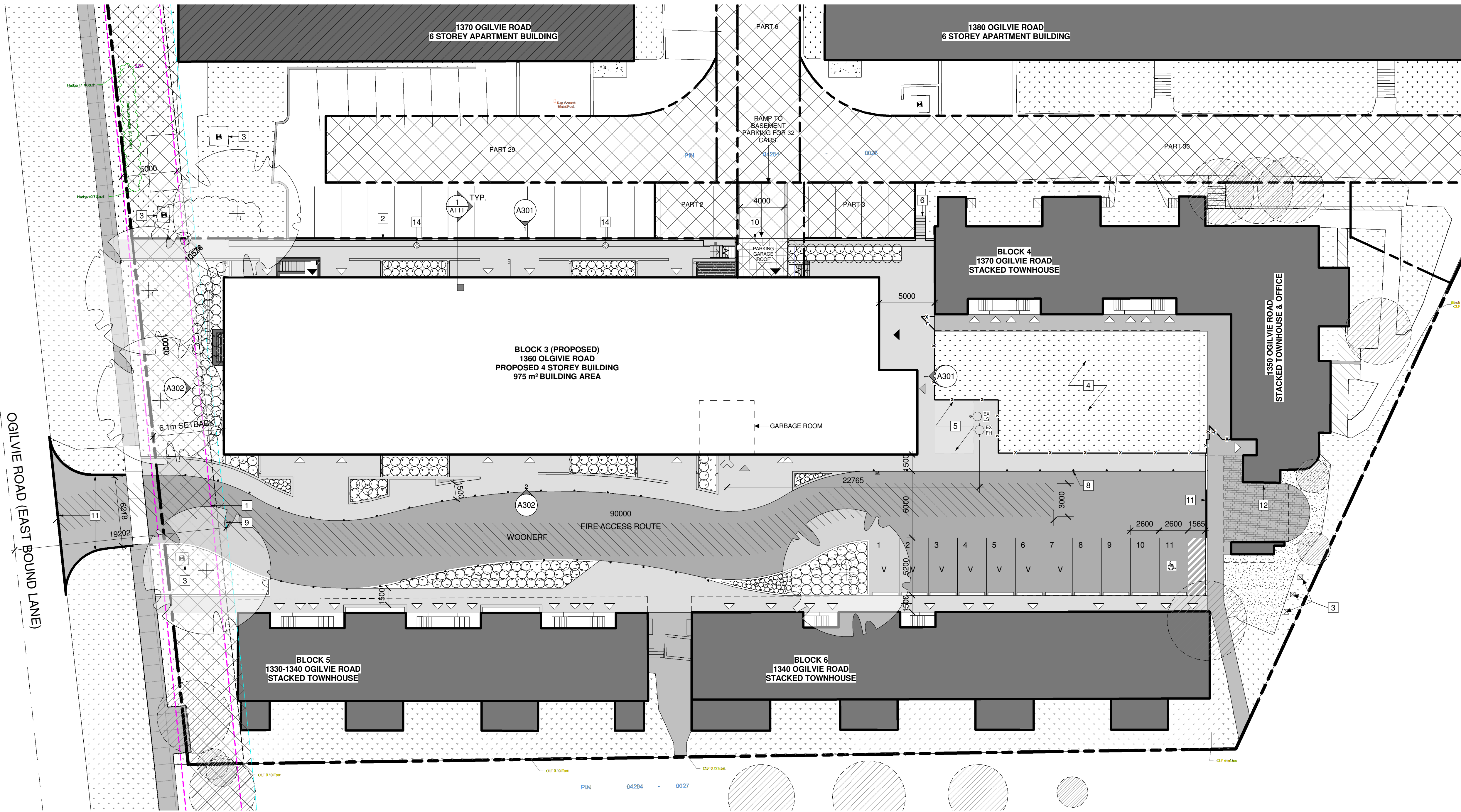
SITE PLAN KEYNOTES:

- OTTAWA HYDRO SETBACK / CLEARANCES
- PROPOSED RETAINING WALL
- EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- PLAYGROUND AREA
- SNOW STORAGE
- NEW LANDSCAPE STAIR
- NOT IN USE
- BOLLARDS ALONG PROPOSED WOONERF, TYP.
- EASEMENT
- PARKING GARAGE SIGNAL
- DEPRESSED CURB
- EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
- NOT IN USE
- AREA DRAIN. REFER TO CIVIL DOCUMENTS

SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EXTENT OF EASEMENT
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD
- EMERGENCY EXIT
- SERVICE DOORS
- GROUND LEVEL SUITE ENTRANCE
- BUILDING MAIN ENTRANCE (PRINCIPAL FIRE FIGHTING ENTRANCE)
- PROPERTY LINE / EASEMENT

- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- GAS
- CATCH BASIN
- CATCH BASIN EXISTING
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB



1 PROPOSED SITE PLAN
 A110 1:200

DEVELOPMENT INFO	
LEGAL DESCRIPTION	BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA
REFERENCE SURVEY	BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN VOLLEBECK LTD. DATED JULY 5, 2023
MUNICIPAL ADDRESS	1360 OGLIVIE RD, OTTAWA, ON K1J 9M6
SITE AREA	12,912m ²
BUILDING AREA	975m ²
GROSS FLOOR AREA	3,900m ²
BUILDING HEIGHT	14.15m, 4 STOREYS
ZONE	AM10 H(40)

ZONING INFO	
ZONING PROVISION	REQUIRED PROVIDED
MIN. LOT WIDTH	No minimum 47.68m
MIN. LOT AREA	No minimum 5367m ²
MIN. FRONT YARD SETBACK	Minimum: 0m 6.1m
MIN. INTERIOR SIDE YARD SETBACK	No minimum N/A
MIN. REAR YARD SETBACK	7.5m N/A
MAX. HEIGHT	40m 14.15m
AMENITY AREA	468m ² 552m ²
LANDSCAPED AREA	no minimum 349.5m ²
AMENITY BREAKDOWN	Ground Floor Amenity: 83m ² Balconies: 227m ² Playground: 242m ²

ZONING PROVISION	REQUIRED	PROVIDED
GROUND FACADE ACTIVATION	The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	Building is located within 6.1m of the front lot line. No active entrances face Ogilvie Rd.
MINIMUM GLAZING OF GROUND FLOOR FACADE	50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	7.7 m ² / 72m ² = 10.7% glazing

PARKING QUEING + LOADING		
RESIDENTIAL SPACES	REQUIRED 94	PROVIDED 43
VISITOR SPACES	16	7
ACCESSIBLE PARKING	-	3
BICYCLE PARKING	39	39
DRIVEWAY WIDTH	3m @ single traffic lane 6m @ double traffic lane	4m for single traffic lane, driveway to parking garage 6m for double traffic lane, parking lot

DWELLING UNIT TYPE	BLOCK				TOTAL
	3(NEW)	4	5	6	
1-BEDROOM	26				27
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	13	78

NOTES:
 1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
 2. TOTAL SITE PARKING (INCLUDING BLC SITE): 170 SPACES

DWELLING UNIT TYPE	BLOCK				TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
	3(NEW)	4	5	6			
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	13	39	47	36
VISITOR PARKING (0.2)						16	7
						109	total: 43

DWELLING UNITS	BLOCK				TOTAL	TOTAL REQUIRED AMENITY SPACE (m ²)	TOTAL AMENITY SPACE PROVIDED (m ²)
	3(NEW)	4	5	6			
	39	14	12	13	78	468	552

STRUCTURAL ENGINEER
Cunliffe & Associates
200, 1550 Carling Avenue
Ottawa, Ontario K1Z 8S8
613-729-7242
cunliffe@cunliffe.ca

MECHANICAL AND ELECTRICAL
ENGINEER
Chorley + Bisset Consulting Engineers
250 City Centre Avenue
Ottawa, Ontario K1R 6K7
613-241-0030
email@chorley.com

LANDSCAPE ARCHITECT
James B. Leinnox & Associates
3332 Carling Avenue
Ottawa, Ontario K2H 5A8
613-722-5168

CIVIL ENGINEER
name
address
phone
email

CIVIL ENGINEERS
McIntosh Perry
115 Walgreen Road
Carp, Ontario
613-836-2184
info@mcintoshperry.com

STAMP

1 2024-10-08 Issued for SPC
REV DATE ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

**BLOCK 3
REDEVELOPMENT**

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

SITE DETAILS

PROJECT NO: 2022-2040
DRAWN: DF
APPROVED: DH
SCALE: 1 : 25
DATE PRINTED: 2024-10-09 5:01:32 PM

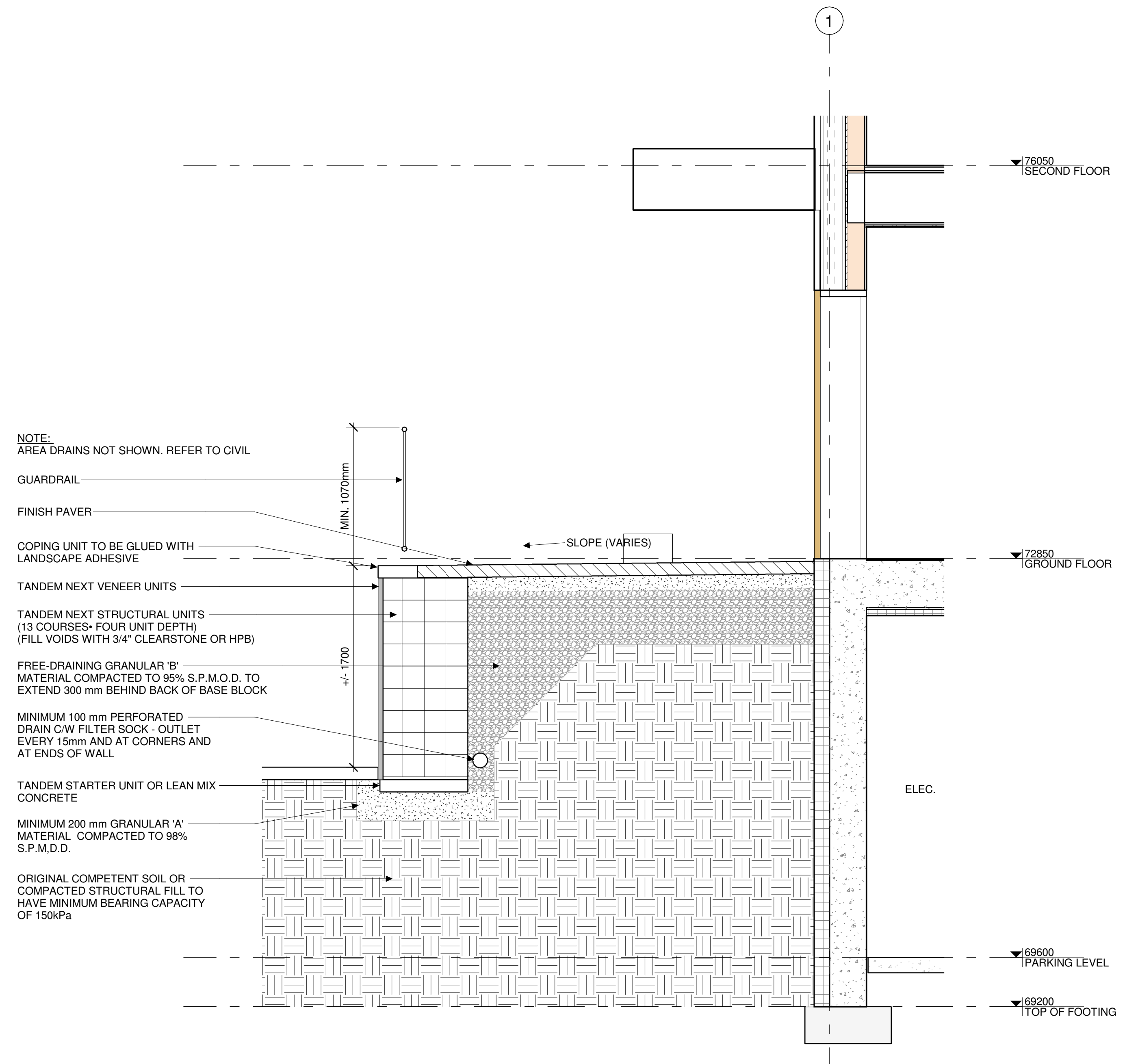
REV DRAWING NO.

1

A111

D07-19-24-0061

19156



1 RETAINING WALL SECTION @ GL 1
A111 1:25

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

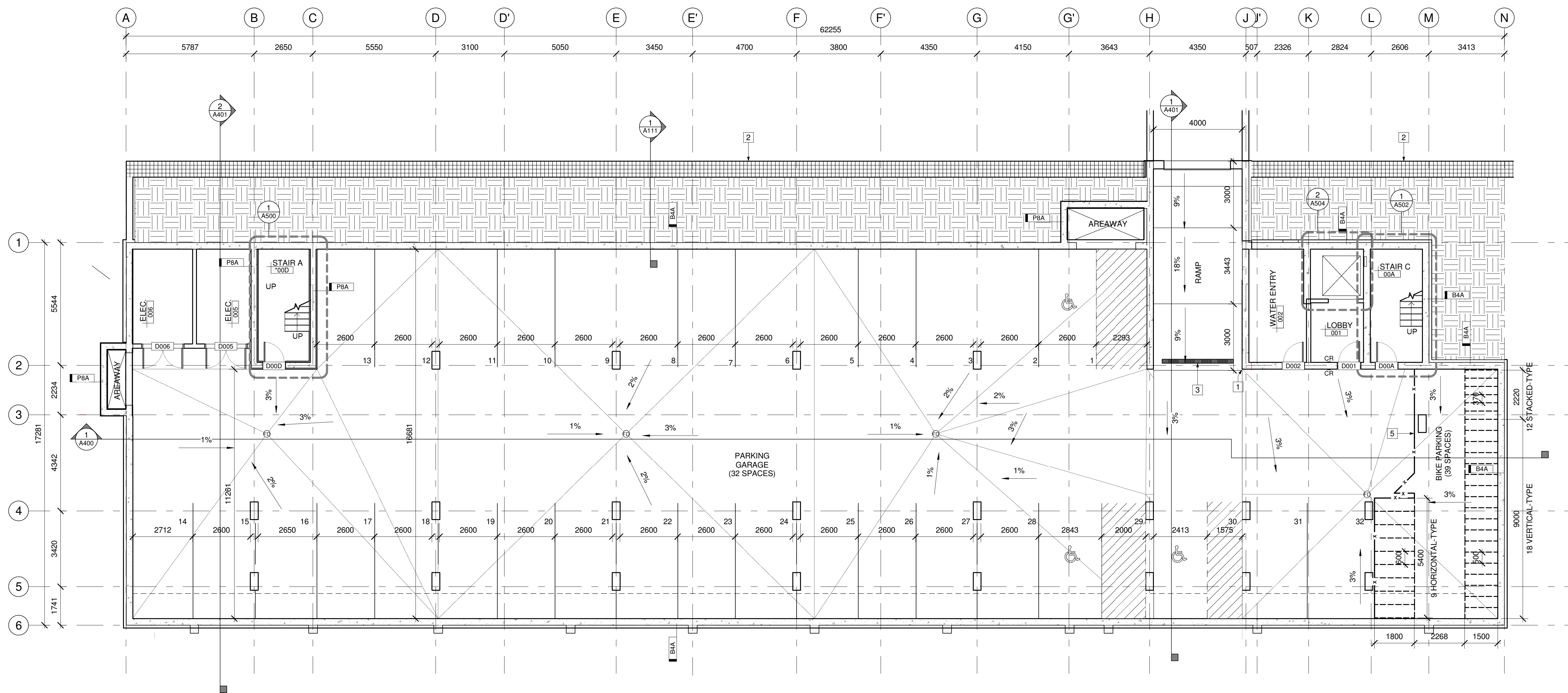
BETTER LIVING CO-OPERATIVE
OTTAWA
ONTARIO, CANADA

BLOCK 3 REDEVELOPMENT

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

UNDERGROUND PARKING PLAN

PROJECT NO: 2022-2040
DRAWN: DF
APPROVED: PM
SCALE: 1 : 100
DATE PRINTED: 2024-10-09 5:01:35 PM



1 UNDERGROUND PARKING LEVEL
A200 1:100

GENERAL REFERENCE PLAN NOTES:

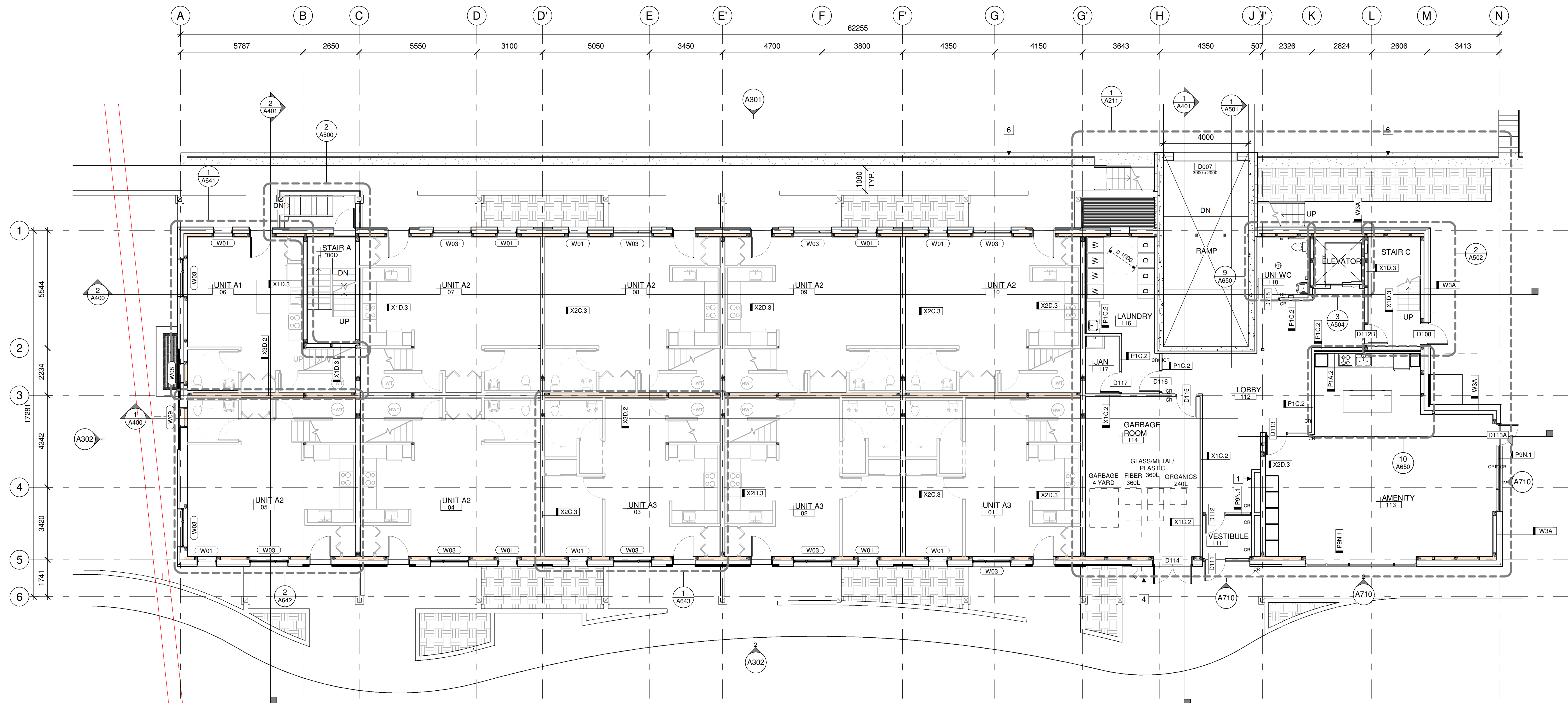
1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
2. ALL DOOR DIMENSIONS ARE TO THE CENTRE OR INSIDE OF FRAME.
3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

UNDERGROUND PARKING PLAN KEYNOTES:

- 1 PARKING GARAGE SIGNAL
- 2 RETAINING WALL
- 3 TRENCH DRAIN, REFER TO MECHANICAL DOCUMENTS
- 4 NOT IN USE
- 5 SECURE BIKE STORAGE. CHAINLINK FENCE W/ ACCESS DOOR. SECURE FENCE TO FLOOR SLAB AND TO U/S SLAB ABOVE

LEGEND:

- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- CARD READER



1 GROUND FLOOR KEY PLAN
A201 | 1:100

STAMP

REV DATE	ISSUE
3 2024-10-08	Issued for SPC
2 2024-07-15	Issued for SPC
1 2024-07-19	Issued for 66%



NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

BETTER LIVING CO-OPERATIVE
OTTAWA
ONTARIO, CANADA

PROJECT

BLOCK 3 REDEVELOPMENT

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

GROUND FLOOR PLAN

PROJECT NO: 2022-2040
DRAWN: KM, DF
APPROVED: PM
SCALE: 1:100
DATE PRINTED: 2024-10-09 5:01:37 PM

REV DRAWING NO.

3

A201

D07-19-24-0061

GENERAL REFERENCE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
2. ALL DOOR DIMENSIONS ARE TO THE CENTRE OR INSIDE OF FRAME.
3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

REFERENCE PLAN KEYNOTES:

- 1 MAILBOXES
- 2 NOT IN USE
- 3 CANOPY ABOVE
- 4 FIRE DEPARTMENT CONNECTION
- 5 FIRE ALARM CONTROL PANEL
- 6 RETAINING WALL C/W GUARDRAIL

LEGEND:

- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- DOOR OPERATOR



1 EAST ELEVATION
A301 1:100



2 SOUTH ELEVATION
A301 1:100

STAMP

1 2024-10-08 Issued for SPC
REV DATE ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

**BLOCK 3
REDEVELOPMENT**

1360 OGLIVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

ELEVATIONS

PROJECT NO: 2022-2040
DRAWN: Author
APPROVED: Approver
SCALE: As indicated
DATE PRINTED: 2024-10-09 5:01:40 PM

REV DRAWING NO.

1 **A301**

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION KEYNOTES:

- 1 CURTAIN WALL
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN & ROOFTOP ACCESS
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR:
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
		WOOD SIDING MANUFACTURER: COLOUR:
		FASCIA MANUFACTURER: COLOUR:



2 WEST ELEVATION
A302 | 1:100



1 NORTH ELEVATION (OGILVIE RD.)
A302 | 1:100

STAMP

1	2024-10-08	Issued for SPC
REV DATE	ISSUE	

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

BETTER LIVING CO-OPERATIVE
OTTAWA
ONTARIO, CANADA

PROJECT

BLOCK 3 REDEVELOPMENT

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

ELEVATIONS

PROJECT NO: 2022-2040
DRAWN: Author
APPROVED: Approver
SCALE: As indicated
DATE PRINTED: 2024-10-09 5:01:44 PM

REV DRAWING NO.

1 **A302**

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION KEYNOTES:

- 1 CURTAIN WALL
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN & ROOFTOP ACCESS
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
	BRICK VENEER	MANUFACTURER: COLOUR:
	ALUMINUM COMPOSITE PANEL	MANUFACTURER: COLOUR:
	ALUMINUM COMPOSITE PANEL	MANUFACTURER: COLOUR:
	WOOD SIDING	MANUFACTURER: COLOUR:
	FASCIA	MANUFACTURER: COLOUR: