

PIN 04212-0267

LAURIER AVE. E

GENERAL NOTES:

- UNLESS OTHERWISE NOTED:
- A. SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.
- B. ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
- C. PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
- D. PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN & TREE CONSERVATION REPORT).
- E. ALL TREES SHOWN DASHED ARE TO BE REMOVED. REFER TO DEMOLITION SITE PLAN AND TREE CONSERVATION REPORT.
- F. ANY PARKING SPACES MOVED OR REMOVED DURING CONSTRUCTION WILL BE REINSTATED.
- G. ANY TREE DISTURBED DURING CONSTRUCTION WILL BE REINSTATED UPON COMPLETION.
- H. MATERIAL EXCAVATED FROM THE SITE WILL BE REMOVED AS SOON AS POSSIBLE.
- I. SIDEWALK CURBS TO BE REINSTATED WHERE PRIVATE DRIVEWAYS HAVE BEEN DEMOLISHED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.

SPECIFIC NOTES:

- 1. NEW PARKING VENTILATION GRATE
- 2. CURB CUT
- 3. UNDERGROUND STORAGE TANK/CISTERN. REFER TO CIVIL DRAWINGS FOR SPEC.
- 4. PLANTER
- 5. MAIN ENTRANCE
- 6. MOVE IN ENTRANCE
- 7. PROPOSED TERRANCE LIGHTING
- 8. STONE PAVERS (REFER TO LANDSCAPE PLAN)
- 9. NEW CONCRETE SERVICE
- 10. BICYCLE RACK PARKING
- 11. STAIRS / FIRE DEPARTMENT CONNECTION
- 12. NEW GAS METER
- 13. GRASS (REFER TO LANDSCAPE ARCHITECT)
- 14. EXISTING SIDEWALK TO BE REINSTATED AS REQUIRED
- 15. PROPOSED PARKING RAMP
- 16. ASPHALT DRIVEWAY EXTENDED TO STREET
- 17. NEW CONCRETE CURB
- 18. TACTILE WALKING SURFACE INDICATOR AS PER CITY OF OTTAWA STANDARDS
- 19. GARDEN (REFER TO LANDSCAPE ARCHITECT)
- 20. EXISTING BUS STOP LOCATION TO REMAIN
- 21. EXISTING UTILITY POST TO REMAIN
- 22. EXISTING UTILITY POST TO BE REMOVED
- 23. EXISTING MAN HOLE TO REMAIN
- 24. EXISTING CATCH BASIN TO REMAIN
- 25. HOT USED.
- 26. AIR CONDITIONING UNITS DEDICATED TO GARAGE ROOMS
- 27. UNDERGROUND PARKING GARAGE ACCESS
- 28. BARRIER FREE SLOPED ACCESS
- 29. EXISTING TREE TO BE RETAINED & ROOT PROTECTION ZONE (REFER TO TREE PROTECTION REPORT)
- 30. TREES SHOWN DASHED TO BE DEMOLISHED
- 31. EXISTING STONE RETAINING WALL (TO BE DEMOLISHED, F. DASHED)
- 32. NEW HYDRO PAVED PATH
- 33. PROPOSED STONE RETAINING WALL
- 34. PROPOSED BENCH
- 35. PROPOSED ACCESSIBLE BENCH
- 36. PROPOSED PRECAST CONCRETE LANDSCAPE STEPS (AND HANDRAILS AS REQ.)
- 37. NEW GRAVEL PATH - SEE LANDSCAPE PLAN
- 38. PRIVACY SCREEN WALL BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS
- 39. NEW TREE - SEE LANDSCAPE PLAN
- 40. HYDRO VAULT AIR INTAKE
- 41. STAIR PRESERVATION GRATE

ZONING MATRIX

ITEM	FIELD	DATA
01	LEGAL DESCRIPTION	858(24)4 S379
02	CURRENT ZONING PERMITTED USES	RESIDENTIAL / HOTEL
03	LOT AREA	2,850m ² (INCLUDING CHURCH PROPERTY); 1,422.4m ² (EXCLUDING CHURCH PROPERTY)
04	LOT FRONTAGE	29m
05	BUILDING AREA	1,343m ²
06	BUILDING SETBACKS	NORTH: 4.1m EAST: 0m SOUTH: 0m WEST: 1.2m
07	AMENITY SPACE	REQUIRED: 6m ² UNIT / 121 UNITS x 6m ² = 726m ² SITE COMMUNAL AMENITY AREA = 343m ² PROVIDED: COMMUNAL AMENITY: 472 m ² EXTERIOR: 286 m ² INTERIOR: 186 m ² PRIVATE AMENITY: 258 m ² TOTAL AMENITY: 1,230 m ²
08	BUILDING HEIGHT	MAXIMUM HEIGHT = 35m, 9 STOREYS PROVIDED = 32.915m, 9 STOREYS
09	LOADING ZONE	N/A
10	VEHICLE PARKING	REQUIRED: PROPOSED: RESIDENTIAL PARKING: 0.33 PARKING SPACES/UNIT = 43 RESIDENTIAL PARKING SPACES REQUIRED VISITOR PARKING: 0.03 PARKING SPACES/UNIT = 4 VISITOR PARKING SPACES REQUIRED 50% OF PARKING SPACES MAY BE COMPACT = 22 PARKING SPACES MAY BE COMPACT
11	BICYCLE PARKING	REQUIRED: PROPOSED: RESIDENTIAL: 0.5 / UNIT = 60.5 SPACES TOTAL: 41
12	LANDSCAPED AREAS	REQUIRED: 425m ² (INCLUDING PORTIONS OF 315 CHAPEL AND 321 BLACKBURN AVE. BUT EXCLUDING THE CHURCH PROPERTY) PROVIDED: 427.95 m ²
13	DRIVE ASILES	6m WIDE

RESIDENTIAL SUITE COUNTS

CONDOMINIUM	COUNT
1 BEDROOM	36
1 BEDROOM (BF)	10
2 BEDROOM	33
2 BEDROOM (BF)	6
3 BEDROOM	5
3 BEDROOM (BF)	4
STUDIO	27
TOTAL	121

GFA AREA SCHEDULE

LEVEL	PROPOSED AREA (m ²)
LEVEL 01	7,408 m ²
LEVEL 01 (MEZZANINE)	1,753 m ²
LEVEL 02	10,975 m ²
LEVEL 03	12,359 m ²
LEVEL 04	9,674 m ²
LEVEL 05	19,985 m ²
LEVEL 06	10,155 m ²
LEVEL 07	8,985 m ²
LEVEL 08	8,985 m ²
LEVEL 09	8,985 m ²
LEVEL 10	11,511 m ²
TOTAL	92,201 m ²

ZONING COMPLIANT VEHICLE PARKING PROVIDED (BY LEVEL)

TYPE	COUNT
ACCESSIBLE (2400x5200)	1
COMPACT (2400x4600)	2
PARALLEL (2200x4700)	1
STANDARD (2400x5200)	20
TOTAL PROVIDED	47

NON STANDARD VEHICLE PARKING (BY LEVEL)

TYPE	COUNT
B2	2
B1	4
TOTAL PROVIDED	6

BICYCLE PARKING PROVIDED

TYPE	COUNT
HORIZONTAL	20
HORIZONTAL STACKED	106
VERTICAL	11
TOTAL PROVIDED	137

LEGAL DESCRIPTION:

LOTS 9, 10, 11 & 12 (SOUTH LAURIER AVENUE)
PART OF LOTS 3 & 4 (WEST BLACKBURN AVENUE)
REGISTERED PLAN 3720
(GEOGRAPHIC TOWNSHIP OF NEPEAN)
CITY OF OTTAWA
SURVEY REFERENCE:
TECHNICAL INFORMATION GATHERED FROM
SURVEY PREPARED BY CERTIFIED LAND
SURVEYOR STANISLAW GROMANOWSKI, LTD.
DATE: NOVEMBER 21, 2023
FILE # 1614-688-111
PLANNER CONTRACT INFORMATION:
NAME: E. C. BOWETT
TEL: (613) 722-4400



SOFTSCAPED AREAS - GRASS, PLANTING, GARDENS OR SIMILAR. SEE LANDSCAPE ARCHITECTS DRAWINGS.
HARDSCAPED AREAS - CONCRETE PAVERS OR SIMILAR. SEE LANDSCAPE ARCHITECTS DRAWINGS.



owner | propriétaire



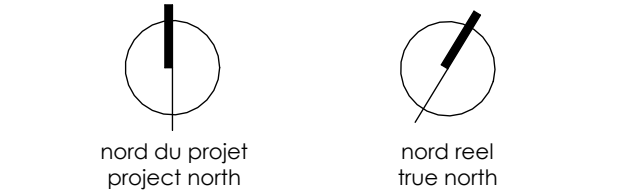
structural engineers | ingénieurs structure



landscape architects | architectes paysagistes
civil engineers | ingénieurs civil



MEP engineers | ingénieurs MEP



general notes | note générale

1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
2. DO NOT SCALE THE DRAWINGS.
3. NOTIFY FOR CONSTRUCTION UNITS ISSUED BY THE ARCHITECT.

project title

THE EVERGREEN ON BLACKBURN
8 BLACKBURN AVE. OTTAWA, ON K1N 6P7

drawing title | titre du dessin

SITE PLAN (PROPOSED)

project number | numéro du projet **2218**
drawn | dessiné **RM / CK / JH**
checked | vérifié **RM / AR**
date | date **MARCH 21, 2023**
scale | échelle **As Indicated**

drawing number | numéro du dessin

A0-800



Approved: Revit / The Evergreen on Blackburn 2218 - The Evergreen_18_SPA.rvt
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