



## DESIGN BRIEF

SITE PLAN CONTROL

315 + portion of 321 Chapel St, Ottawa,  
ON K1N 7Z2

10 OCTOBER 2024







# 315-321 CHAPEL STREET - ALL SAINTS

Project Location: 315-321 Chapel Street

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# PROJECT DESCRIPTION

- Project Rendering







# DESIGN DIRECTIVES

- Compiled comments received to date related to Urban Design and Architecture

No.	Comment	Response
<b>1</b>	<b>Heritage</b>	
1.1	Treatment of the apse. The initial package sent by the applicant included a proposal to remove the roof of the apse. The applicant clarified that this is not an intention anymore. The entire apse wall will remain and will be exposed both to the interior lobby and from the exterior. The applicant is still working with structural engineers to comply with Building Code and build in a way that the fire wall does not rely on the existing apse roof (potential additional structure around). The roof won't necessarily be visible from hotel site as a result of this intervention, but the intention is to keep the stone wall visible.	Agreed.
1.2	Lobby facing Blackburn Avenue Previous proposal had the visibility from Laurier, and the applicant confirmed that this visibility will be maintained with the revised proposal.	Acknowledged.
1.3	Process Heritage application will have to go to Planning and Housing Committee and City Council. Heritage Impact Assessment is required, both for the impacts and changes to the church building and impact on the Russel Range HCD. Plus, the strip of land along Blackburn Avenue (portion of 321 Chapel): the plan has a note about lot consolidations and severances need to be accompanied by Heritage Impact Assessment. The Heritage Impact Assessment should speak to this too. It all can be combined in one document.	Acknowledged, a Heritage Impact Assessment (HIA) has been prepared and is included as part of this submission.
<b>2</b>	<b>Urban Design</b>	
2.1	UDRP The subject site is within Design Priority Corridor, and attendance to UDRP is required.	The project team attended UDRP on July 7, 2023.
2.2	Question why the hotel use was restricted in the first place From the City perspective, the building was intended to provide community hub functions on the ground and up to fourth floor.	Acknowledged.
2.3	Transition to the south It was advised to be cautious on how the building is getting pushed towards the south with the revised design as presented, including the very large balconies. Transition to the south and to the existing neighbourhood in the south was really important during the first zoning amendment. It's going to be a sensitive issue and perhaps some design mitigation of this impact will be required.	We have maintained the massing of the zoning in that area save for the structure and green roofed section over the parking ramp. The balconies on the South façade are within the zoning requirements. Shape and size is still under consideration and these comments will be considered during any revisions.
2.4	Design Brief Design Brief will be required. It is a separate submission from the UDRP submission.	A Design Brief has been prepared and is included as part of this submission.

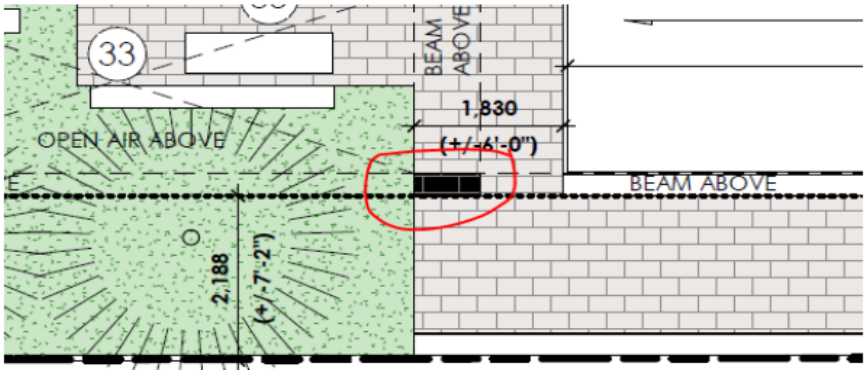
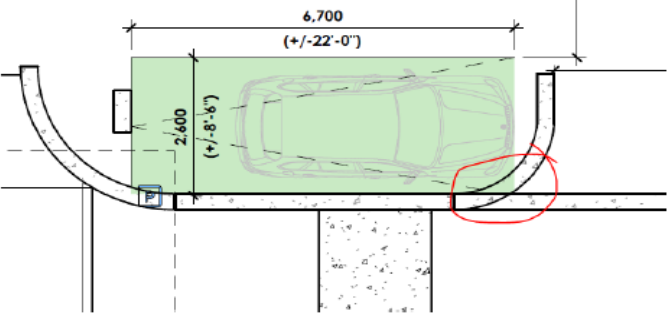


No.	Comment	Response
3	Planning	
3.1	Question why the community hub on ground-level floors is not part of the revised proposal The applicant anticipates developing the site with mass timber construction and it is not feasible anymore to provide community space with anticipated construction model, sustainability and heritage considerations. The synergy between the restaurant, the hotel, micro-mobility as a hub (conference spaces etc.), small retail/commerce, condos, and using the existing church as a community space provides better feasibility model for the project to move forward.	Acknowledged.
3.2	Transition to the south It was advised to explore how south façade and especially balconies can work better as a transition to the neighbouring low-rise residential properties to the south.	We have maintained the massing of the zoning in that area save for the structure and green roofed section over the parking ramp. The balconies on the South façade are within the zoning requirements. The balcony guards are in keeping with the heritage nature of the neighbourhood, favouring pickets over a more transparent glass guard. This will aid with any privacy concerns for neighbouring properties. Shape and size is still under consideration and these comments will be considered during any revisions.
3.3	Portion of property at 321 Chapel Street How this strip will be developed? Will it be maintained as a landscaped buffer? Or will it be included as part of the building? The building won't be extended but it helps to plan the parking garage and opens more of the ground floor for other functions. It will be partially ramp for driving down and closer to Chapel Street it will be a landscaped area. It was advised to avoid more impact on the neighbouring property along Blackburn.	The building will not be extended further into the newly acquired strip of land save for the parking ramp and the roof over the ramp. Careful attention was paid when designing the roof of the ramp to avoid increasing impacts to 14 Blackburn Avenue.  The southwest corner of the lot will be softly landscaped and will include a path for exiting the building.
3.4	Rooftop Amenity There is a precedent in the city where the rooftop amenity area was provided and wasn't calculated as an additional storey towards a building height. It was advised to keep it at a minimum, however, and to evaluate it from a streetview perspective. As seen from perspective views, there is also a canopy extent over the amenity area and potentially there will be an elevator runover. Keeping the height at street level as nine storeys is what the City will be looking at and evaluating the impact of the relief. Will the area of the outdoor rooftop amenity be increased? The applicant confirmed that there is a slight increase of this rooftop amenity area. Will it be used as for hotel use or for residential use? The applicant would like to maintain the flexibility. Some restrictions may apply for hotel use in terms of hours of operation, but more information will be provided by City staff.	Currently, the intent is to utilize the roof for resident amenity space, both indoor and outdoor. The terrace area does not extend beyond the required zoning boundaries. The outdoor terrace area and interior amenity space will not be visible from street level.  The Planning Rationale provides a detailed discussion of relief required for the ZBLA, including permitted projections above the height limit.
3.5	Reduction in parking compared with the initial proposal Though the parking garage is being reduced compared with the initial proposal, the applicant has confirmed that the proposal is compliant with parking requirements of the Zoning By-law.	During the initial pre-consultation meeting, the project team indicated that they were investigating ways to provide the minimum parking rate for the development. However, following refinements to the design, including application of vehicle turning radii templates and refinements to the structural requirements, such as locating structural supports, the required parking minimum could not be accommodated. Therefore, a reduction in the required visitor parking rate has been included in the list of requested relief as part of the Zoning By-law Amendment.
3.6	Rooftop Amenity follow-up question It was advised to keep it as small as possible. Also, information provided that in zoning provisions it will be limited to the area, to the use, and to the square footage of the interior space.	Interior rooftop amenity space will be kept to a minimum (small kitchenette/dining room, washrooms)

No.	Comment	Response
7	Urban Design	
7.1	The site is within a Design Priority Area and the proposal is subject to review by the City's Urban Design Review Panel prior to the application being deemed complete. Please contact <a href="mailto:udrp@ottawa.ca">udrp@ottawa.ca</a> for details on submission requirements and scheduling.	Acknowledged and actioned.
7.2	<p>We appreciate the presentation material provided at the Pre-consultation meeting and have the following design comments:</p> <ul style="list-style-type: none"> <li>- We recommend additional exterior detail be provided for the UDRP meeting.</li> <li>- We recommend caution be taken regarding the relationship of the southern facade to the residential neighbourhood to the south, including the overhanging balconies.</li> <li>- We recommend the project team review the UDRP recommendations from Dec, 2017 as many of the issues remain relevant.</li> </ul>	Acknowledged and actioned.
7.3	<p>A scoped Design Brief is a required submittal (and separate from any UDRP submission) for all Site Plan/Re-zoning applications. Please see the Design Brief Terms of Reference provided and consult the City's website for details regarding the UDRP schedule.</p> <ul style="list-style-type: none"> <li>- Note. The Design Brief submittal should have a section which addresses these pre-consultation comments.</li> </ul>	Acknowledged and actioned. Design Brief is being prepared for our ZBLA submission.

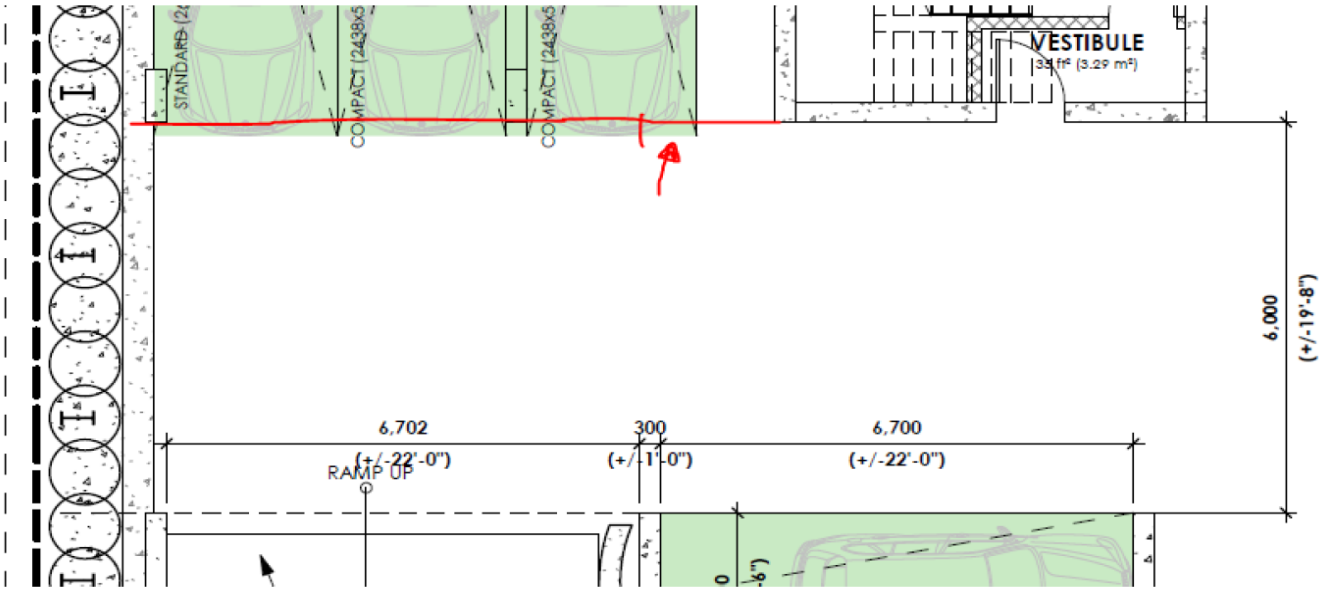


No.	Comment	Response
	<b>Planning</b>	
1	<p><b>Policy 128)</b> in Section 4.7.8 – Building Heights of the Central and East Downtown Core Secondary Plan:</p> <p>128) Within the Sandy Hill Character Area, any maximum building heights permitted in the Zoning By-law that exceed the heights indicated on Schedule B as of the date of adoption of this Secondary Plan will continue to apply. Any increases beyond these maximum heights will require an Official Plan Amendment.</p> <p>Since there is no additional storey proposed and there is a sufficient planning rationale for the over 2 metres increase in height, we can consider the policy 128) in Secondary Plan as met and there is no need for an OPA.</p>	Acknowledged and agreed that an OPA is not required.
2	<p><b>Transition to the South:</b></p> <ul style="list-style-type: none"> <li>• Please, further integrate the parking garage access ramp into the building mass and shift away from the neighbouring building to the south. Incorporate a landscape buffer along the southern property line to mitigate impacts to the low-rise residential to the south, specifically the two-storey building directly abutting the site.</li> <li>• The previous comments/concerns with regards to the southern balconies are not accommodated. Are balconies compliant with the Zoning By-law (Section 65)?</li> <li>• Currently, the two trees proposed in the landscaped area to the south are covered with the canopy/structure over the parking ramp access. Additionally, the parking garage extends to the south with a setback of 2 metres from the new property line. How will this impact the survivability of the trees that are being proposed?</li> </ul>	<p>The driveway/ramp to parking has been moved further North and now accommodates a 2m walkway using pavers between properties. The garage door is hidden below grade and guard rails surrounding the ramp opening will be in keeping with the architectural expression of the building. A landscaped area at the Southwest corner of the property integrates bike storage into the area.</p> <p>Balconies have been redesigned to ensure compliance with Section 65. Balconies project no more than 2 metres from the building face and are more than 1 metre from the property line, consistent with table 65(6)(c) of the Zoning By-law. As described in the Planning Rationale, relief is sought from Section 65 for the balconies located on the corner side yard (Blackburn Avenue) as they project to within 0 metres of the property line.</p> <p>The two proposed trees are considered small trees and full shade tolerant. The plant bed where these trees are planted is open toward the east and will have a fair amount of light in the morning. As well, the planting bed is irrigated.</p>
3	<p><b>North Façade (Laurier Avenue East)</b></p> <ul style="list-style-type: none"> <li>• While we have no concerns with the main entrance being located along Blackburn Avenue, please ensure that the Laurier façade and its entrance(s) remain(s) active. Currently the stairway occupies space that can otherwise provide a better relationship with the street, obstructs the visibility of the apse, and restricts unified fenestration of the northern façade. Consider other location for the stairway, reconfiguration for the visitor bicycle parking rack, and opening the corner portion of the ground floor for continuous visibility of the apse along Laurier Avenue from the east. Laurier Avenue East is defined as a minor corridor in the Official Plan: On Downtown Core Minor Corridors, all buildings shall have active entrances facing the Minor Corridor, regardless of use. (Policy 4 in Section 5.1.4).</li> </ul>	<p>The apse will be completely visible from Laurier (save the roof which must be enclosed to maintain the firewall between the two structures).</p> <p>An active entrance to Laurier Avenue is provided, with an entrance to the lobby and amenity area provided via the Laurier frontage. Given Laurier Avenue is a major pedestrian route, we anticipate that this entrance will be well-used by both guests and residents.</p> <p>Exterior bicycle parking has been re-arranged; the bicycle parking rack has been downsized and five (5) convenient bicycle parking spaces are now provided at each of the lobby entrances.</p> <p>The visitor bicycle parking is being rearranged to be more welcoming on this facade. There is no other practical location for the stairway considering the required setbacks in the building in coordination with the parking garage (the stair either ends up in a setback or in the drive aisle).</p>
4	<p><b>Landscape Plan and Site Plan</b></p> <ul style="list-style-type: none"> <li>• MLA and encroachment agreement required for the stairs, sidewalk material, and street furniture and fixed landscape located in the ROW. Further discussion will be required with respect to the extent of the encroachment.</li> <li>• Widen walkway connections from ground floor units to the street (Blackburn Avenue) to a min of 1.5 metres.</li> <li>• All entrances should be shown on Site Plan.</li> <li>• Driveway access to parking garage must be 6.7m wide (6.3m shown), 6m aisle width in garage is permitted. Please include the required relief accordingly.</li> </ul>	<p>Noted. This would be applicable at a future Site Plan Control application.</p> <p>It is our understanding that the 1.5 metres is required to permit two people operating wheelchairs to pass one another. However, this path leads to a set of stairs for the ground-related units, so two people would be unable to operate wheelchairs simultaneously. We feel that the 915 mm is an appropriate width, whereas increasing this would lessen the amount of landscaping provided and increase the amount of hardscape.</p> <p>Entrances are indicated on the Site Plan on drawing no. A0-800.</p> <p>Section 107(1)(a)(iii)(aa)(ii) indicates a maximum, not a minimum, driveway width of 6.7 metres for a mid-rise apartment building with 20 or more parking spaces. The proposed 6.3 metres is therefore compliant.</p>

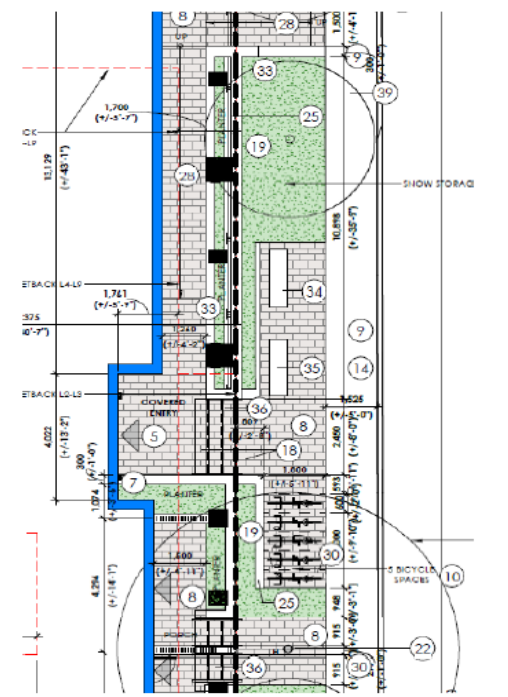
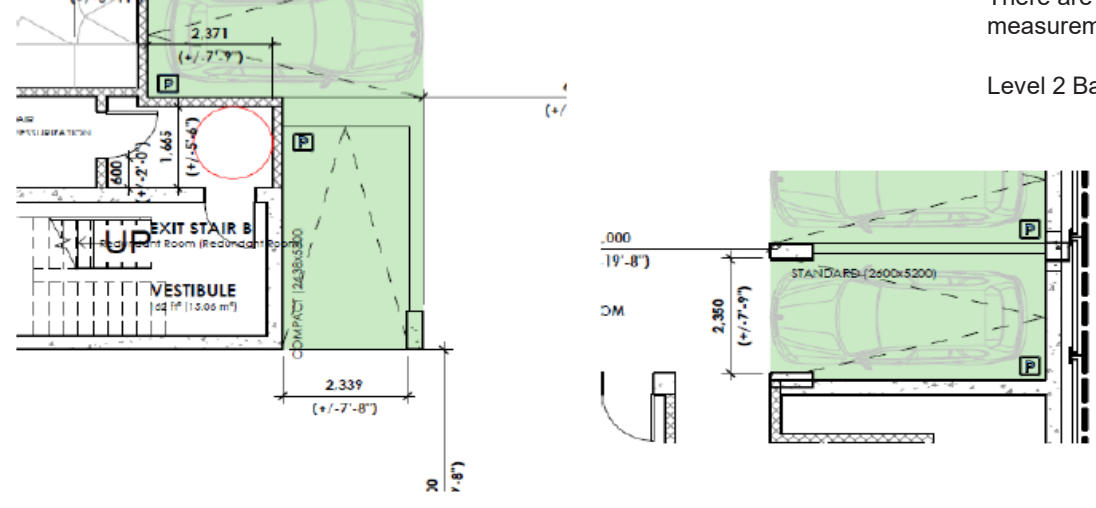
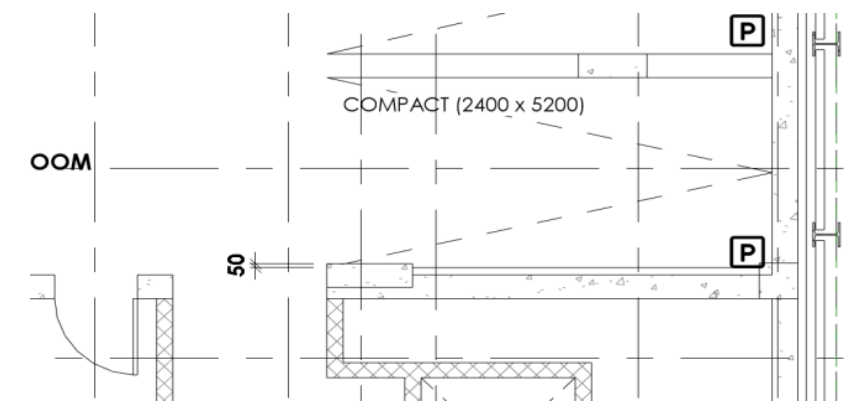
No.	Comment	Response
4	<p>• Clear path width for garbage leading to the street is likely insufficient. Additionally, it appears to have a structural column in the middle of the path. Waste Collection Services will likely request a pathway of a min 2 metres wide to the street. Please consult Solid Waste Management (By-law No. 2012-370)   City of Ottawa  <a href="https://ottawa.ca/en/living-ottawa/laws-licences-and-permits/laws/laws-z/solid-waste-management-law-no-2012-370">https://ottawa.ca/en/living-ottawa/laws-licences-and-permits/laws/laws-z/solid-waste-management-law-no-2012-370</a></p> 	<p>Structure has been adjusted to avoid interference with garbage removal.</p> <p>A clear path of 2 m has been provided for garbage removal - building structure has been adjusted accordingly.</p>
5	<p>Vehicle and Bicycle Parking</p> <ul style="list-style-type: none"> <li>• Insufficient space for the 6.7m wide parking space shown on B1 &amp; B2.</li> <li>• Please confirm that a minimum of 50% of the bicycle parking spaces required by this by-law are horizontal spaces located at floor level.</li> <li>• 8)(b) Despite Table 111B, in the case of stacked bicycle parking, the minimum width of a bicycle parking space is 0.37 metres.</li> <li>• Outdoor bike lockup area should be well lit for security.</li> </ul> 	<p>This has been adjusted on the plans - there is a small amount of interference on one corner. Please confirm this is acceptable.</p> <p>50% of bicycle parking provided as horizontal spaces at floor level - confirmed</p> <p>We are showing a minimum width of 0.6m for stacked bicycle parking</p> <p>Outdoor bicycle parking will be well lit for security</p>
6	<p>Elevations</p> <ul style="list-style-type: none"> <li>• Please include height of the projections. Relief from Section 64 is required.</li> </ul>	<p>Acknowledged.</p>
<b>Urban Design</b>		
7	<p>We have reviewed the applicant's responses to the UDRP and have the following comment:</p> <ul style="list-style-type: none"> <li>• We have raised concern around the proximity of the overhanging balconies located at the south-west corner of the building regarding potential overlook towards the private rear yards of the low-rise residential block to the south. We recommend the design consider how to mitigate this condition (perhaps by changing their orientation) and that the balconies not be larger than the maximum typically allowed in the zoning.</li> </ul>	<p>The balconies on the south-west corner of the building have been reduced in scale. Their orientation has also been changed to mitigate this issue. The balconies are no deeper than 2m.</p>
<b>Heritage</b>		
8	<p>Background:</p> <p>The subject property (All Saints) is designated under Part IV of the Ontario Heritage Act. A heritage permit is required for the proposed new construction, to be approved by City Council after consultation with the Built Heritage Committee. The heritage permit application should be submitted prior to the Site Plan Control application.</p>	<p>Noted.</p>
<b>Comments on the Proposal</b>		
11	<p>Design</p> <ul style="list-style-type: none"> <li>• Enclose the apse (including the roof) entirely within the lobby. The entire apse should be visible as one volume from Laurier Avenue. The existing proposal would mean that only the first floor of the apse is visible, since the second floor would be within a unit and the gym.</li> <li>• Consider the relocation of the north stair to provide better visibility of the apse from Laurier, and to also minimize the visual impact of the stair projection on the roof</li> <li>• Add more masonry to the first floor of the building along Blackburn, and at the corner of Blackburn and Laurier. This will allow the tower feature to sit more comfortably on the site.</li> <li>• Simplify the window treatment. There are multiple different window arrangements and sizes. Please unify some of them. Please change the curved window detail in the square windows to a pointed arch to better relate to the church, or alternatively remove the feature.</li> <li>• Colour of the metal panels – the colouring of the metal panels is still very close to the colour of All Saints. A bit more differentiation would help to give prominence to the heritage structure.</li> </ul>	<p>Enclosed the apse entirely within the lobby - see above comments regarding the roof. One apartment unit has been removed to allow the apse to be visible completely from Laurier Ave. and from the lobby.</p> <p>North stair - see above comments</p> <p>See revised elevations regarding the addition of masonry</p> <p>Window treatment - to be determined</p> <p>Metal panels - agreed - we will aim to make the panelling darker.</p>

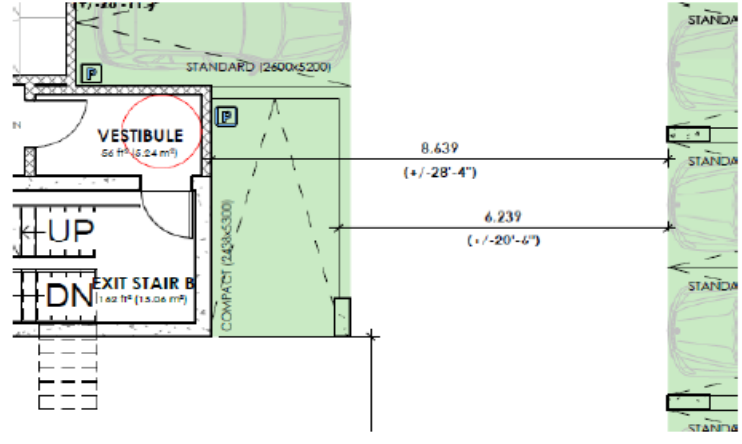
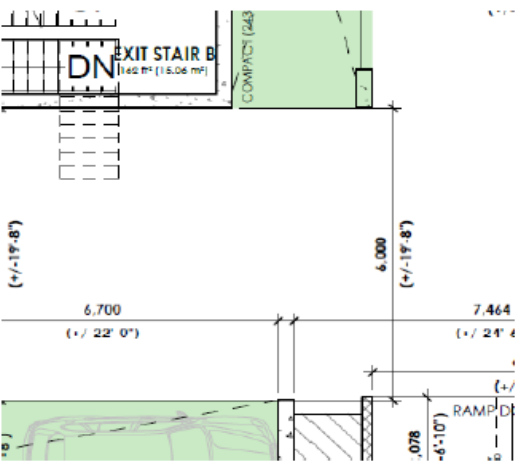
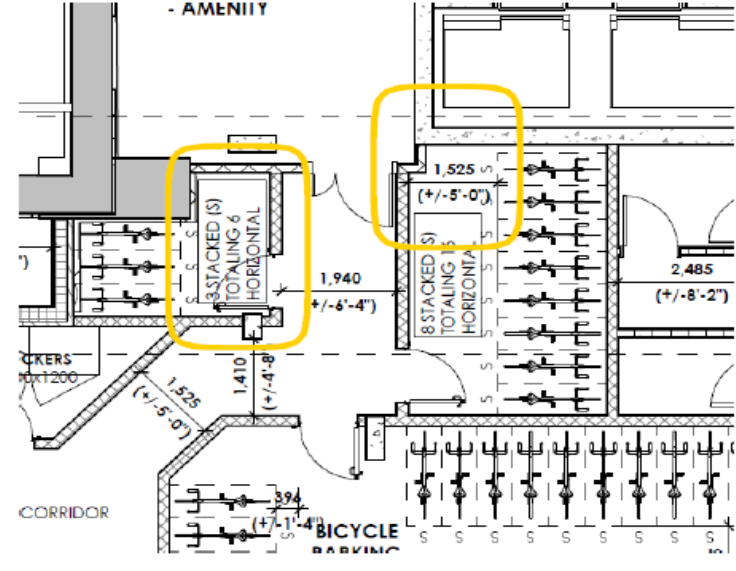


No.	Comment	Response
12	Transition <ul style="list-style-type: none"> <li>• Look for ways to provide a better transition to the southern neighbour on Blackburn and open up the space more. One consideration would be to remove the drive aisle roof or supporting posts.</li> </ul>	Balconies have been reduced in scale and simplified on the South façade. The drive aisle supporting posts are structurally required.
13	Heritage Impact Assessment <ul style="list-style-type: none"> <li>• Please refer to the attached Heritage Impact Assessment for comments that need to be addressed in the next round.</li> </ul>	<i>Ashley provided comments in a marked up PDF of the HIA.</i>

No.	Comment	Consultant	Response
<p><b>Planning</b></p> <p>Deficiencies:</p>			
1	<p>Drive aisle on B2 is less than 6m for a small portion. Please, review and accommodate the requirement; the parking space impacted should be still compliant with ZBL despite this change. Please submit the plan for review prior to formal application.</p> 	Linebox, Fotenn	Acknowledged and adjusted.
<p>Comments:</p>			
3	<p>Please, accommodate more prominent front entrance to the ground floor amenity to shift the focus from emergency exit on the front façade.</p>	Linebox	Acknowledged and adjusted.
<p><b>Urban Design</b></p> <p>Comments:</p>			
4	<p>We have reviewed and appreciate the applicant's responses to the UDRP recommendations, however, there were a number of recommendations that are being postponed until the Site Plan Application phase. We do not have any concerns about this, however, in order to keep record, they will be brought forward at the initial stages of the SPA process. We have no additional urban design comments at this time.</p>	Fotenn, Linebox (FYI)	Acknowledged.



No.	Comment	Consultant	Response
<p>Planning</p>			
<p>Comments:</p>			
<p><b>Procedural</b></p>			
<p>5</p>	 <p>Figure 1</p> <p>A Maintenance and Liability Agreement for the proposed landscaping elements will be required as well.</p>	<p>Fotenn, Windmill</p>	<p>Noted.</p>
<p><b>Interaction with public realm along Laurier Avenue Minor Corridor</b></p>			
<p>9</p>	<p>Prominent entrance along Laurier is still not accommodated. Laurier is a minor corridor, please treat the frontage of the building accordingly. More prominent front entrance to the ground floor amenity is beneficial to shift the focus from emergency exit on the front façade. Additionally, the area allows to design an inviting outdoor amenity to be used by residents and their guests that will in turn contribute to animation of public realm along Laurier corridor. Please, consider only minor alterations to glazing and maintaining transparency and coloured glass element.</p>	<p>Linebox</p>	<p>Many revisions have been made to respond to city comments to make the entrance off of Laurier Ave. more prominent. These include: the removal of the 2nd floor dwelling unit and amenity space to fully expose the apse to the public, the centralization of the doorway on the facade and on the path to Laurier Ave, the incorporation of coloured glass to accentuate the entrance and make it more prominent, the removal of any articulation of the facade of the exit stair, and the creation of a welcoming landscaped area off of Laurier Ave. No other changes are proposed.</p>
<p><b>Floor Plans</b></p>			
<p>10</p>	 <p>There are inconsistencies between measurements for some parking spaces:</p> <p>Level 2 Basement Plan:</p>	<p>Linebox</p>	<p>A Standard parking space beside exit stairs provided with no measurement inconsistencies or interferences. B2 parking space in South East corner shows one compact parking spot impeded upon by one column by 50mm and against one wall. With the column impediment, the parking space is 2350mm x 5200. Please note if this is acceptable.</p> 

No.	Comment	Consultant	Response
	<p>Level B1 Basement Plan:</p> 	Linebox	A Standard parking space beside exit stairs provided with no measurement inconsistencies or interferences.
	<p>Additionally, the drive aisle seems to be narrower than 6 metres here:</p> 	Linebox	Acknowledged. Modifications to the plans will be made to maintain 6m aisle throughout.
11		<p>Please, ensure that aisles for accessing bicycle parking spaces are 1.5 metres in width as per requirements of the Zoning By-law (Section 111).</p>	Linebox Acknowledged. Modifications to the plans will be made to maintain 1.5m aisle throughout.
<b>Urban Design</b>			
<b>Submission Requirements:</b>			
14	An Urban Design Brief is required. Please see attached customized Terms of Reference to guide the preparation of the submission.	Linebox	Acknowledged
14(a)	The Urban Design Brief should be structured by generally following the headings highlighted under Section 3 – Contents of these Terms of Reference.	Linebox	Acknowledged



No.	Comment	Consultant	Response
14(b)	Please note that the Urban Design Brief will also serve as the submission to the Urban Design Review Panel (see notes below) if required.	Linebox	Acknowledged
15	Additional drawings and studies are required as shown on the ASPIL. Please follow the terms of reference ( Planning application submission information and materials   City of Ottawa) to prepare these drawings and studies. These include (ie. The UDRP drawings).  <a href="https://ottawa.ca/en/planning-development-and-construction/residential-property-regulations/development-application-review-process/development-application-submission/planning-application-submission-information-and-materials">https://ottawa.ca/en/planning-development-and-construction/residential-property-regulations/development-application-review-process/development-application-submission/planning-application-submission-information-and-materials</a>	Linebox	Acknowledged
<b>Urban Design Review Panel Review and Report</b>			
16	The site is located within a Design Priority Area and is subject to review by the Urban Design Review Panel. UDRP review occurs within the Preconsultation stage. To proceed with a UDRP review, please contact <a href="mailto:udrp@ottawa.ca">udrp@ottawa.ca</a> .	--	We have confirmed with City Staff that a second trip to UDRP is not required.
17	The submission of a UDRP report is a requirement for deeming an application complete. Please follow the instructions provided in the Terms of Reference available here: <a href="#">Urban Design Review Panel Report (ottawa.ca)</a> .	--	We have confirmed with City Staff that a second trip to UDRP is not required.
18	This proposal has been to the panel recently (July 2023) during the re-zoning process and we believe that the design is generally in a good place. We would be willing to recommend an exemption to visiting the UDRP again during the Site Plan Application after the UDRP recommendations are responded to in full. The initial response dated 2023-11-27 (attached) postponed many responses until the SPA. A full response to the UDRP recommendations will now be required and submitted as part of the UDRP report (noted above) to ensure a complete submission.	--	Full responses to all UDRP comments has been provided under a separate cover, titled 'UDRP Report.'
<b>Comments:</b>			
19	We would be happy to discuss these responses and any other design related questions as required.	--	Noted.

No.	Comment	Response
<b>8</b>	<b>Key Recommendations</b>	
8.1	The Panel appreciates the overall massing of the project and the material selection.	Acknowledged.
8.2	The Panel appreciates the reuse of the stone and the decision to construct using mass timbre which can be exemplary for the Ottawa area going forward.	Acknowledged.
8.3	The Panel appreciates that the treatment around the apse of the church is trending in the right direction.	Acknowledged.
8.4	The Panel recommends giving greater consideration to making the area around the apse entirely public space.	The building amenity space and lobby surrounds the apse and is necessary to the functionality and security of the building. The apse remains visible to the exterior from Laurier Ave. and the Blackburn St entrance for the entire height of the apse until its soffit. The apse will be visible from both entrances through the large windows.
8.5	The Panel recommends giving more thought to the exterior lighting in public spaces.	Exterior lighting has been considered by an electrical consultant and a lighting plan has been prepared, available under a separate cover.
8.6	The Panel has concerns with the projected balconies, especial around the corners and as an overlook issue on the buildings to the south.	The balcony locations on the south façade have been carefully reviewed. The proposed balconies respect all zoning requirements and do not exceed the maximum allowable depth. Their shape, size, and concept has also been simplified, as per city comments.
8.7	The Panel strongly recommends reconsidering the parking garage ramp as proposed and integrating it into the building.	Understood. The parking ramp has been partially covered by the building but cannot be completely covered.
8.8	The Panel has concerns with the metal paneling and the articulation of the building above the church.	Details of exterior cladding will be deeply considered. The plan is to provide more "textured" or folded metal panels on the projection over the church as well as between certain windows. This provides texture, variation, and interest to the façade, similar to the detailed stonework of the church.
8.9	Ensure there is a variety of textures in the materials and that they are distinct from the colouration of the church.	Agreed - we aim to be in the same colour family of the church but in a champagne, metallic tone. We intend to select a colour/tone that is either lighter or darker than the stone of the church so that the church is not lost in the new background façade.
8.10	Ensure that materials are robust enough to provide longevity to the building.	Acknowledged.
8.11	The Panel has concerns with the approach taken to the stairway on the exterior of the building.	The façade has been modified so that the prominence of the exit stair has been removed. It has been blended into the overall north façade by setting back the rooftop stair access from the façade and removing any ornamentation that would draw attention to the stair. The exit doors at the base will be the same finish as the surrounding facade.
8.12	Explore different ways to address the stairway/vertical portion on Laurier Avenue.	The verticality of the stair has been removed - see above response.
<b>9</b>	<b>Site Design &amp; Public Realm</b>	
9.1	The Panel recommends allowing space for a landscape buffer to the south side of the proposal along Blackburn Avenue which will help with the transition and relationship to the 2½ -storey residential.	There will be landscaping planned for the Southwest corner of the site. A concrete paver path will be provided between the neighbouring property to the south and the parking ramp
9.2	The Panel recommends allowing for landscaped separation between parking entrance and the southern neighbouring property. Allowing for some inner block vegetation would be positive.	There will be landscaping planned for the Southwest corner of the site. A concrete paver path will be provided between the neighbouring property to the south and the parking ramp
9.3	The Panel has concerns with the surface parking next to the church and the easement required with the adjacent office building on Chapel Street.	The surface parking lot is associated with the office building occupying 321 Chapel Street and is not part of this development application. The eastern drive aisle will be acquired as

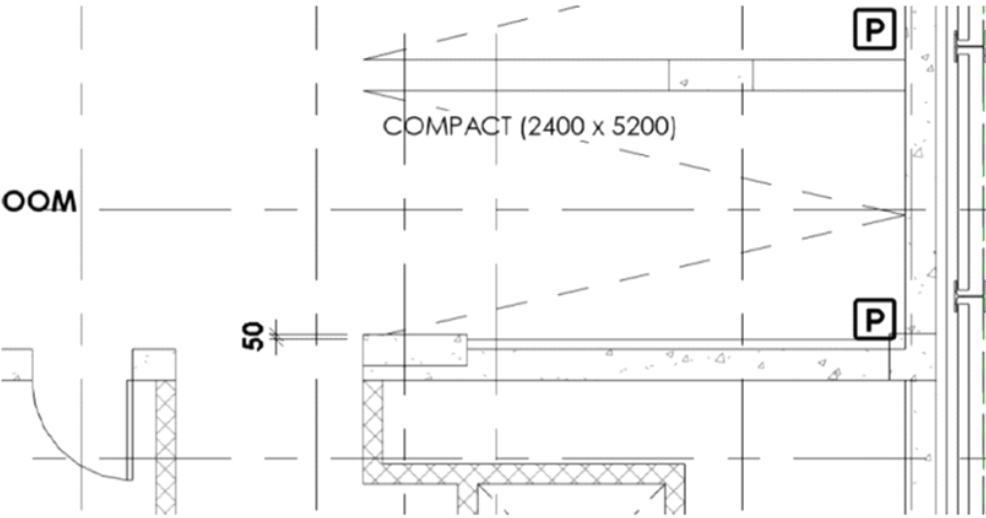


No.	Comment	Response
9.4	The Panel encourages pursuing a joint parking area with pervious paving and plantings.	part of the proposed redevelopment, but the development does include either the All Saints Church or the office building at 321 Chapel Street.
9.5	The Panel recommends removing the angled parking nearest to church if possible and providing plantings.	
9.6	The Panel recommends pursuing the opportunity for strong exterior lighting on the church to highlight its heritage aspect as well as lighting on the apse.	The lighting of the apse will take place on the interior of the new building and within the existing windows of the apse. The exterior of the church outside of the new building is not part of this project's scope.
9.7	Consider making it more installation-like.	Agreed - we intend to design the lighting and treating the apse windows with care
9.8	The Panel strongly recommends enclosing the parking ramp under the building and within the building footprint to allow for it to be covered rather than wrapping the ramp around the exterior of the footprint as is proposed.	Understood. The parking ramp has been partially covered by the building but cannot be completely covered.
<b>10</b>	<b>Sustainability</b>	
10.1	The Panel appreciates the reuse of materials.	Acknowledged.
10.2	Consider applying more use of existing materials in the design.	Acknowledged. During construction, the stone will be assessed to determine to what extent it can be re-used in the project.  The stone will be re-used in the landscaping of the property and depending on its condition, opportunities to explore re-use in other ways will be explored.
10.3	The Panel appreciates the integration of green elements on the roof terrace.	Acknowledged.
10.4	Explore ways to push this further (e.g., biodiversity, water retention, heat island reduction, etc.).	Acknowledged. This has been considered in the landscaping of the site and the roof terrace. 100% of the roof consists of high albedo elements (a combination of green roof, pavers with SRI values greater than 0.33 and a cool roof). 100% of the landscaped area will be irrigated using reused rain water, contributing further to water retention. All plantings will consist of native species and have been selected to increase the biodiversity. Plant species recommendations are proposed to emulate beneficial plantings rich with species.  Wherever hardscaping is not being installed on the roof terrace, green roof and white roofing will be used to reduce heat island effect.  Within the building, the structure is planned to be primarily composed of mass timber, a highly renewable and sustainable construction system.
<b>11</b>	<b>Built Form &amp; Architecture</b>	
11.1	The Panel appreciates the sensitive integration with the heritage component and the connection with the history of the site.	Acknowledged.
11.2	The Panel appreciates the thoughtfulness and focus on the intersection between old and new.	Acknowledged.
11.3	The Panel appreciates the massing of the project overall and the elegance of the design.	Acknowledged.
11.4	The Panel supports the architectural palette and overall design of the brick volume.	Acknowledged.
11.5	The Panel appreciates the two-tone material approach and the bronze colouration.	Acknowledged.
11.6	Ensure the materials are robust and durable enough to provide longevity and long-lasting elegance to the building.	Acknowledged.

No.	Comment	Response
11.7	The Panel has concerns with the metal paneling as a background to the heritage church because it matches too closely with the colour of the church stone and does not provide a contrast.	Agreed - we aim to be in the same colour family of the church but in a champagne, metallic tone. We intend to select a colour/tone that is either lighter or darker than the stone of the church so that the church is not lost in the new background façade.
11.8	Ensure that there is a distinction between the church stone material and the backdrop material at its connection with the heritage building in order to highlight the heritage of the church.	Agreed - we aim to be in the same colour family of the church but in a champagne, metallic tone. We intend to select a colour/tone that is either lighter or darker than the stone of the church so that the church is not lost in the new background façade.
11.9	The Panel has concerns with the amount of metal paneling on the upper volumes and its durability long-term.	Metal panels will be the direction we move forward with as there are weight constraints associated with the CLT wall system we are using. The panels will nonetheless be robust and durable throughout the lifespan of the building
11.10	The Panel encourages the applicant to pursue more robust materials and design solutions for the upper volumes.	Metal panels will be the direction we move forward with as there are weight constraints associated with the CLT wall system we are using. The panels will nonetheless be robust and durable throughout the lifespan of the building
11.11	The Panel appreciates how the vertically fluted panels add rigidity and texture to the façade.	Acknowledged.
11.12	Consider more texture and more verticality in the materiality of the upper volumes.	Agreed - we intend to increase the amount of textured panels in that region
11.13	The Panel strongly recommends extending the brick volume further west along Laurier Avenue to at least 2/3 of the building façade rather than 1/3. The masonry provides a complementary contrast with the stone church and an elegant design solution.	I believe more clarification would be required to understand this comment fully. If the intent is to extend the brick volume to the West, that will increase the building footprint. If that is the intent of the comment, we will definitely consider it. If the intent is to only extend the brick finish, we intended that section of the North facade, beside the church, to allow for more transparency to the apse (all the glazing).
11.14	The Panel has concerns with the design of the balconies distracting from the heritage building.	The balcony shape, size, and concept has been simplified, and do not distract from the heritage building.
11.15	The Panel is unsure whether the curvature and/or the amount of projection is necessary. Consider exploring alternative ways of giving residents outdoor spaces.	The balconies have been reduced in size and depth throughout the project.
11.16	The Panel has concerns with the style and geometry of the balconies, particularly the large wrap-around balconies on the south façade.	The balconies on the south façade were reviewed during the SPC process. Their shape, size, and concept has also been simplified, as per city comments. They respect all zoning requirements and do not exceed the maximum allowable depth.
11.17	The Panel encourages the applicant to explore alternatives to the wrap-around style of the corner balconies.	See above comment. Also note that the wraparound balcony is only proposed for the fourth storey; all other balconies are proposed as standard projecting balconies on the south façade.
11.18	The Panel suggests there may be an opportunity to be more buttress-like with the balcony designs.	This item has been considered and we find it may conflict with the previous comments and requests to simplify the geometry of the balconies, which we've done.
11.19	The Panel has concerns with the central vertical volume projection on the north façade. It is reading too strongly for what it is.	If this is in reference to the exit stair, this has been resolved. The façade has been modified so that the prominence of the exit stair has been removed. It has been blended into the overall north façade by setting back the rooftop stair access from the façade and removing any ornamentation that would draw attention to the stair. The exit doors at the base will be the same finish as the surrounding facade.
11.20	The Panel has concerns with the west façade behind the church.	As was recommended during the UDRP, we are considering adding more texture to the metal panelling in the projection over the church.
11.21	The Panel has concerns with the articulation on the west being very flat.	As was recommended during the UDRP, we are considering adding more texture to the metal panelling in the projection over the church.
11.22	The Panel recommends the applicant explore design solutions to break up the west façade and add more texture and depth to it.	As was recommended during the UDRP, we are considering adding more texture to the metal panelling in the projection over the church.



No.	Comment	Response
11.23	The Panel recommends considering how to best articulate the west façade to create a quiet background for the church.	Agreed - we aim to be in the same colour family of the church but in a champagne, metallic tone. We intend to select a colour/tone that is either lighter or darker than the stone of the church so that the church is not lost in the new background façade.
11.24	The Panel is unsure whether the extruded floating element above the church is successful.	This item was discussed at later meetings with the city. We noted the alterations and addition of detail elements (guard rails, texture façade) and there was agreement that it was much improved.
11.25	The Panel recommends relocating the mail room in the ground floor plan (perhaps behind elevators) to allow for more public uses surrounding the church apse and allow for the apse to be viewed in the round completely.	The lobby has been greatly modified since UDRP. The entire volume of the apse has been left exposed for two full storeys. All constructed program has been moved away from the heritage structure to leave it exposed.
11.26	The Panel appreciates the skillfully designed lobby space.	Acknowledged.
11.27	The Panel appreciates the windows with arched mullions, but integrating operable windows is necessary.	Acknowledged. The arched mullions have been removed from the design.
11.28	Consider adding mullions to help with the proportions of this large piece of glass.	Acknowledged. Mullions and operability has been integrated into the design and elevations.

No.	Comment	Response
<b>Next Steps</b>		
1	As per the provincial Bill 185, Cutting Red Tape to Build More Homes Act, applicants are no longer required to partake in pre-consultation, but they may choose to participate. Should your team wish to continue with the pre-consultation process, pre-consultation fees still apply. Staff encourage further pre-consultation steps to take place as there are a number of deficiencies noted below.	Acknowledged, we are proceeding to the full Site Plan Control submission.
2	Alternatively, should your team wish to skip any further pre-consultation steps, and proceed directly to applying for the required applications, please be advised that upon application, the City will assess whether the submission is "complete" or "incomplete". Staff will review the submission to ensure all the material outlined on the Study Plan and Identification List (SPIL) is provided and that this material meets the City's Terms of Reference. Should it be deemed "incomplete" the submission will be put on hold.	
3	In your next pre-consultation submission or application submission, please ensure that all comments detailed herein are addressed. A detailed cover letter stating how each comment has been addressed must be included with the submission materials. Please coordinate the numbering of your responses within the cover letter with the comment number(s) herein.	Acknowledged, this table provides responses to comments received.
<b>Planning</b>		
<b>Deficiencies:</b>		
1	Measurements for aisles to access bicycle parking spaces are missing on the ground floor plan so it's not possible to verify compliance with the Zoning By-law requirements.	The Ground Floor Plan has been updated to show dimensions of bicycle parking typologies and access aisles.
2	<p>Previous response: <i>A Standard parking space beside exit stairs provided with no measurement inconsistencies or interferences. B2 parking space in South East corner shows one compact parking spot impeded upon by one column by 50mm and against one wall. With the column impediment, the parking space is 2350mm x 5200. Please note if this is acceptable.</i></p>  <p>Response: Unfortunately, while very minor, this would be a deficiency that requires resolution.</p>	<p>The parking garage layout has been revised to ensure that all parking spaces are zoning compliant with regard to length, width, and proximity to a wall or column in the case of compact parking spaces. Some parking spaces were not zoning compliant and they have been provided for compact cars, but they have not been counted toward the zoning compliant parking space total of 47 spaces. The resident and visitor rate below is derived from the zoning compliant 47 spaces only. All other spaces are provided in excess of the required minimums.</p> <p>Resident: 43 spaces provided, rate of 0.355 (required rate: 0.35) Visitor: 4 spaces provided, rate of 0.03 (required rate: 0.03)</p> <p>An additional 6 non-standard vehicle parking spaces are provided.</p> <p>Further detail is provided on the architectural set.</p>
<b>Comments</b>		
4	Your response no. 28 to transportation comments states the following: "Acknowledged, the design for SPC Phase 3 submission shows a 1.5-metre sidewalk; however, this will be revised to show a 1.8-metre sidewalk for the final SPC submission. Unfortunately, the design was too far advanced to accommodate a 1.8-metre sidewalk for SPC Phase 3 submission. Civil, Landscape, and Architectural plans will be updated accordingly." Will this revision impact the soil volumes for trees? Please, elaborate.	The sidewalk has been widened per city request - it is a minimum of 1.8 m in width when adjacent to the paved bus pad, and increases to 2.3 m when proceeding east toward Blackburn Ave.



No.	Comment	Response
	<b>Urban Design</b>	
	<b>Deficiencies:</b>	
	<b>Submission Requirements</b>	
4	Although all the components for a complete application have been provided, the terms of the Urban Design Brief REPORT (see terms of reference link below) have NOT been followed. The current report reads as an Urban Design Brief instead. Please resubmit following the directions below.	A revised UDRP Report was submitted to Christopher Moise on August 2 at the following link: <a href="https://fotennottawa-my.sharepoint.com/:f/g/personal/naahal_fotenn_com/EgRKu5ZfISVNjxj-0XXP4jMB7TgyoNV_VrbYS1E_60ntJg?e=P748V2">https://fotennottawa-my.sharepoint.com/:f/g/personal/naahal_fotenn_com/EgRKu5ZfISVNjxj-0XXP4jMB7TgyoNV_VrbYS1E_60ntJg?e=P748V2</a>
5	<b>Urban Design Review Panel Review and Report</b> The submission of a UDRP report is a requirement for deeming an application complete. Please follow the instructions provided in the Terms of Reference available here: Urban Design Review Panel Report ( <a href="https://documents.ottawa.ca/sites/documents/files/udrp_report_tor_en.pdf">https://documents.ottawa.ca/sites/documents/files/udrp_report_tor_en.pdf</a> )	Later that day, he confirmed that the UDRP Report is suitable and satisfies outstanding design comments.
	<b>Comments:</b>	
	<b>Comments on Design</b>	
6	We have no additional urban design comments.	Noted.
	<b>Engineering</b>	
	<b>Plans:</b>	
1	<b>Grading Plan, Dwg GP-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b>	
	• How does drainage work on North raised patio for entrances to units? Grades are 70.58 at building and at retaining walls. How will water escape and ensure it does not enter building at lowest openings?	Proposed grading is to route the water away from the building towards the access ramp and out to the street
	• At the southwest corner of building shown on this plan, there is a soft landscaped area, which should have a barrier curb (or wall) to keep all surface water on this property, unless draining to a public roadway, and not allowing to flow to neighbouring lands. Show all top and bottom elevations of this wall or curb, as required.	Toe Wall will be provided to maintain all drainage on the property and direct it to Blackburn. Previous proposal contemplated to maintain the soft scape area per existing drainage conditions.
	• There is only 0.09 metres difference between CB on road and elevation shown for top of grade for entrance to UG parking garage. This location will need a trench drain to ensure no excess water gets into parking garage during a major rain event. We recognize there is no sag in roadway at this location, so no additional mitigation measures (to achieve 350 mm freeboard) is required.	Proposed grading meets the requirements of private approach bylaw. The existing surface drainage on Blackburn is routed south away from the proposed building. Trench drain is proposed at the bottom of the ramp.
	• Construction within rear lot access laneway requires coordination with neighbouring landowner, we understand. Please provide permission letter, dated and signed from this landowner for our files.	We (the applicant) have executed an agreement of purchase and sale with the landowner for the sliver of land from 321 Chapel to be included within this development application. Provided with this submission package is an excerpt from the purchase and sale agreement that shows a general description noting a purchase of the land, its execution (signature page) and a description of the lands (schedules). This documentation should be sufficient to satisfy the intent of this review comment. This document is being submitted in confidence and we would ask that it not be made available to the public.
2	<b>Site Servicing Plan, Dwg SSP-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b>	
	• Please provide all details of cistern, including, but not limited to, tank interior floor, outlet pipe and emergency (with alarm) overflow elevation information, flow rates and vessel capacity. Ensure there is a secondary back up pump. This should be in conjunction with Site Servicing and SWM (SS & SWM) Report recommendations.  Alarm to be on both pumped or gravity discharge situations with emergency overflow.  Grading plan and Servicing Plan to show emergency overflow location. Please label appropriately. Refer to DWG A0-800 within SS & SWM Report.  Above and below grade storage vessels will require use of 50% of peaking factor.	This will be provided by Mechanical consultant for the building as it constitutes building plumbing design. The storage volumes and service location and sizes have been coordinated accordingly.
	• Please provide length of service on plans, for Water and Sewer.	All dimensions have been shown on the Site Servicing Plans
3	<b>Storm Drainage Plan, Dwg SD-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b>	
	• Drainage Plan to show drainage within the surrounding area with existing public infrastructure, not just site. This plan is to correspond with Site Servicing and SWM Report and it's recommendations.	We wil review the SD drawing and report and ensure the areas are consistent, however, typically, we only identify drainage area relavant to the site and those that need to be managed.

No.	Comment	Response
4	<b>Sanitary Drainage Plan, Dwg SA-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b> • Drainage Plan to show drainage within the surrounding area with existing public infrastructure, not just site. This plan is to correspond with Site Servicing and SWM Report.	Drainage areas applicable to the Sanitary sewer design have been properly identified.
5	<b>Existing Conditions Plan, Dwg EX-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b> • Please show existing water services and label appropriately. Also note whether they are to be kept or abandoned & blanked at main.	Will update drawings accordingly.
6	<b>Notes and Legends Drawing, Dwg NL-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b> • Please add note regarding adhering to City Sewer and Water Guidelines, By-laws, Standard Detail Drawings, Approved Products (all as amended) and MECP regulations and e-laws (as amended). • Please add note regarding contractor requirement to regularly clean debris and keep dust down on all roadways affected by	Note will be added. Note will be added.
7	<b>Erosion Control &amp; Detail Sheet, Dwg ECDS-1, prepared by Stantec Consulting Ltd., Rev. 1, dated May 19, 2024:</b> • Please add note regarding contractor requirement to regularly clean debris and keep dust down on all roadways affected by	Note will be added.
8	<b>Roof Plan</b> is required, including ponding contours and table with roof drain numbers, corresponding flow rates and weir openings (even if it is a green roof system). This is a requirement, prior to SPC approval. Please also refer to Arch. Dwg A2-	We do not anticipate any ponding on the roof, all regulated design storm events are managed with internal system design by mechanical engineer. So no ponding plan available.
9	<b>Landscape Plans, Dwgs L100, L101, L200, L600-602, all prepared by Stantec Consulting Ltd., Rev. 5 and dated May 05, 2024:</b> • Please use approved City of Ottawa Standard Detail Drawings (SDD) for landscape items, such as and not limited to, plantings, hard surfaces, curbs, etc., as applicable. Where the City does not have a SDD, then use consultants. If there is a request for a change, this must go through the deviation process with the City of Ottawa. • Please do not plant on top of water services with trees. Only shallow rooted plantings that will not interfere with services to site. See Servicing Drawing.	City Standear details will be used for the landscape elements planting, hardscape, curbs, etc.) where applicable, Tree planting will be review with siter servicing plan plan adjusted to avoid any conflicts.
<b>Studies:</b>		
1	<b>Geotechnical Investigation Report, prepared by Paterson Group Inc., dated August 1, 2023:</b> • Please speak to protection of any nearby buildings on site or those within neighbouring properties.	This comment has been acknowledged and the report has been revised accordingly to include a "Vibration Considerations" in Section 5.2 of the current Geotechnical Investigation Report. This section details precautionary measures regarding the reduction of vibration levels during construction operations considering the adjacent existing structure on the subject property and neighbouring the subject site.  Additionally, Reference should be made to Section 6.3 of the current Geotechnical Investigation Report which proposes suitable excavation and temporary shoring measures to maintain adequate support of existing neighbouring structures and infrastructure.
2	<b>Roadway Traffic Noise Assessment, dated August 9, 2023, and Addendum Eng. Letter, dated February 9, 2024, both prepared by Gradient Wind:</b> • Stationary Noise Study will be required and conditioned as part of approval process, unless submitted and approved prior to drafting DAR. Study should speak to mechanical units of this building and any mitigation required for occupants as well as neighbouring properties.	Noted.
3	<b>Site Servicing and SWM Report, prepared by Stantec Consulting Ltd., dated May 21, 2024:</b> • See comments for Site Servicing Plan in regard to Cistern details, related to design and recommendations in SS & SWM	Refer to response Item 2 Engineering Plans
4	<b>Tree Conservation Report, prepared by IFS Associates Inc., dated February 9, 2024:</b> • No comments.	Noted.
5	<b>Site Lighting Certificate, prepared by Smith + Anderson, dated April 24, 2024:</b> • No comments	Noted, please note that an updated Site Lighting Certificate prepared by GWAL is included in this submission package.
6	<b>Wind Study.</b> • Due to height, a wind study is required. Please submit as soon as possible for our review.	Submission folder has been updated with the Wind Study and Addendum letter and sent to Shawn Wessel on July 23, 2024. Per correspondence, Shawn indicated that he has reviewed the Wind Study and Addendum and stated he does not have any comments and "they are deemed acceptable for our purposes."
<b>Environmental Remediation Unit</b>		
7	The ERU has reviewed the Phase One and Phase Two ESAs submitted with the application and has no comment.	Noted.
8	It is notes that a Record of Site Condition will need to be filed by the Ministry of Environment, Conservation & Parks in order to develop the property for residential land use.	Noted.

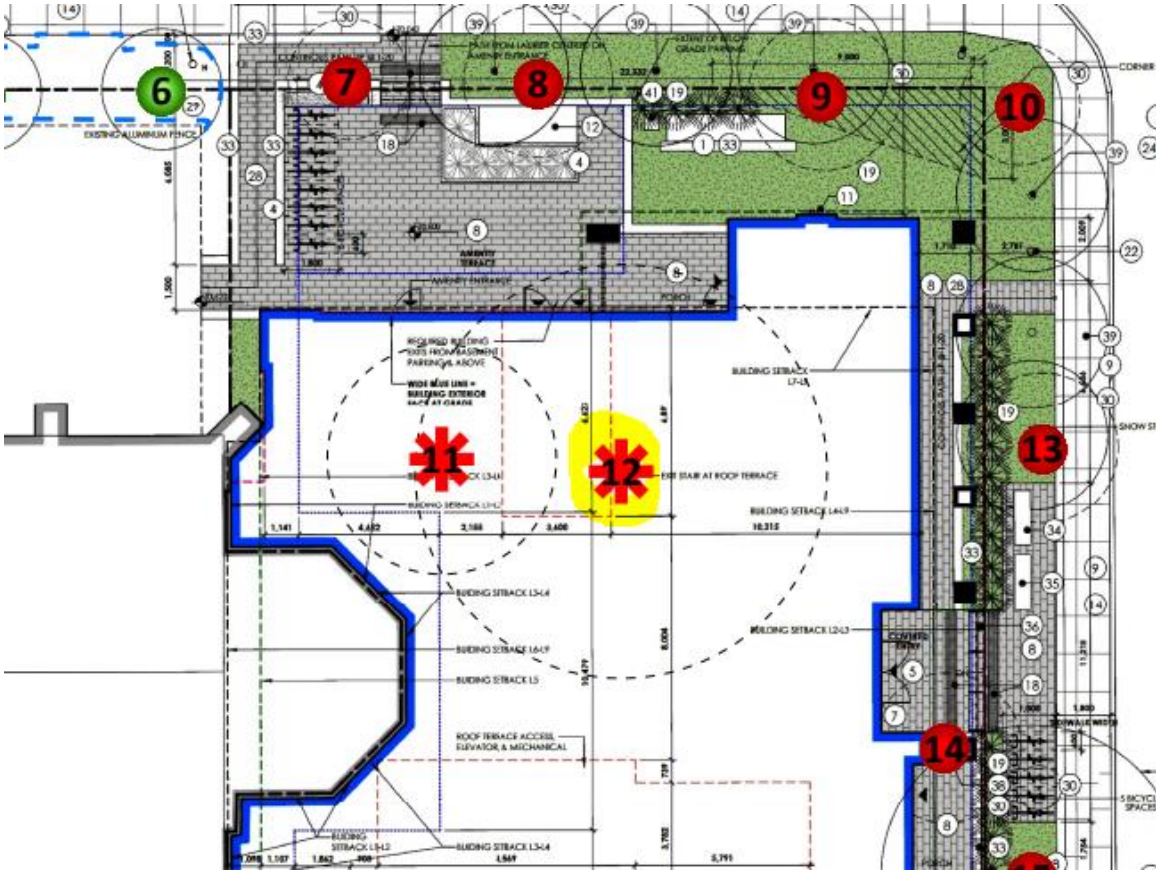


No.	Comment	Response
<b>Transportation</b>		
- TIA Scoping Report – CGH, Dated February 04, 2024		
- Signage Plan 001, Revision #2, Dated April 24, 2024		
<b>Deficiencies:</b>		
<b>Transportation Engineering</b>		
<b>Site and Floor Plans:</b>		
9	A direct path (i.e., with stairs) to the amenity entrance from Laurier Avenue next to the accessible ramps is recommended.	Please refer to updated Landscape and Site Plan - an accessible path and direct staircase has been provided from Laurier Avenue.
10	The site plan's "zoning matrix" states that the development proposes 85 bicycle parking spaces. TES counts 143 bicycle parking spaces including 58 stacked spaces (58 x 2 = 116), 13 vertical spaces, and 14 outdoor spaces. It appears that the 58 stacked spaces weren't counted twice when identifying the total as 85 (143-58 = 85). Recommend fixing the zoning matrix to identify the correct number of bicycle parking spaces provided.	Revised
11	The exterior bicycle parking located at the northwest corner of the proposed building is labeled as having five spots, when it has four. Please revise.	Revised
12	Note the following outstanding items: • Laurier Avenue and Blackburn Avenue sidewalks must be widened to a minimum 1.8m in the next site plan submission, as committed to in comment/response 28.	Revised, sidewalks on both Laurier Avenue and Blackburn Avenue have been widened to 1.8 m.
<b>Comments:</b>		
<b>Transportation Engineering</b>		
<b>Signage Plan:</b>		
13	Dimension the length of the proposed loading zone, distance between the loading zone and Laurier Avenue / Blackburn Avenue intersection and spacing between the existing and proposed one-hour parking restriction signs to better characterize the signage plan. At a minimum, scale the drawing so that dimensions can be measured.	A revised dimensioned signage plan has been appended to this comment response to address this comment. The short term parking area is proposed to permit three 6.7m on-street parallel parking spaces.
<b>Site and Floor Plans:</b>		
14	Note the following outstanding items: • Bus stop modifications at Laurier Avenue will be discussed further in the future through site plan conditions, per comment/response 29. A note on the site plan would be appreciated to document the intent to improve the bus stop pad/platform.	Please see response to Planning comment #4, this has been revised as requested.
<b>Traffic Signal Design</b>		
15	No comments for this current circulation. The Traffic Signal Design Unit reserves the right to make future comments based on subsequent submissions.	Noted.
16	Should any lane arrangements be modified (example lane closure to facilitate shoring, deliveries, etc.) within 30m of a signalized intersection or at a signalized intersection, the proponent will be required to provide Traffic Control Plans in AutoCAD (.dwg) format to the City's Traffic Signal Design Unit to update signal legal drawings as well as assess any changes to signal displays or operation. Required signal changes are at the sole discretion of the City Traffic Signal Design Unit and costs associated with changes including legal drawing update with or without signal changes are the responsibility of the	Noted.
<b>Traffic Management</b>		
<b>Comments:</b>		
We require the following information:		
17	Diagram: • Labelled graphic showing proposed construction area within ROW • Meant to be preliminary	Preliminary Construction Management Plan sent to Pagamo Amade (pagamo.amade@ottawa.ca)
18	Checklist: • Will construction require the temporary detour of a bus route? • Will this work block a bike lane? • Will this work block a sidewalk? • Will this work require a lane of traffic to be closed? • Will this work require road closure?	<ul style="list-style-type: none"> <li>• Construction traffic to enter and exit the site on Blackburn, No interruption to bus routes (on Laurier) is required.</li> <li>• No bike lane relocation is required as there is no bike lanes adjacent to the construction site.</li> <li>• Sidewalks access on Blackburn and Laurier is to be maintained through all construction phases.</li> <li>• It is anticipated that all work is to occur within the construction area boundaries and no traffic lane/road closure will be required. However, road cuts permits and closures will be required for the incoming new services for water, storm, and sanitary. Permit application is to be submitted.</li> </ul>

No.	Comment	Response
	<b>General comments:</b>	
19	The Project Manager is asked to contact the City of Ottawa Traffic Management Unit Pagamo Amade (pagamo.amade@ottawa.ca) to discuss the potential traffic impacts of the project.	The Preliminary Construction Management Plan was shared with Mr. Pagamo Amade on August 28, 2024. On August 29, 2024, Mr. Amade confirmed that he had no concerns with the Plan.
20	If the proposed work requires the closure of traffic lanes (at any time) the contractor must submit a Traffic Management Plan to the City of Ottawa Bylaws, Permits & Inspections Unit.	No traffic lanes closure is required, please refer to attached The Preliminary Construction Management Plan for more info and details.
21	If the proposed work will interfere with pedestrian access to/from a transit stop, the contractor must contact OC Transpo at least 10 working days prior to starting construction to arrange for the temporary relocation of the affected transit stop(s) as	Sidewalks to remain open during construction, based on the project needs, Local Authorities will be contacted. Please refer to attached The Preliminary Construction Management Plan for more info and details.
22	Coordinate the temporary removal of on-street parking, (if required) through the City Traffic Management Inspector.	No street parking removal required, please refer to attached The Preliminary Construction Management Plan for more info and details.
23	Maintain pedestrian access and provide pedestrian detours if necessary. If the closure of a sidewalk is required and pedestrians must be detoured, the contractor is required to provide ten (10) business days' notice to adjacent home/business owners and contact the local area Councillor's office. Additional details can be found at Ottawa.ca/roadactivity.	Sidewalks to remain open during construction, based on the project needs, Local Authorities will be contacted
24	Maintain local and emergency access at all times. Where access cannot be maintained the contractor must contact the City Traffic Management Inspector to discuss alternatives.	Local and emergency access will be kept at all times. If needed, Traffic management inspector will be contacted. Please refer to attached The Preliminary Construction Management Plan for more info and details.
	<b>Environment</b>	
	<b>Comments:</b>	
25	Please, consult the previous comments. No new comments received.	
	<b>Forestry</b>	
	<b>Deficiencies:</b>	
26	None – the Planning Forester has no objections to the approval of the zoning application.	Noted.
	<b>Comments:</b>	
27	A tree permit is required prior to any tree removal. Tree permits can be released once the site plan control application has been approved.	Noted.
28	Compensation will be required for any city tree removed – compensation amounts will be calculated during the site planning stage.	Noted.
29	The TCR will need to be resubmitted with any future site plan application. Please note that if there are changes to the site plan, the TCR will need to be updated.	A revised TCR is included in this submission. The TCR includes the updated Site Plan.  Please note that Tree #19, located on 14 Blackburn Avenue, is in poor health and is a hazard. Windmill has reached out to the neighbour to recommend that the tree be removed and replaced and the neighbour is aware it has been flagged as hazardous.  The tree would not survive construction due to its proximity to the pathway and retaining walls and it is described in the TCR as being in "very poor" health.
30	Soil volumes for new trees meet City requirements.	Noted.
	<b>Parkland</b>	
	<b>Comments:</b>	
31	Parkland Dedication By-law No. 2022-280	
32	Thank you for providing the required information for Parkland Dedication calculation. Please, indicate any changes to this numbers during the application submission.	Project statistics for the parkland dedication calculation are as follows: <ul style="list-style-type: none"> <li>• Lot area of the site to be re-developed, in square meters: 1,622.2 4m<sup>2</sup></li> <li>• Number of residential units proposed: 121 (increased from 117)</li> <li>• Total building Gross Floor Area (GFA): 8,400 (decreased from 8,423 m<sup>2</sup>)</li> <li>• GFA of other uses within the building: No other uses proposed</li> </ul>
	<b>Heritage</b>	
	<b>Comments:</b>	
33	Heritage staff are pleased to see the re-introduction of more stone on the podium level on Laurier Avenue.	Noted, thank you.



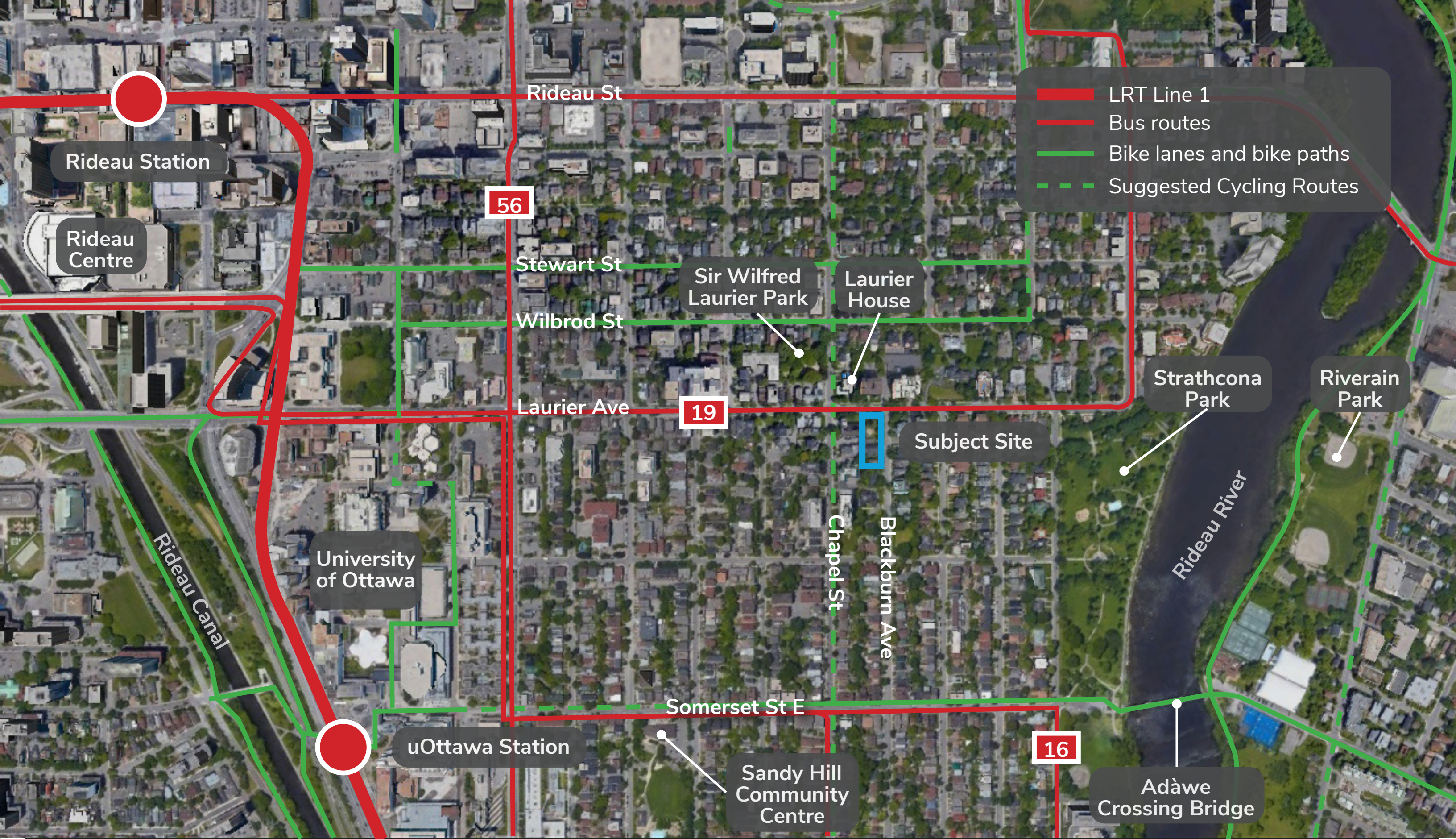
No.	Comment	Response
34	The design approved in the heritage permit included detailed brickwork around the windows within the brick-clad portions of the building. This detail seems to have been lost in this SPC submission. While subtle in nature, this detail elevated the design of the new construction to harmonize with that of the former All Saints Anglican Church. Please revisit this design detail.	<p>Our project Heritage Consultants have provided responses below:</p> <p>Barry Padolsky: "I concur with the staff comment that brick surrounds framing the windows add interest and contribute to promoting a visual focus on the lower scale brick-clad podium portion of the overall massing. I also note that (in the rendering) a livelier overall brickwork pattern and colour is suggested. If the final brick selection contains a rich coursing pattern and lively colour range, this revision may achieve the same objective of elevating the visual design. I recommend that this alternative be explored."</p> <p>John Stewart: "In our analysis, features that were identified as defining heritage attributes include the dressed and rusticated limestone, along with the church's buttresses and gothic windows. It was also noted that the neighbouring residences with their elaborate brickwork, use of stone details and corbelling help define the neighborhood and maintain the distinction between institutional (limestone) and residential (Rideau redbrick). The use of the salvage masonry material used at the terraces provides texture and visual appeal. Similarly, the brick helps to place the podium in relation to neighbouring homes. Both Barry and I concur that the cladding should be real and that it needs to convey some of the playfulness and shadowing rather than just flat panel cladding."</p>
35	The proposed metal cladding in the heritage permit was better suited to the project, as it helped to keep the upper storeys in the background, allowing the former church to remain the focal point. Please revert back to a flat metal panel.	<p>We concur with the intent of the staff comment on the importance of keeping upper part of the building in the background. However, we believe that the changes to the metal cladding details are visually minor and will not significantly draw visual attention away from the focal point (All Saints Church).</p> <p>We believe that simplifying the form of the balconies on the upper part of the building helps maintain visual attention on the podium elements and the Church.</p>
36	Please be reminded that the heritage permit contains the following condition:	It is recognized that a heritage protection plan identifying risks and mitigation strategies will be prepared by a qualified Constructor/ Contractor
36(a)	<p>The applicant providing a detailed protection plan for the former All Saints Anglican Church and financial securities related to the implementation of the protection plan as a condition of Site Plan approval, to be implemented prior to demolition and construction</p> <p>Please provide a detailed protection plan for the former All Saints Anglican Church with your formal Site Plan Control application.</p> <p>The report should include an evaluation of potential risks to the heritage building and a detailed plan for protection and mitigation of these risks including but not limited to:</p> <ul style="list-style-type: none"> <li>• Pre-construction building condition survey and documentation</li> <li>• Vibration and crack monitoring</li> <li>• Monitoring reports</li> <li>• Implementation of physical protection for the former church</li> </ul> <p><del>Measurement of construction dust, debris, etc.</del></p>	
<b>Conservation Authority</b>		
37	No comments.	
<b>Waste Management Services</b>		
<b>Deficiencies:</b>		
38	This location would get city multi residential collection, but I need some info before accepting the site plan, is the 2.3m pathway leading to the street free of obstructions and is it a clear 2.3 m throughout the length of the pathway?	As confirmed via email with André Laplante dated August 8, 2024, a 2-metre path is required, not 2.3 m. This has been provided in the plans.
39	What is the sq f of the garbage room and the how wide is the opening of the garbage room door?	773.9sqft, and the opening is 2135x2135mm
<b>Other</b>		
<b>Building Code Services</b>		
40	No further comments	

No.	Comment	Response
<b>Community Association Comments</b>		
41	There is nothing I can see in the proposed redevelopment plan concerning the white pines to the east of All Saints Church. One of these trees appears to be 80 years old or more. Both appear healthy and in good condition. Please let me know what the plans are to save these trees.	<p>Per the Tree Conservation Report, Tree #12 is a White Pine. This is proposed to be removed as it is located in the approved building area for the new building.</p> 
42	High rise buildings are known to create microclimates. Two high rises on the north side of Laurier Av and another on the south side are known to create changes in the local air currents. For example, the gap between 373 Laurier and its neighbour to the west creates an air canyon on windy winter days and areas of turbulence around the south facing entries of the high rises on the north side. Adding a fourth high rise in the same area may increase these disturbances. Are there plans to address the possible effects of wind currents should a fourth high building be added to the existing three?	While windier conditions may occasionally occur in the area, the assessment of wind comfort conditions is based on winds that occur 80% of the time, per the City of Ottawa Terms of Reference. The pedestrian level wind study found conditions to be suitable for the intended pedestrian uses throughout the year, following the introduction of the proposed development.
<b>Survey Plan</b>		
43	Site Plan requires a note stating where property boundary & topographic information was derived from.	A note has been added to the Site Plan to indicate the survey source.

# S I T E , C O N T E X T , & A N A L Y S I S

- Perspective images to and / or from the site
- Built and natural heritage assets on site and adjacent area



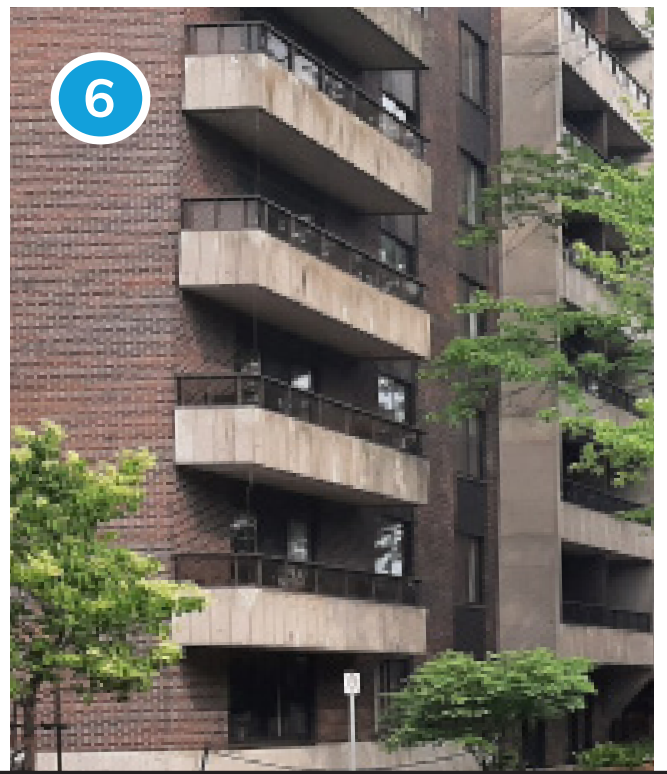
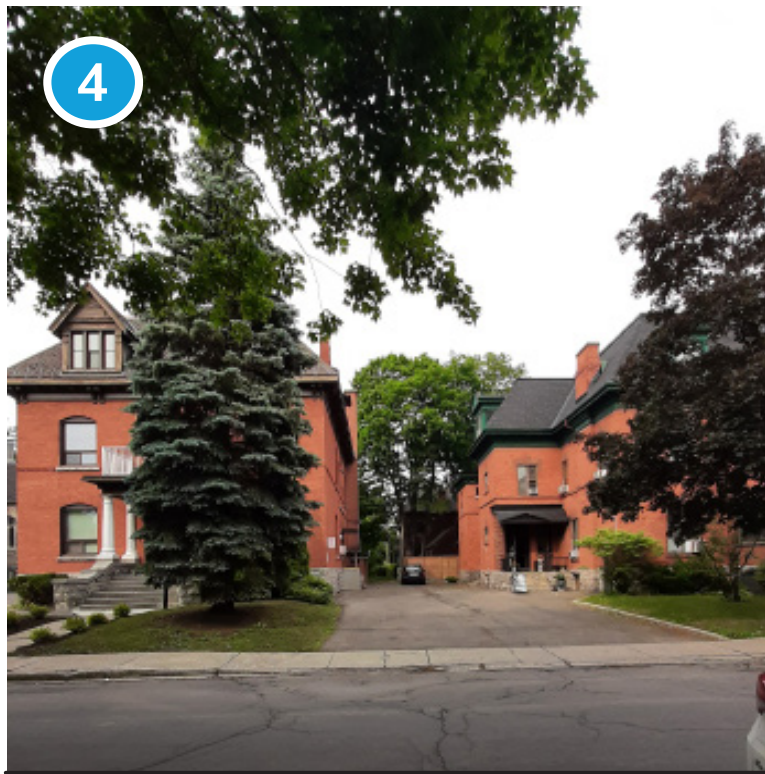
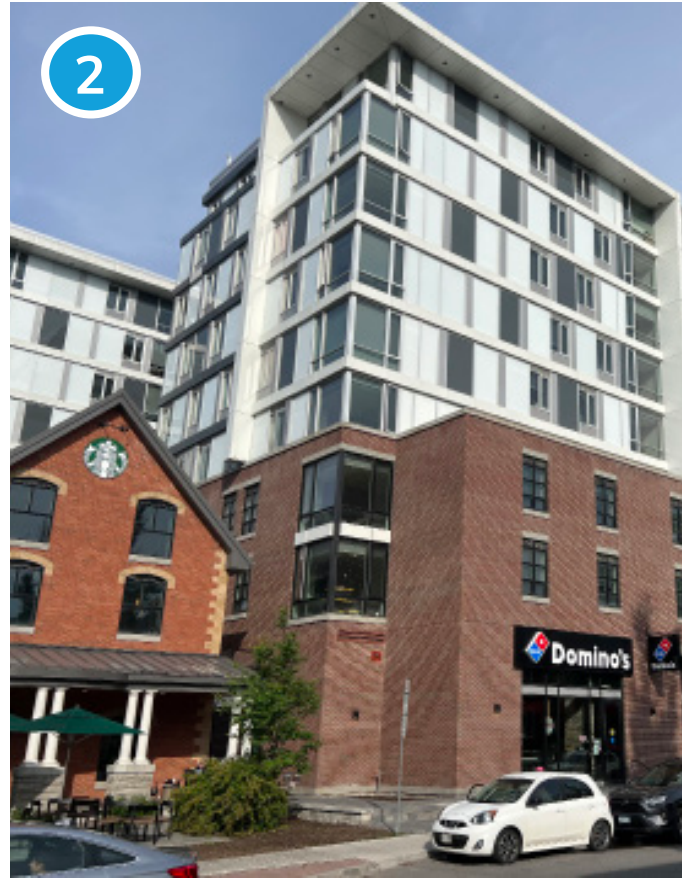


- LRT Line 1
- Bus routes
- Bike lanes and bike paths
- - - Suggested Cycling Routes

SITE CONTEXT: CONTEXT PLAN



# X | SURROUNDING SITE.







345 LAURIER AVE



373 LAURIER AVE



408 LAURIER AVE



260-275 LAURIER AVE

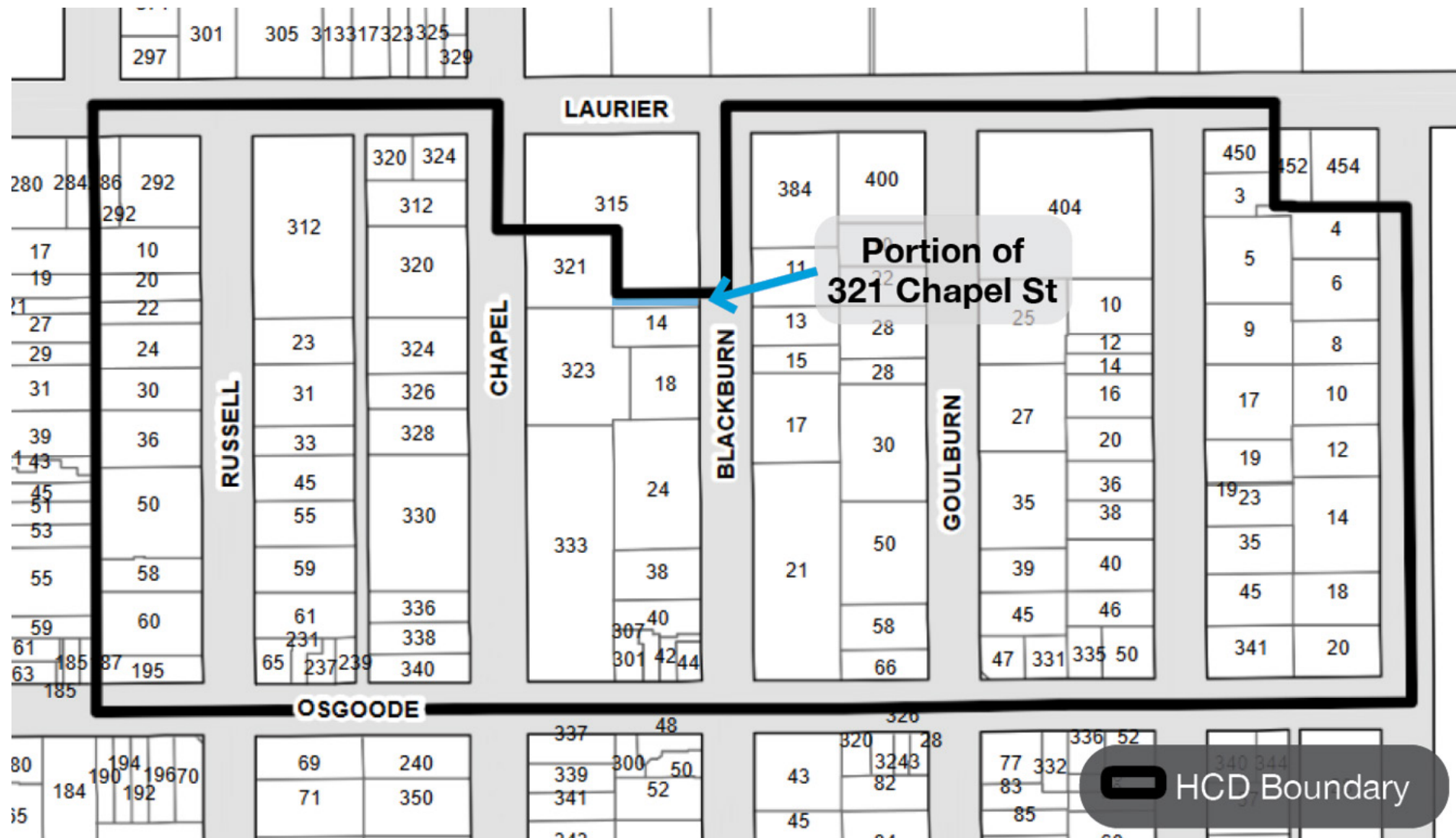


404 LAURIER AVE

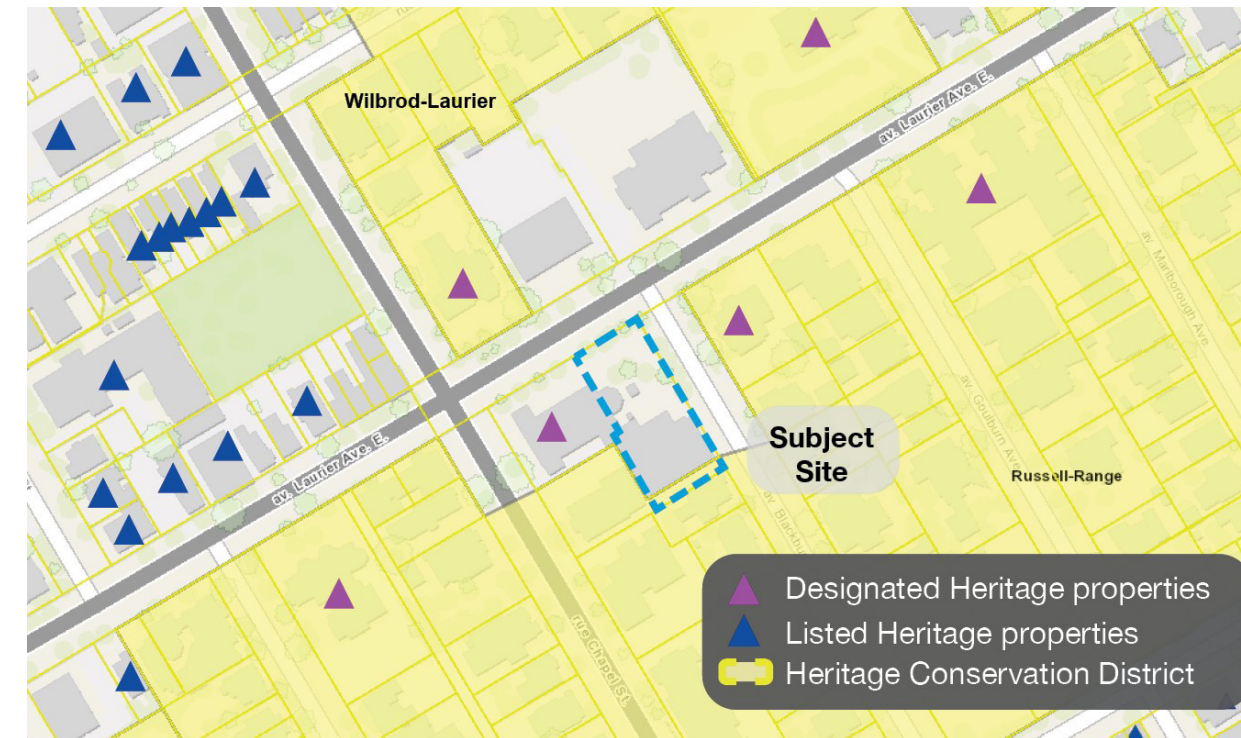


# X | BUILT & NATURAL HERITAGE ASSETS ON SITE & ADJACENT SITES.

All Saints Anglican Church is a designated heritage resource under Part IV of the Ontario Heritage Act. However, Bate Memorial Hall is not. The Statement of Significance references the grounds as an important component of the site's heritage. The majority of the subject site is located directly north of the Russell-Range Heritage Conservation District (HCD); the sliver of land proposed to be assembled from 321 Chapel Street is located within the Russell-Range HCD. Additionally, the Wilbrod-Laurier Heritage Conservation District is located across the street on the north side of Laurier Avenue East. The Russell-Range HCD was designated as part V of the Ontario Heritage Act in 2018 as part of the Sandy Hill Heritage Study Phase II.



A Heritage Permit was issued on May 1, 2024, to alter 315-321 Chapel Street.



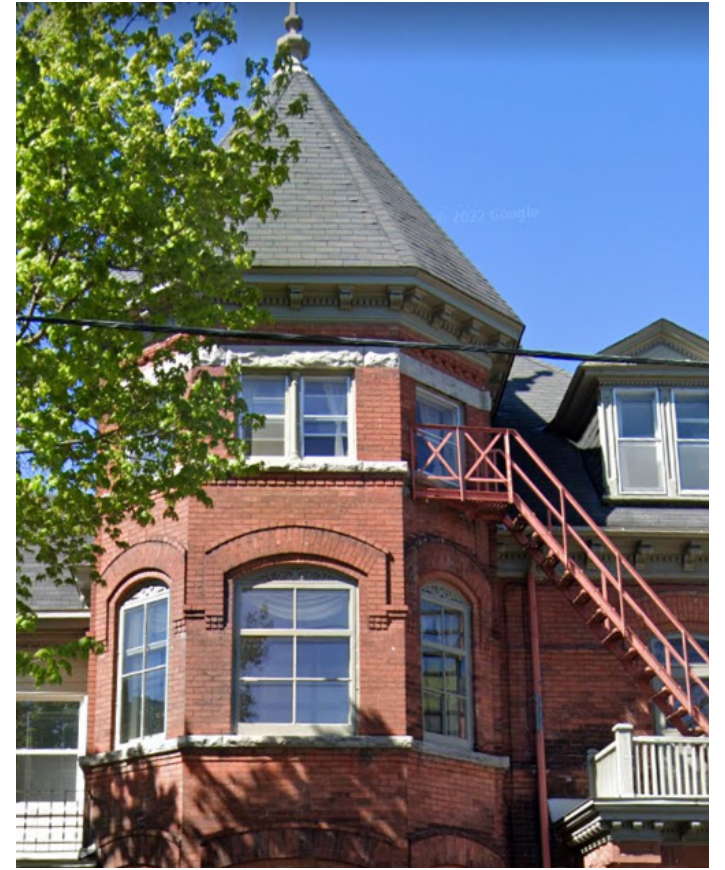


# X | CHURCH HERITAGE ARCHITECTURE.





# X | SURROUNDING HERITAGE ARCHITECTURE & CONTEXT.





# DESIGN RESEARCH

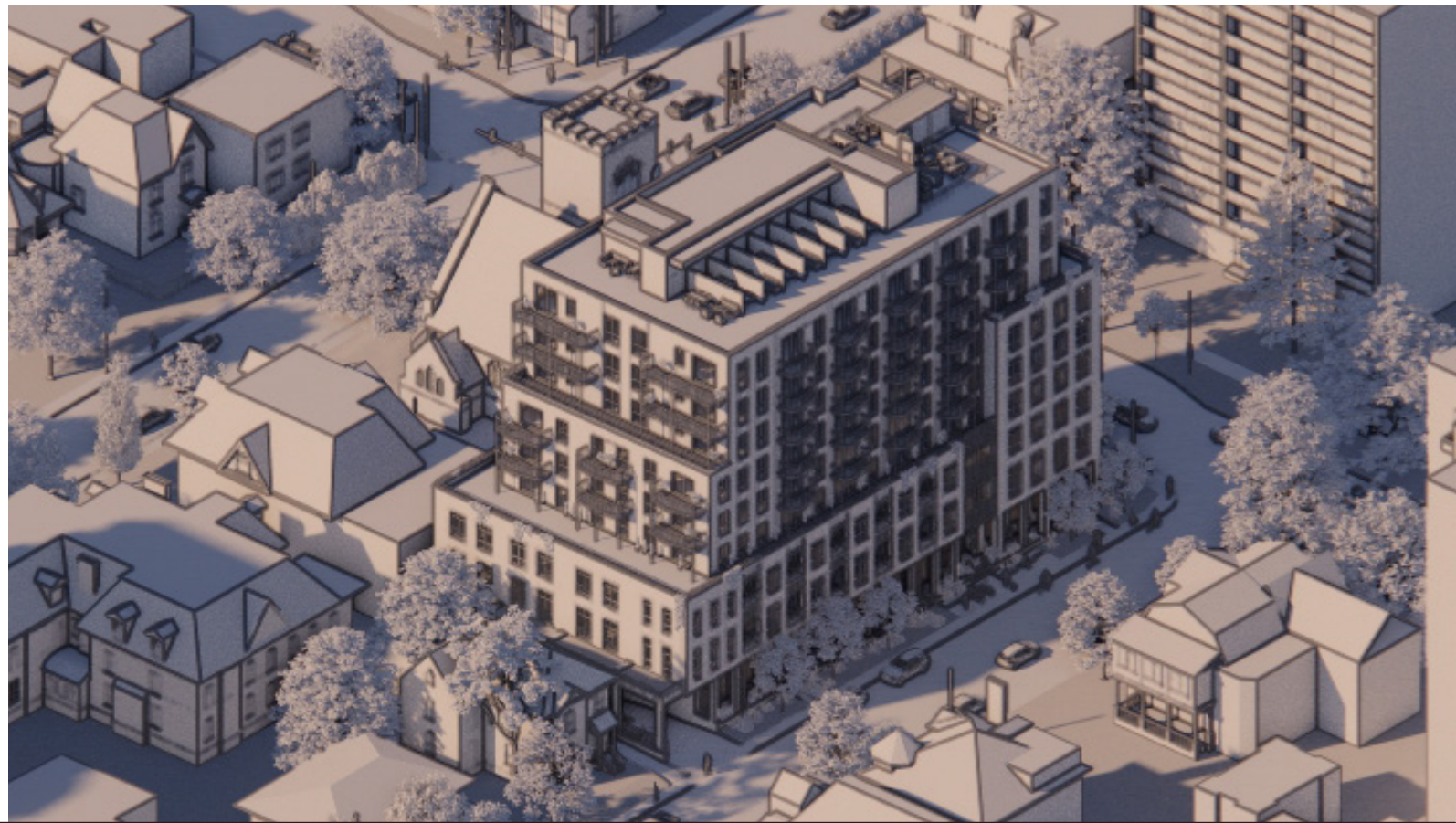
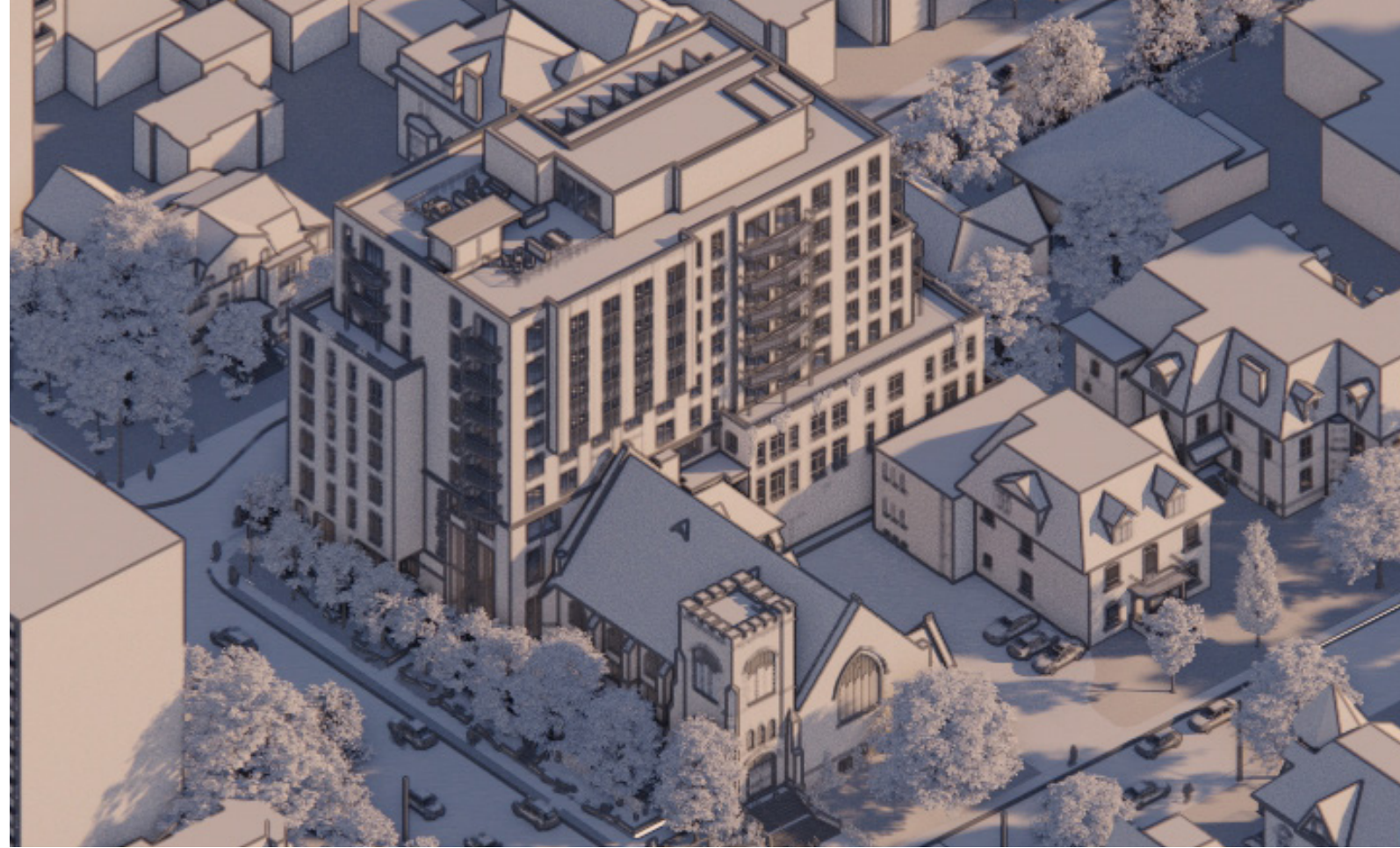
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## DESIGN EVOLUTION

Major changes:

- Simplification and reduction in size of balconies to simplify facade and remove competition with the heritage church building and surrounding community
- Removal of second floor condo unit on north facade adjacent to church apse to completely expose the apse to views to Laurier Ave.
- Laurier Ave. access centralized to improve visibility of apse and emphasize the entrance to the ground floor amenity space and exterior terrace
- De-emphasis of exit stair massing on North facade





AERIAL VIEWS - PRE APP CONSULTATION 23/04/03

AERIAL VIEWS - ZONING DESIGN BRIEF 24/01/24

315 + portion of 321 Chapel St., OTTAWA





AERIAL VIEWS - SPC 24/09/27

315 + portion of 321 Chapel St., OTTAWA





STREET VIEWS - PRE APP CONSULTATION 23/04/03  
315 + portion of 321 Chapel St., OTTAWA

STREET VIEWS - ZONING DESIGN BRIEF 24/01/24  
**FOTENN windmill linebox**  
STUDIO





STREET VIEWS - SPC 24/09/27

315 + portion of 321 Chapel St., OTTAWA





STREET VIEWS - PRE APP CONSULTATION 23/04/03  
315 + portion of 321 Chapel St., OTTAWA

STREET VIEWS - ZONING DESIGN BRIEF 24/01/24





STREET VIEWS - SPC 24/09/27

315 + portion of 321 Chapel St., OTTAWA





STREET VIEWS - PRE APP CONSULTATION 23/04/03  
315 + portion of 321 Chapel St., OTTAWA

STREET VIEWS - ZONING DESIGN BRIEF 24/01/24  
**FOTENN** windmill linebox  
STUDIO





STREET VIEWS - ZONING DESIGN BRIEF 24/01/24

315 + portion of 321 Chapel St., OTTAWA



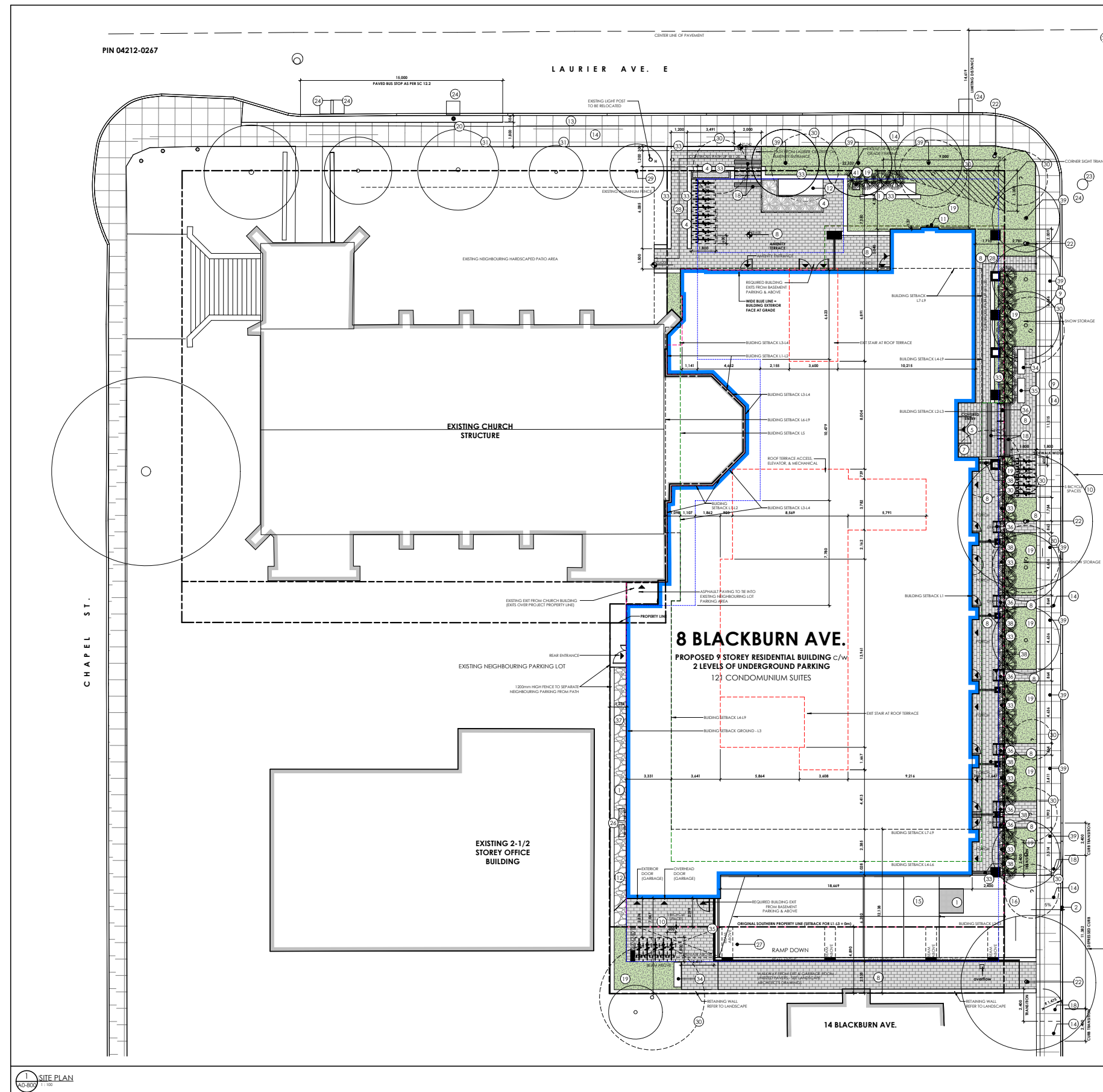
# APPENDIX

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- SITE PLAN
- LANDSCAPE PLANS (GROUND AND ROOF)
- ELEVATIONS
- FLOOR PLANS



PIN 04212-0267



**GENERAL NOTES:**

- SEE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.
- ALL CONCRETE TO BE REINFORCED AS SHOWN.
- PROTECTION FOR TREES NOT BEING REMOVED SHALL BE RESPECTED TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
- PROTECTION FOR TREES NOT BEING REMOVED SHALL BE RESPECTED TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
- ALL TREES SHOWN DASHED ARE TO BE REMOVED. REFER TO DEMOLITION SITE PLAN AND TREE REMOVAL PLAN FOR IDENTIFICATION AND TREE CONSERVATION RECORDS.
- ALL FURNISHED SIGNAGE TO BE REMOVED. REFER TO DEMOLITION SITE PLAN AND TREE REMOVAL PLAN FOR IDENTIFICATION AND TREE CONSERVATION RECORDS.
- AND FURNISHED SIGNAGE TO BE REMOVED. REFER TO DEMOLITION SITE PLAN AND TREE REMOVAL PLAN FOR IDENTIFICATION AND TREE CONSERVATION RECORDS.
- MATERIAL EXCAVATED FROM THE SITE WILL BE RECYCLED AS MUCH AS POSSIBLE.
- SOFTSCAPING TO BE REINSTATED WHERE PRIVATE OPEN SPACES HAVE BEEN REMOVED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.

**MISC. NOTES:**

- NEW PARKING VENTILATION GRATE
- CURB CUT
- UNDERGROUND STORAGE TANK/CISTERN. REFER TO CIVIL DRAWINGS FOR SPEC.
- PLANTER
- MAIN ENTRANCE
- MOVE #1 ENTRANCE
- PROPOSED SIGNAGE LIGHTING
- STONE PAVES REFER TO LANDSCAPE PLAN
- NEW CONCRETE SIDEWALK
- BICYCLE RACK PARKING
- SHADE / FREE OFF-PARKING CONNECTION
- NEW GAS METERS
- GRASS REFER TO LANDSCAPE ARCHITECT
- EXISTING SIGNAGE TO BE REINSTATED AS REQUIRED
- PROPOSED PARKING BAYS TO STREET
- ADDITIONAL UTILITY SERVICES TO STREET
- NEW CONCRETE CURB
- TACTILE WALKING SURFACE INDICATOR AS PER CITY OF OTTAWA STANDARDS
- GARDEN REFER TO LANDSCAPE ARCHITECT
- EXISTING UTILITY POST TO REMAIN
- EXISTING BIG TOP LOCK TO REMAIN
- EXISTING HATCH HOLE TO REMAIN
- EXISTING CATCH BASIN TO REMAIN
- NOT USED
- UNDERGROUNDING UNITS DEDICATED TO GARAGE ROOMS
- BARRIER FREE SLOPED ACCESS
- BARRIER FREE TO BE REINSTATED (SEE TREE PROTECTION ZONE) REFER TO TREE PROTECTION REPORT
- TREE SHOWN DASHED TO BE DEMOLISHED (IF DASHED)
- NEW METEORIC PAVEMENT
- PROPOSED STONE RETAINING WALL
- PROPOSED BRIDGE
- PROPOSED ACCESSIBLE RAMP
- PROPOSED PRECAST CONCRETE LANDSCAPE STEPS (AND HANDRAILS AS REQ.)
- NEW GRAVEL PATH. SEE LANDSCAPE PLAN
- NEW FIBRE GLASS LANDSCAPE PLAN
- NEW FIBRE GLASS LANDSCAPE PLAN
- WOOD VAULT AIR SEALS
- STAR PRESERVATION GRATE

**ZONING MATRIX**

ITEM	FIELD	DATA	
01	LEGAL DESCRIPTION	R6(148)1 S179	
02	CURRENT ZONING PERMITTED USES	RESIDENTIAL / HOTEL	
03	LOT AREA	2,839M <sup>2</sup> (INCLUDING CHURCH PROPERTY), 1,432,244M <sup>2</sup> (EXCLUDING CHURCH PROPERTY)	
04	LOT FRONTAGE	27M	
05	BUILDING AREA	1,343M <sup>2</sup>	
06	BUILDING SETBACKS	NORTH: 4.3m EAST: 2m WEST: 1.3m	
07	AVENUE SPACE	REQUIRED: 68M <sup>2</sup> (GAR: 121 UNITS X 4M <sup>2</sup> = 728M <sup>2</sup> ) SITE COMMERCIAL AVENUE AREA = 533M <sup>2</sup> PROVIDED: COMMERCIAL AVENUE: 475M <sup>2</sup> EXTERIOR: 284M <sup>2</sup> INTERIOR: 184M <sup>2</sup> PRIVATE AVENUE: 738M <sup>2</sup> TOTAL AVENUE: 1,329M <sup>2</sup>	
08	BUILDING HEIGHT	MAXIMUM HEIGHT = 30M, 9 STOREYS PROVIDED = 32.5M, 9 STOREYS	
09	LOADING ZONE	N/A	
10	VEHICLE PARKING	REQUIRED: RESIDENTIAL PARKING: 6 (3) PARKING SPACES / UNIT = 43 RESIDENT PARKING SPACES REQUIRED VEHICLE PARKING: 6 (3) PARKING SPACES / UNIT = 4 RESIDENT PARKING SPACES REQUIRED SITE OF PARKING SPACES MAY BE COMPACT = 22 PARKING SPACES MAY BE COMPACT TOTAL: 45	PROPOSED: TOTAL: 47
11	BICYCLE PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 43.5 SPACES TOTAL: 41	PROPOSED: TOTAL: 137
12	LANDSCAPED AREAS	REQUIRED: 42% (INCLUDING PORTIONS OF 321 CHAPEL AVE & 501 BLACKBURN AVE, BUT EXCLUDING THE CHURCH PROPERTY) PROVIDED: 47.95 M <sup>2</sup>	
13	DRIVE ASLES	6M WIDE	

**RESIDENTIAL SUITE COUNTS**

CONDOMINIUM	COUNT
LEVEL 01	31
LEVEL 02	31
LEVEL 03	31
LEVEL 04	31
LEVEL 05	31
LEVEL 06	31
LEVEL 07	31
LEVEL 08	31
LEVEL 09	31
TOTAL	308

**ZONING COMPLIANT VEHICLE PARKING PROVIDED BY LEVEL**

TITLE	COUNT
ACCESSIBLE (TRANSVERSE)	1
COMPACT (PERPENDICULAR)	1
COMPACT (PARALLEL)	1
PARALLEL (PERPENDICULAR)	1
PARALLEL (PARALLEL)	1
TOTAL PROVIDED	47

**NON STANDARD VEHICLE PARKING (BY LEVEL)**

TITLE	COUNT
COMPACT (PERPENDICULAR)	1
COMPACT (PARALLEL)	1
TOTAL PROVIDED	2

**SOFTSCAPING AREAS - GRASS, PLANTING, GARDENS OR SIMILAR. SEE LANDSCAPE ARCHITECTS DRAWINGS.**

**HARDSCAPED AREAS - CONCRETE PAVES OR SIMILAR. SEE LANDSCAPE ARCHITECTS DRAWINGS.**

**LEGAL DESCRIPTION:** LOTS 14, 15 & 16 (SOUTH LAURIER AVENUE) PART OF LOTS 3 & 4 (WEST BLACKBURN AVENUE) REGISTERED PLAN 17733 (GEOGRAPHIC TOWNSHIP OF NEPEAN) CITY OF OTTAWA

**SURVEY INFORMATION GATHERED FROM SURVEY REPORTED BY CERTIFIED LAND SURVEYOR: DANIEL GEOMATICS LTD. DATED NOVEMBER 11, 2023**

**PLANNER CONTACT INFORMATION:** NAME: R. G. BERNETT TEL: 437.727.4424

**windmill**  
owner | proprietor

**CUNIFFE & ASSOCIATES**  
civil structural engineers | ingénieur structure

**Stantec**  
landscape architects | architectes paysagistes  
civil engineers | ingénieur civil

**GWAL**  
grading | terrassement & associations Ltd.

**ALLIANCE**  
architectural services | designers

**MEP engineers | ingénieur MEP**

**CHURCH ASSOCIATION ARCHITECTS**  
ARCHITECTS  
MEMBER SINCE 1944

**linebox**  
STUDIO  
general notes | notes générales:  
1. CONTRACTOR SHALL OBTAIN AND OBEY ALL NECESSARY AND PERMITTED AS PER CITY OF OTTAWA.  
2. SITE SHALL BE MAINTAINED TO THE HIGHEST STANDARD THROUGHOUT CONSTRUCTION.  
3. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.  
4. ALL SOFTSCAPING SHALL BE INSTALLED AND MAINTAINED TO THE HIGHEST STANDARD.

**THE EVERGREEN ON BLACKBURN**

**SITE PLAN (PROPOSED)**

drawing file | le plan du dessin

project number | numéro du projet: 2218  
drawn | dessiné: RM / CA / JB  
checked | vérifié: RM / AR  
date | date: MARCH 21, 2023  
scale | échelle: As Indicated  
drawing number | numéro du dessin: **A0-800**



Copyright Reserved

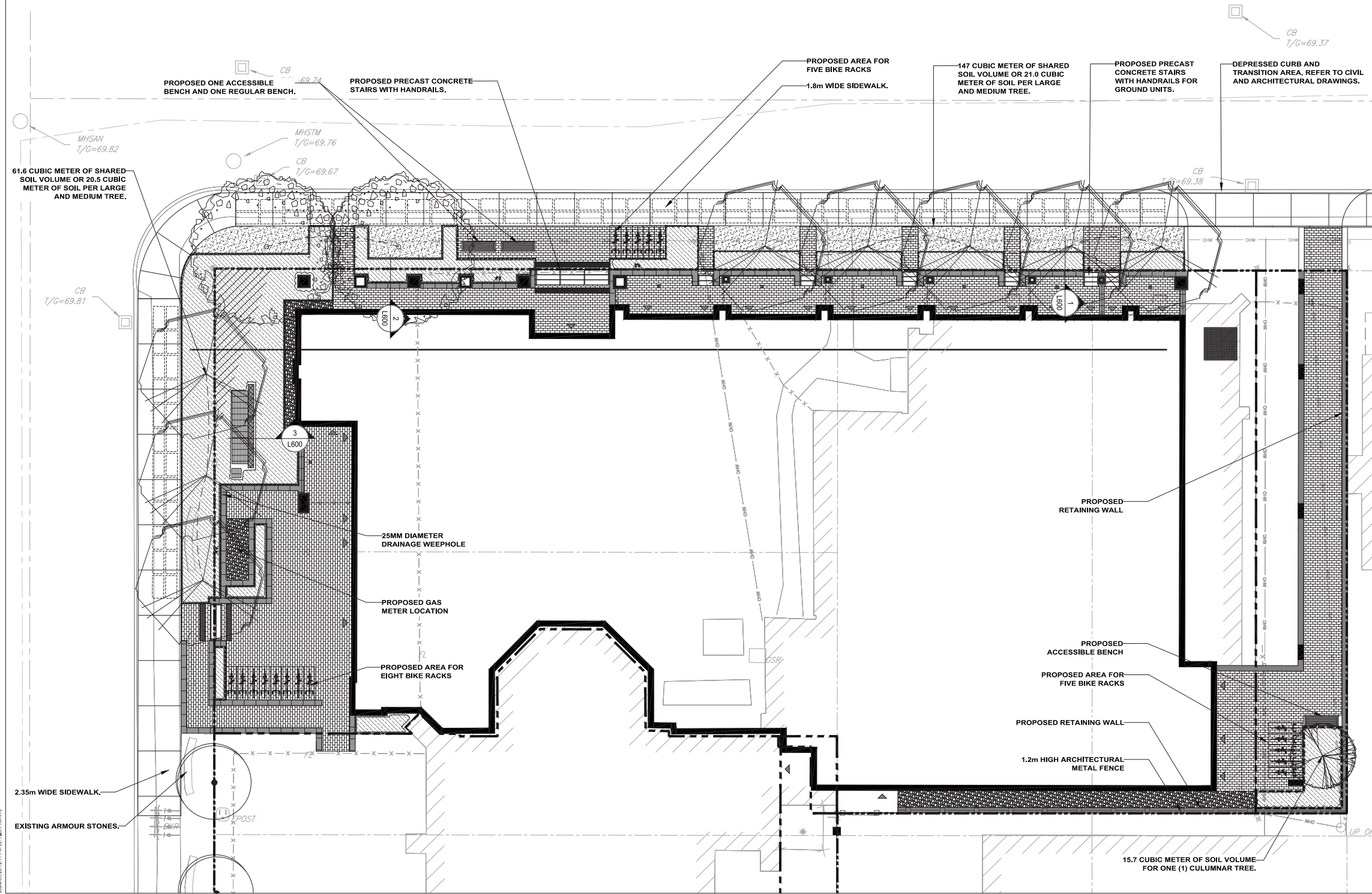
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

**SOIL VOLUME CALCULATION SCHEDULE**

TREE TYPE/SIZE	SINGLE TREE VOLUME REQUIRED (m <sup>3</sup> )	MULTIPLE TREE VOLUME REQUIRED (m <sup>3</sup> /TREE)	ACTUAL TREE SOIL VOLUME (m <sup>3</sup> /TREE)
BLACKBURN AVE 7x (LARGE/MEDIUM)	-	18	21.0
LAURIER AVE 3x (LARGE/MEDIUM)	-	18	20.5
COLUMNAR 1x	15	-	15.7

**GENERAL LANDSCAPE NOTES**

- REFER TO TREE CONSERVATION REPORT FOR INFORMATION RELATED TO TREE REMOVAL / TREE PROTECTION DIRECTIONS. EXISTING VEGETATED AREAS ON ADJACENT PROPERTIES SHALL REMAIN AND BE PROTECTED BEFORE, DURING, AND AFTER CONSTRUCTION.
- REFER TO ENGINEERING DRAWINGS FOR PROPOSED GRADING, AND SITE SERVICING.
- EXISTING VEGETATED AREAS ON ADJACENT PROPERTIES SHALL REMAIN AND BE PROTECTED BEFORE, DURING, AND AFTER CONSTRUCTION.
- SOD SHALL BE KENTUCKY BLUEGRASS SOD INSTALLED OVER 135MM OF TOPSOIL. SOD SHALL BE INSTALLED WHERE INDICATED ON THE LANDSCAPE PLANS AND IN ALL DISTURBED AREAS. INSTALL SOD AS PER OPS3 803.
- CONTRACTOR TO LOCATE AND STAKE ALL UTILITIES PRIOR TO ANY WORK ON THE SITE AND TO OBTAIN CLEARANCE FROM ALL APPLICABLE UTILITIES. DO NOT PLANT DIRECTLY ABOVE UNDERGROUND UTILITIES. REPORT CONFLICTS AND ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
- NO TREES SHALL BE PLANTED ON PROPERTY / LOT LINES OR WITHIN DRAINAGE EASEMENTS.
- NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES.
- FOR TREES, MAINTAIN A MINIMUM DISTANCE OF 1500mm FROM ALL UNDERGROUND UTILITIES.
- FOR TREES, MAINTAIN A MINIMUM DISTANCE OF 4500mm FROM ALL BUILDINGS.
- FOR TREES, MAINTAIN A MINIMUM DISTANCE OF 4000mm FROM ALL HYDRO TRANSFORMERS.
- FOR TREES, MAINTAIN A MINIMUM OF 1000mm FROM SIDEWALKS, PATHWAYS, AND DRIVEWAYS.
- THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF PLANTING PRIOR TO PLANTING TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.
- CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THESE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
- DO NOT MAKE SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL QUALITY STANDARDS:
- 15.1. ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION AND THE CANADIAN STANDARDS FOR NURSERY STOCK AS TO SPECIES, SIZE AND CONDITION.
- 15.2. PLANT MATERIAL COLLECTED FROM WILD SOURCES ARE NOT ACCEPTABLE.
- 15.3. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ACCEPTANCE OF ANY PLANT DISPLAYING POOR GROWTH HABITS APPROPRIATE TO SPECIES, DISEASE OR DAMAGE FROM POOR HANDLING DURING TRANSPORT, ON SITE STORAGE, INSTALLATION OR MAINTENANCE.
- 15.4. ANY PLANTS THAT DO NOT CONFORM TO THESE STANDARDS WILL BE PROMPTLY REMOVED FROM THE SITE BY THE CONTRACTOR AND REPLACED WITH MATERIAL OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE PROJECT.
16. THE CONTRACTOR TO MAKE GOOD TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT ANY AREAS DAMAGED BY THE WORK.
17. PRUNING - TO SUIT SPECIES - PRUNE BRANCHES BY 1/3 TO REMOVE DAMAGED OR OBJECTIONABLE BRANCHES FOLLOWING PROPER HORTICULTURAL PRACTICE. DO NOT PRUNE LEADERS.
18. UPON THE COMPLETION OF WORK EACH DAY, REMOVE ALL DEBRIS, GARBAGE AND SURPLUS MATERIALS FROM THE SITE. KEEP THE SITE CLEAN AND USEABLE AT ALL TIMES.
19. ALL WORKMANSHIP AND MATERIALS (INCLUDING PLANTS) TO BE GUARANTEED FOR ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE PROJECT BY THE LANDSCAPE ARCHITECT.
20. THE CONTRACTOR SHALL REMOVE ALL TREE STAKES AND TREE SUPPORTS PRIOR TO ASSUMPTION BY THE OWNER.
21. AT THE TIME OF INSPECTION FOR ACCEPTANCE ALL TREE PITS SHALL BE CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND DEBRIS.



**Legend**

- EXISTING TREE
- PROPOSED LARGE DECIDUOUS TREE
- PROPOSED MEDIUM DECIDUOUS TREE
- PROPOSED COLUMNAR DECIDUOUS TREE
- PROPOSED PLANTING BED
- PROPOSED SOD
- PROPOSED SIDEWALK WITH SOIL CELLS
- PROPOSED BENCH
- PROPOSED STONE RETAINING WALL MAX. 900mm ht.
- PROPOSED LOW LANDSCAPE STONE WALL MAX. 500mm ht.
- PROPOSED PRIVACY SCREEN
- ARCHITECTURAL FENCE
- PROPOSED VENTILATION GRATE
- PROPOSED RIVERWASHED STONES
- PROPOSED CONCRETE RETAINING WALL
- PROPOSED CONCRETE CURB
- PROPOSED 1.5m WIDE WALKWAY
- PROPOSED PAVERS TYPE 1
- PROPOSED BIKE RACK
- 150mm x 150mm AREA DRAIN
- PROPOSED WALL-MOUNTED LIGHT
- PROPERTY LINE

**Notes**

5	ISSUED FOR CITY REVIEW	TA	KP	24.05.24
4	ISSUED FOR CITY REVIEW	CA	KP	24.01.31
3	RE-ISSUED FOR ZBA	CA	KP	23.11.14
2	ISSUED FOR ZBA	CA	KP	23.08.18
6	ISSUED FOR CITY REVIEW	TA	KP	24.09.23

Revision

By	Appd.	YY.MM.DD
CA	KP	23.04.25
Dwn.	Chkd.	Dgn.
		YY.MM.DD



Client/Project  
ALL SAINTS DEVELOPMENT LP

WINDMILL  
330 LAURIER ANENUE EAST  
OTTAWA, ON

Title  
LANDSCAPE PLAN

Project No.	160401789	Scale	1:100
Drawing No.	L100	Sheet	1 of 6
		Revision	6



QUANTITIES	KEY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	REMARKS
<b>DECIDUOUS TREES - REFER TO DETAIL 1/L602</b>					
8	AR	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	60mm (cal.)	W.B.
2	AS	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple	60mm (cal.)	W.B.
1	ASC	<i>Acer saccharum</i> 'Columnare'	Columnar Sugar Maple	60mm (cal.)	W.B.
<b>DECIDUOUS SHRUBS - REFER TO DETAIL 3/L602 &amp; 4/L602</b>					
3	DL	<i>Diervilla lonicera</i>	Bush Honeysuckle	500mm (ht.)	Potted; Plant at 1000mm o.c.
111	HK	<i>Hypericum kalimianum</i>	Pot O'Gold	2 Gallon	Potted; Plant at 500mm o.c.
11	HP	<i>Hypericum proflificum</i>	Shrubby St. John's Wort	400mm (ht.)	Potted; Plant at 800mm o.c.
8	PF	<i>Potentilla fruticosa</i> 'Farreni'	Golddrop cinquefoil	2 Gallon	Potted; Plant at 500mm o.c.
3	POC	<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Ninebark	500mm (ht.)	Potted; Plant at 1750mm o.c.
12	RAG	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	500mm (ht.)	Potted; Plant at 750mm o.c.
6	SA	<i>Symphoricarpos albus</i>	Snowberry	3 Gallon	Potted; Plant at 1000mm o.c.

QUANTITIES	KEY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	REMARKS
<b>PERENNIALS &amp; ORNAMENTAL GRASSES - REFER TO DETAIL 5/L602 &amp; 6/L602</b>					
40	DCB	<i>Deschampsia cespitosa</i> 'Bronze Veil'	Bronze Tufted Hair Grass	1 Gallon	Potted; Plant at 500mm o.c.
86	DCN	<i>Deschampsia cespitosa</i> 'Northern Lights'	Variagated Tufted Hair Grass	1 Gallon	Potted; Plant at 400mm o.c.
3	EMG	<i>Eupatorium maculatum</i> 'Gateway'	Joe Pye Weed	1 Gallon	Potted; Plant at 1000mm o.c.
42	EPA	<i>Echinacea pallida</i>	Pale Purple Coneflower	1 Gallon	Potted; Plant at 500mm o.c.
42	EPP	<i>Echinacea purpurea</i> 'Prairie Splendor'	Prairie Splendor Coneflower	1 Gallon	Potted; Plant at 400mm o.c.
164	GMA	<i>Geranium maculatum</i>	Wild Geranium	1 Gallon	Potted; Plant at 250mm o.c.
44	NFC	<i>Nepeta faassenii</i> 'Cat's Meow'	Catmint	1 Gallon	Potted; Plant at 500mm o.c.
80	RHA	<i>Rudbeckia hirta</i> 'Autumn Colours'	Autumn Colours Gloriosa Daisy	1 Gallon	Potted; Plant at 300mm o.c.
102	RHI	<i>Rudbeckia hirta</i>	Gloriosa Daisy	1 Gallon	Potted; Plant at 300mm o.c.



Stantec Consulting Ltd.  
 300 - 1331 Clyde Avenue  
 Ottawa ON  
 Tel. 613.722.4420  
 www.stantec.com

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- Legend**
- EXISTING TREE
  - PROPOSED DECIDUOUS TREE
  - PROPOSED DECIDUOUS SHRUBS
  - PROPOSED CONIFEROUS & BROADLEAF SHRUBS
  - PROPOSED PERENNIALS & ORNAMENTAL GRASSES
  - PROPOSED PLANTING BED
  - PROPOSED SOD
  - PROPOSED SIDEWALK WITH SOIL CELLS
  - PROPERTY LINE

**Notes**

5	ISSUED FOR CITY REVIEW	IA	KP	24.05.24
4	ISSUED FOR CITY REVIEW	CA	KP	24.01.31
3	RESUBMITTED FOR ZBLA	CA	KP	23.11.14
2	ISSUED FOR ZBLA	CA	KP	23.08.18
6	ISSUED FOR CITY REVIEW	TA	KP	24.09.23
Revision		By	Appd.	YYMMDD
File Name: 16041789		CA	KP	23.04.25
		Dwn.	Chkd.	Dign.
				YYMMDD

**Permit-Seal**



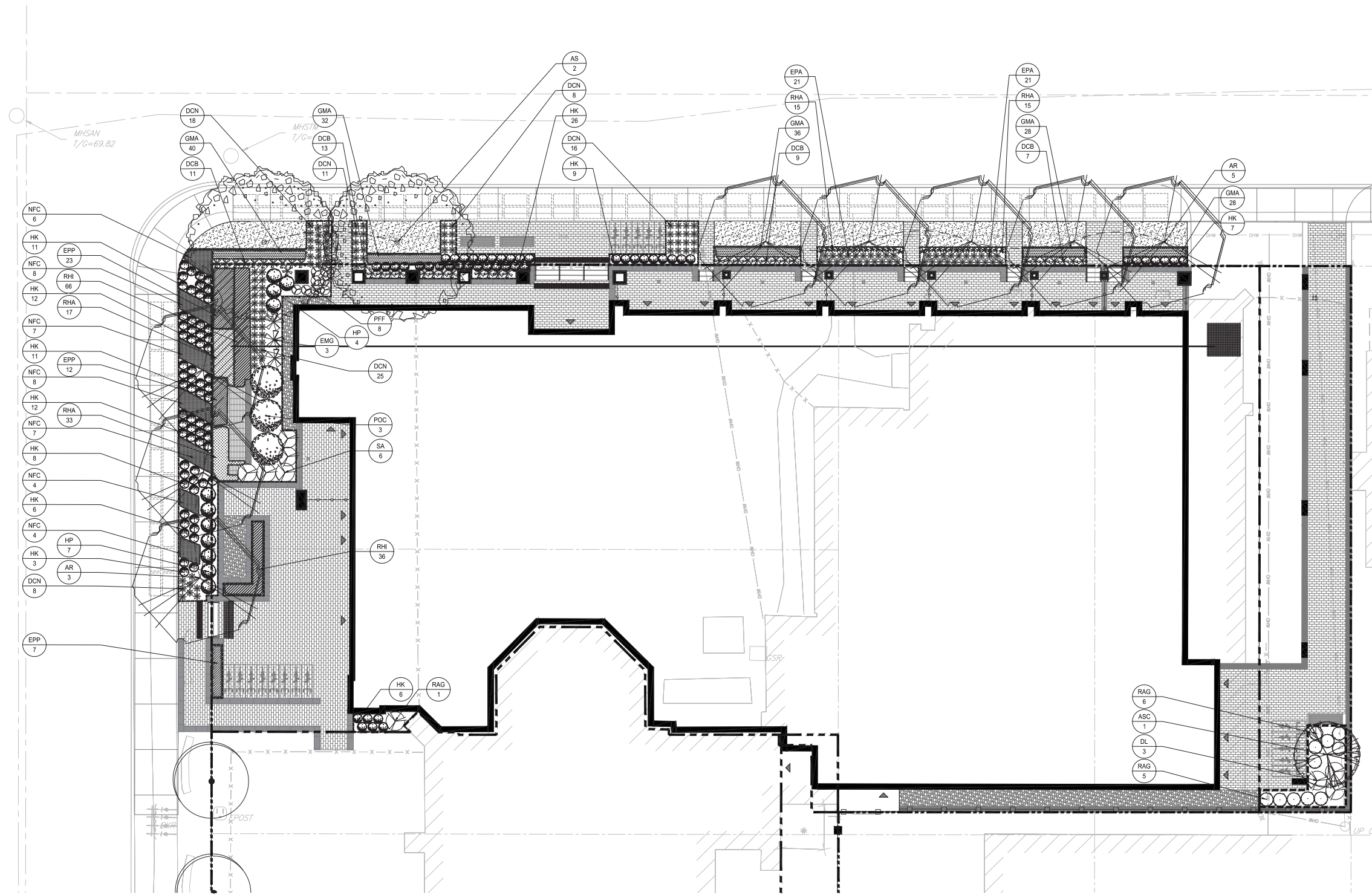
Client/Project  
 ALL SAINTS DEVELOPMENT LP

WINDMILL  
 330 LAURIER ANENUE EAST  
 OTTAWA, ON

Title  
 PLANTING PLAN

Project No. 16041789 Scale 1:100

Drawing No. L101 Sheet 2 of 6 Revision 6





PLANTING SCHEDULE - L200					
QUANTITIES	KEY	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING	REMARKS
<b>ORNAMENTAL GRASSES - REFER TO DETAIL 6/L602</b>					
10	PVC	<i>Panicum virgatum</i> "Cheyenne Sky"	Cheyenne Sky Switchgrass	1 Gallon	Potted; Plant at 500mm o.c.
<b>GREENROOF PERENNIALS - REFER TO DETAIL 2/L602</b>					
78.5 Sqm	M1	<i>Sedum</i> spp.	Stonecrop	Plug	80% Red color sedums
120.2 Sqm	M2	<i>Sedum</i> spp.	Stonecrop	Plug	70% purple color sedum
35.5 Sqm	M3	<i>Sedum</i> spp.	Stonecrop	Plug	80% yellow color sedum
115 Sqm	M4	<i>Sedum</i> spp.	Stonecrop	Plug	80% green color sedum



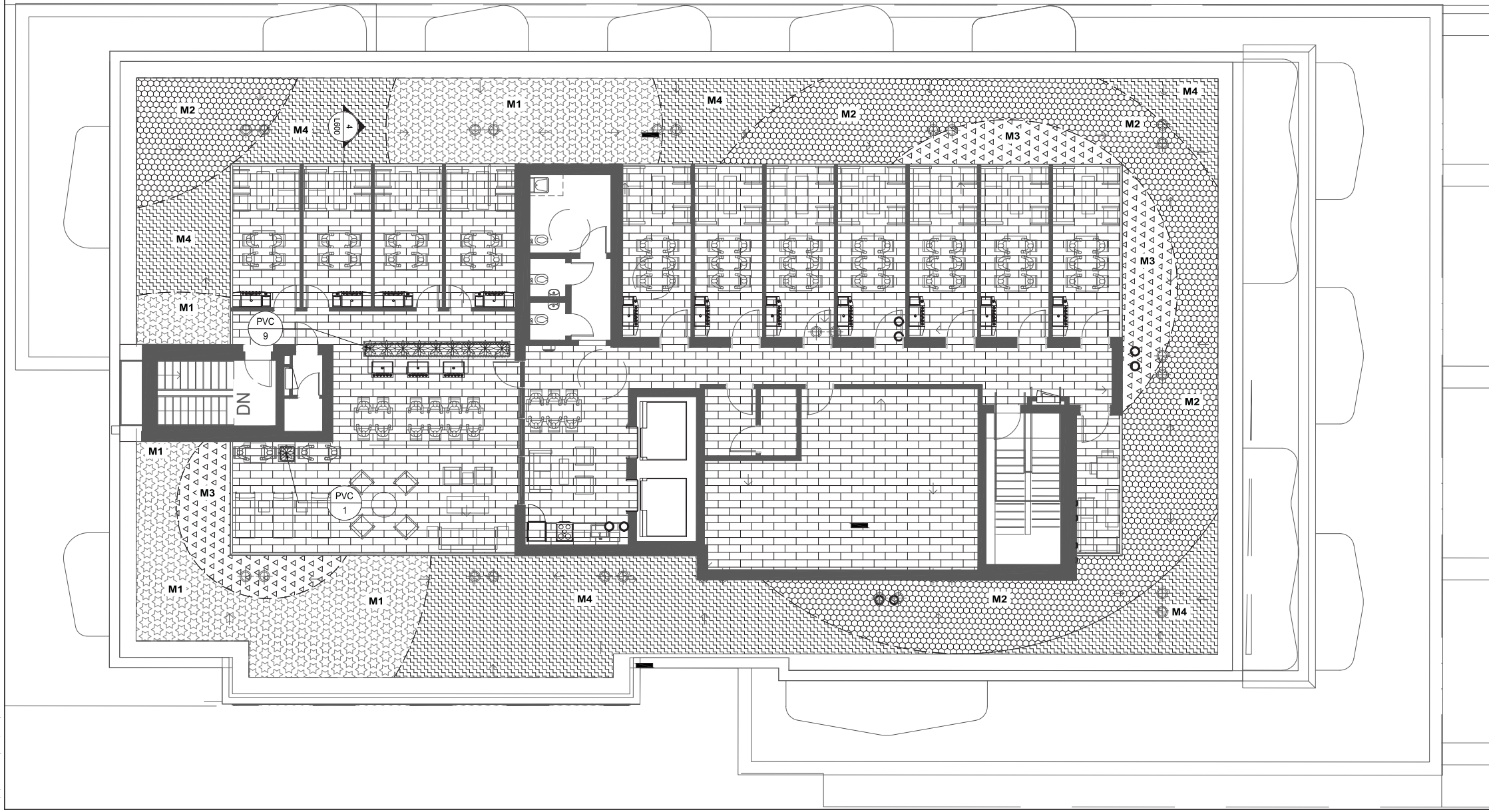
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Legend

- PROPOSED PLANT MIX 1
- PROPOSED PLANT MIX 2
- PROPOSED PLANT MIX 3
- PROPOSED PLANT MIX 4
- PROPOSED ORNAMENTAL GRASSES
- PROPOSED PAVERS TYPE 2



Notes

Revision	By	Appd.	Date
5	IA	KP	24.05.24
4	CA	KP	24.01.31
3	CA	KP	23.11.14
2	CA	KP	23.08.18
1	IA	KP	24.09.23

File Name: 160401789 CA KP 23.04.25  
Dwn. Ckcd. Dgrn. Y1.MM.DD

Permit-Seal



Client/Project

ALL SAINTS DEVELOPMENT LP  
  
WINDMILL  
330 LAURIER ANENUE EAST  
OTTAWA, ON

Title

GREEN ROOF  
LANDSCAPE PLAN

Project No.	Scale	0 750 2250 3750mm
160401789	1:75	
Drawing No.	Sheet	Revision
L200	3 of 6	6

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GENERAL SHEET - ARCH-D

GREEN ROOF LANDSCAPE PLAN  
ROOFTOP





TAG	PATTERN	DESCRIPTION
1	[Pattern]	CLAY BRICK MASONRY SIZE: METRIC NORMAN TEXTURE: RED COLOUR: RED
2	[Pattern]	NATURAL STONE MASONRY TEXTURE: RED COLOUR: RED
3	[Pattern]	TRIPLE-GLAZED, LOW-E, KEEPER TO WINDOW SCHEDULE & MANUF. SPEC.
4	[Pattern]	WINDOW FRAMES - CASCADIA FINISH: ALUMINUM BRUSH COLOUR: CHAMPAGNE WITHIN BRICK FINISH WALL, BLACK WITHIN METAL FINISH
5	[Pattern]	METAL CLADDING - CASCADIA METALS PROFILE: SHADOW CHANGERS TRC COLOUR: CHAMPAGNE PVDF STEEL
6	[Pattern]	METAL CLADDING - CASCADIA METALS PROFILE: "Y" PROFILE COLOUR: CHAMPAGNE PVDF STEEL
7	[Pattern]	CAST IN PLACE CONCRETE
8	[Pattern]	EXTERIOR METAL GUARD TEXTURE: RED COLOUR: CHAMPAGNE PVDF STEEL
9	[Pattern]	CONCRETE CAP C/W DEEP EDGES AND POSITIVE SLOPE TEXTURE: RED COLOUR: RED
10	[Pattern]	CONCRETE SILL C/W DEEP EDGES AND POSITIVE SLOPE TEXTURE: RED COLOUR: RED
11	[Pattern]	NATURAL STONE RETAINING WALL REINFORCED FROM THE FOUNDATION OR BATE HALL STRUCTURE
12	[Pattern]	EXTERIOR LIGHTING
13	[Pattern]	ALUMINUM SPANDREL PANEL OPAQUE WINDOW WALL SPANDREL PANEL C/W INSULATION AND BACK PAN
14	[Pattern]	COLOR-GLASS
15	[Pattern]	GLASS GUARD AS JACKET BALCONY
16	[Pattern]	METAL SLAT SCREEN WALL
17	[Pattern]	BUILDING STORAGE AREA
18	[Pattern]	DECORATIVE METAL RAIL

**windmill**  
OWNER | PROPRIÉTAIRE

**CUNLIFFE & ASSOCIATES**  
CONSULTING ARCHITECTS, ENGINEERS

STRUCTURAL ENGINEERS | INGENIEUR STRUCTURE

**Stantec**  
LANDSCAPE ARCHITECTS | ARCHITECTES PAYSAGISTES  
CIVIL ENGINEERS | INGENIEUR CIVIL

**GWAL**  
Geotechnical Engineering & Associates Ltd.

**ALLIANCE**  
MEP ENGINEERS | INGENIEUR MEP

ONTARIO ASSOCIATION OF ARCHITECTS  
REGISTERED ARCHITECT  
ARCHITECTURE LICENCE 9881

CONTRACT | CONTRACTE

**linebox**  
STUDIO

GENERAL NOTES | NOTES GÉNÉRALES

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SPACING TO BE USED AND REPORT TO ARCHITECT
- VERIFY ALL DIMENSIONS AND SPACING TO BE USED
- NOT FOR CONSTRUCTION WALLS ISSUED BY THE ARCHITECT

PROJECT FILE

**THE EVERGREEN ON BLACKBURN**  
8 BLACKBURN AVE., OTTAWA, ON K1N 6P9

DRAWING FILE | FICHIER DU DESSIN

**EAST (BLACKBURN) ELEVATION**

PROJECT NUMBER | NUMÉRO DU PROJET: 2218  
DRAWN | DÉSSINÉ: RM / OK / JH  
CHECKED | VÉRIFIÉ: RM / AR  
DATE | DATE: MARCH 21, 2023  
SCALE | ÉCHELLE: 1:100

DRAWING NUMBER | NUMÉRO DU DESSIN: **A4-101**

Architect: Linebox Studio, 1000 Somerset Street West, Toronto, ON M5V 2M9  
 2023-03-21 14:47:29

1 EAST ELEVATION (BLACKBURN)  
A4-101





TAG	PATTERN	DESCRIPTION
1	[Pattern]	CLAY BRICK MASONRY SEE METRIC NORMAN FINISH: TBD COLOUR: RED
2	[Pattern]	NATURAL STONE MASONRY FINISH: TBD COLOUR: TBD
3	[Pattern]	TYPICAL GLAZED LOW E. ENTRY TO WINDOW SCREENS & MANSF. SPEC.
4	[Pattern]	WINDOW FRAMES - CASCADE MATERIAL: ALUMINUM FINISH COLOUR: CHAMPAGNE WITHIN BRICK FINISH WALL, BLACK WITHIN METAL FINISH WALL
5	[Pattern]	METAL CLADDING - CASCADE METALS PROFILE: JACOBS DIMENSIONAL TEC. COLOUR: CHAMPAGNE PVDF STEEL
6	[Pattern]	METAL CLADDING - CASCADE METALS PROFILE: Y-PROFILE COLOUR: CHAMPAGNE PVDF STEEL
7	[Pattern]	CAST-IN PLACE CONCRETE
8	[Pattern]	EXTERIOR METAL GUARD FINISH: TBD COLOUR: CHAMPAGNE PVDF STEEL
9	[Pattern]	CONCRETE CAP C/W DRIP EDGES AND POSITIVE SLOPE FINISH: TBD COLOUR: TBD
10	[Pattern]	CONCRETE BAL C/W DRIP EDGES AND POSITIVE SLOPE FINISH: TBD COLOUR: TBD
11	[Pattern]	NATURAL STONE RETAINING WALL RECALLED FROM THE DEMOLITION OF BATE WALL STRUCTURE
12	[Pattern]	EXTERIOR LIGHTING
13	[Pattern]	ALUMINUM SPANDREL PANEL OPAQUE WINDOW WALL SPANDREL PANEL C/W INSULATION AND BRICK FIN.
14	[Pattern]	COLORLED GLASS
15	[Pattern]	GLASS GUARD AS BALLET BALCONY
16	[Pattern]	METAL SLAT SCREEN WALL
17	[Pattern]	BUILDING SIGNAGE AREA
18	[Pattern]	DECORATIVE METAL BAL.

windmill

owner | propriétaire



structural engineers | ingénieur structure



landscape architects | architectes paysagistes  
civil engineers | ingénieur civil



MFP engineers | ingénieur MFP

2. REVISED FOR SITE PLAN CHECK 2024/08/24  
3. REVISED FOR PERMITS CHECK 2024/09/28  
4. PERMITS CHECK 2024/10/24



architect | architecte



general notes | notes générales

1. CONSULTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FINISHES AS SHOWN AND COMPARE TO THE ARCHITECT'S DRAWINGS.
2. DO NOT SCALE THE DRAWINGS.
3. REFER TO CONSTRUCTION AND SCHEDULES BY THE ARCHITECT.

project file

**THE EVERGREEN ON BLACKBURN**

8 BLACKBURN AVE, OTTAWA, ON K1N 6P7

drawing title | titre du dessin

**NORTH (LAURIER)  
ELEVATION**

project number | numéro du projet 2218

drawn | dessiné RM / CK / JK

checked | vérifié RM / AR

date | date MARCH 21, 2023

scale | échelle 1:100

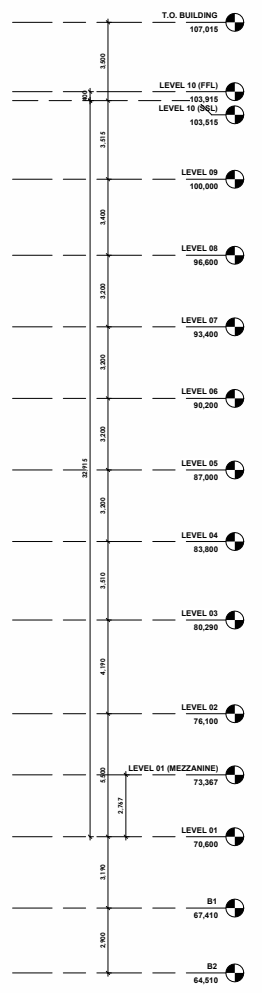
drawing number | numéro du dessin  
**A4-100**

Architect: FOTENN windmill linebox studio  
 315 + portion of 321 Chapel St., Ottawa, ON K1N 6P7  
 2024-03-21 10:00 AM

1 NORTH ELEVATION (LAURIER)  
A4-100 1:100

# NORTH ELEVATION





TAG	PATTERN	DESCRIPTION
1	[Pattern]	CLAY BRICK MASONRY SPEC: METRIC NORMAN TEXTURE: T80 COLOUR: RED
2	[Pattern]	
3	[Pattern]	NATURAL STONE MASONRY SPEC: T80 COLOUR: T80
4	[Pattern]	WIRE GLAZED LOW E. EYER TO WINDOW SCHEDULES & MANUF. SPEC.
5	[Pattern]	WINDOW FRAMES: CASCADIA MATERIAL: ALUMINUM BRUSH COLOUR: CHAMPAGNE WITHIN BRICE FINISH WALL: BLACK WITHIN METAL FINISH WALL
6	[Pattern]	
7	[Pattern]	METAL CLADDING: CASCADIA METALS PROFILE: JACOBS DIMENSIONAL TEC COLOUR: CHAMPAGNE PVDF STEEL
8	[Pattern]	METAL CLADDING: CASCADIA METALS PROFILE: Y-PROFILE COLOUR: CHAMPAGNE PVDF STEEL
9	[Pattern]	CAST-IN PLACE CONCRETE
10	[Pattern]	EXTERIOR METAL GUARD TEXTURE: T80 COLOUR: CHAMPAGNE PVDF STEEL
11	[Pattern]	CONCRETE CAP C/W DRIP EDGES AND POSITIVE SLOPE TEXTURE: T80 COLOUR: T80
12	[Pattern]	CONCRETE BAL C/W DRIP EDGES AND POSITIVE SLOPE TEXTURE: T80 COLOUR: T80
13	[Pattern]	NATURAL STONE RETAINING WALL RECALIBRATED FROM THE DEMOLITION OF BATE WALL STRUCTURE
14	[Pattern]	EXTERIOR LIGHTING
15	[Pattern]	ALUMINUM SPANDREL PANEL OPAQUE WINDOW WALL SPANDREL PANEL C/W INSULATION AND BRICE FIN.
16	[Pattern]	COLORLED GLASS
17	[Pattern]	GLASS GUARD AS JARRET BALCONY
18	[Pattern]	METAL SLAT SCREEN WALL
19	[Pattern]	BUILDING SIGNAGE AREA
20	[Pattern]	DECORATIVE METAL BAL.

windmill

owner | propriétaire

CUNLIFFE & ASSOCIATES  
CONSULTING ENGINEERS

structural engineers | ingénieur structure

Stantec

landscape architects | architectes paysagistes  
civil engineers | ingénieur civil

GWAL  
Geotechnical & Water Analysis Ltd.

ALLIANCE  
Architectural, Electrical, Design Build

MFP engineers | ingénieur MFP

2. REVISED FOR SITE PLAN CHECK 2024-08-24  
3. SUBMITTED FOR PERMITS CHECK 2024-08-28  
4. PRELIMINARY DESIGN



architect | architecte

linebox  
STUDIO

general notes | notes générales  
1. CONSULTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
GENERAL CONDITIONS AND CONDITIONS TO BE OBSERVED.  
2. DO NOT SCALE THE DRAWINGS.  
3. REFER TO CONSTRUCTION AND SCHEDULES BY THE ARCHITECT.

project title  
**THE EVERGREEN ON  
BLACKBURN**

8 BLACKBURN AVE, OTTAWA, ON K1N 6P7

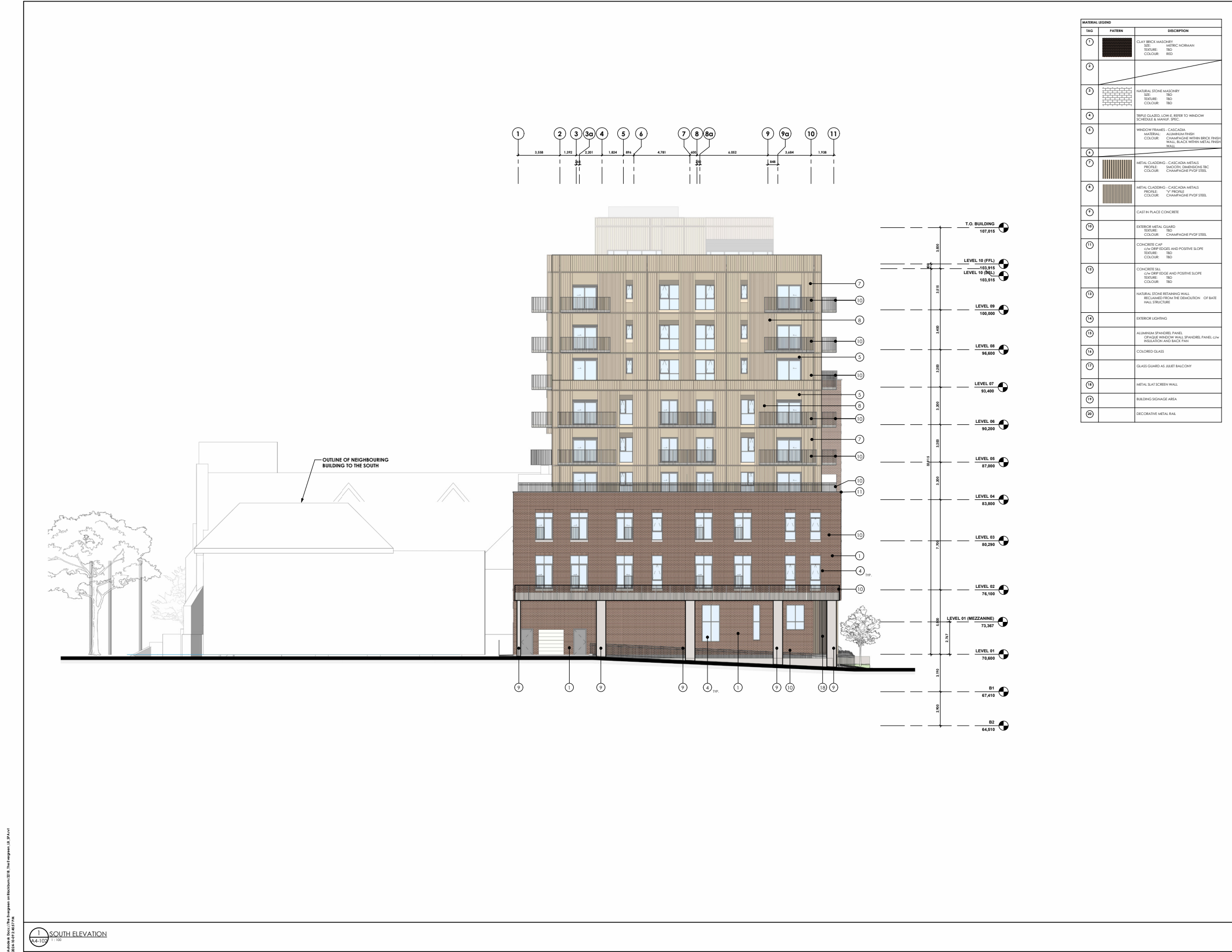
drawing title | titre du dessin  
**WEST ELEVATION**

project number | numéro du projet 2218  
drawn | dessiné RM / CK / JK  
checked | vérifié RM / AR  
date | date MARCH 21, 2023  
scale | échelle 1:100

drawing number | numéro du dessin  
**A4-103**



SOUTH ELEVATION



windmill

owner | propriétaire

CUNLIFFE & ASSOCIATES  
CONSULTING ENGINEERS

structural engineers | ingénieur structure

Stantec

landscape architects | architectes paysagistes  
civil engineers | ingénieur civil

GWAL  
Geotechnical Engineering & Associates Ltd.

ALLIANCE  
Architectural Electrical Design Inc.

MFP engineers | ingénieur MFP

2. REVISED FOR SITE PLAN CHECKS 2014/08/24  
1. SUBMITTED FOR PERMITS 2014/08/24  
1. PRELIMINARY DESIGN 2014/08/24  
1. PRELIMINARY DESIGN

Stamp | Scribe  
OVERBO ASSOCIATES  
OF ARCHITECTS  
ARCHITECTS  
LINCOTE  
SIAA

architect | architecte  
linebox  
STUDIO

general notes | notes générales  
1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
SPACING AS SHOWN AND COMPARE TO THE ARCHITECT'S  
2. DO NOT SCALE THE DRAWINGS  
3. REFER TO CONSTRUCTION AND SCHEDULES BY THE ARCHITECT.

project title  
THE EVERGREEN ON  
BLACKBURN

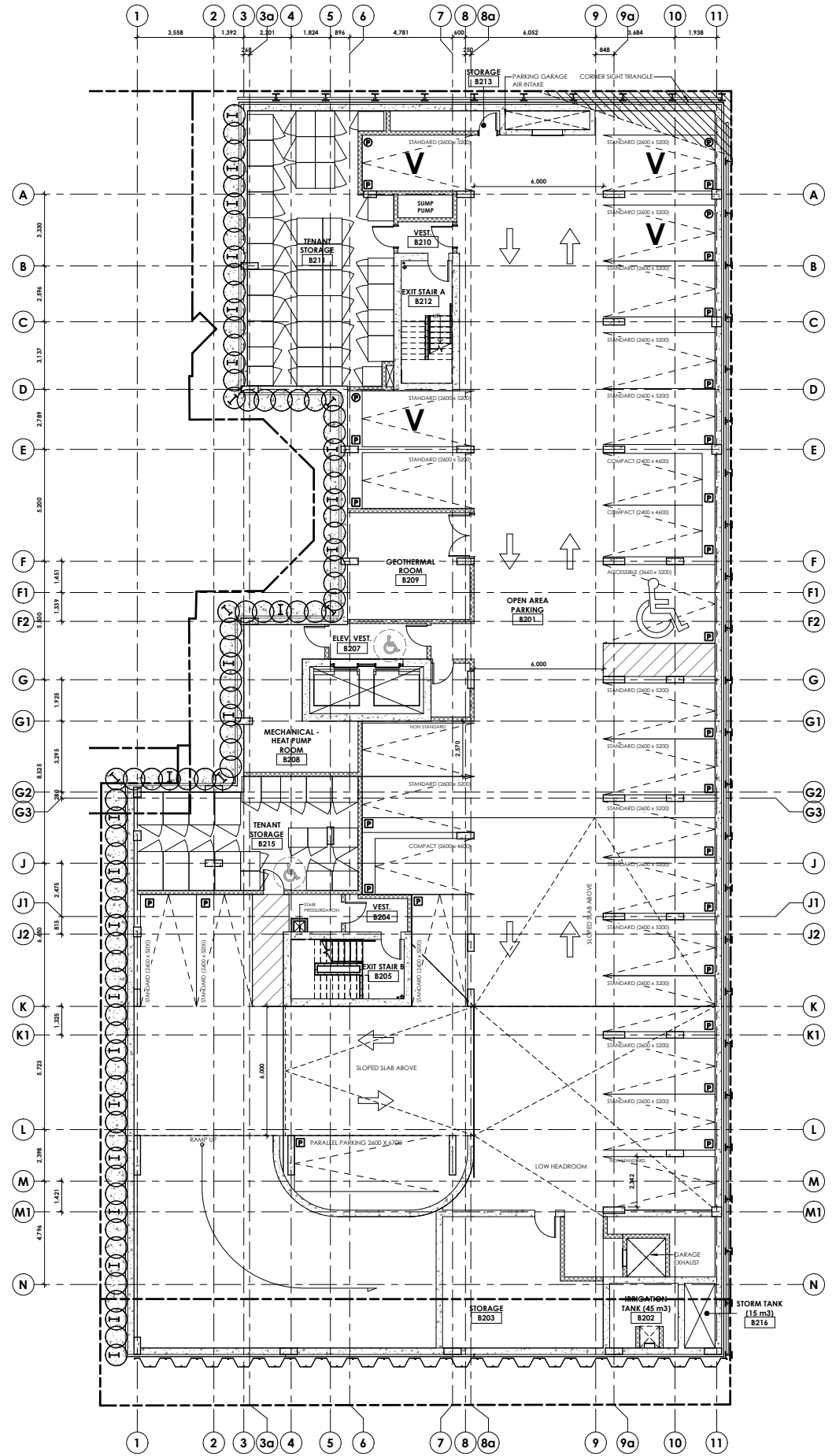
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drawing title | titre du dessin  
SOUTH ELEVATION

project number | numéro du projet 2218  
drawn | dessiné RM / CK / JK  
checked | vérifié RM / AR  
date | date MARCH 21, 2023  
scale | échelle 1:100  
drawing number | numéro du dessin  
A4-102

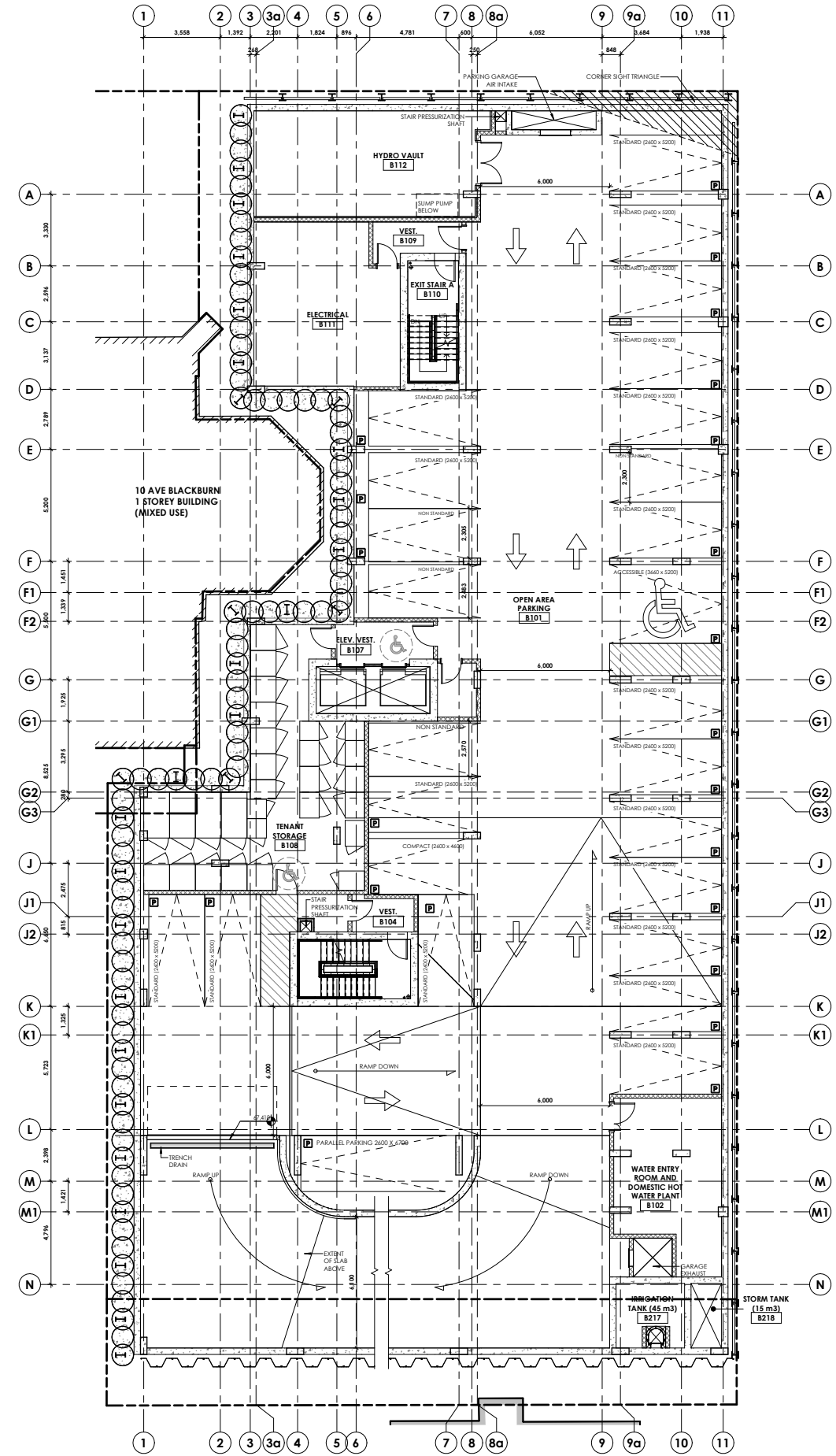
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1 SOUTH ELEVATION  
A4-102  
1:100





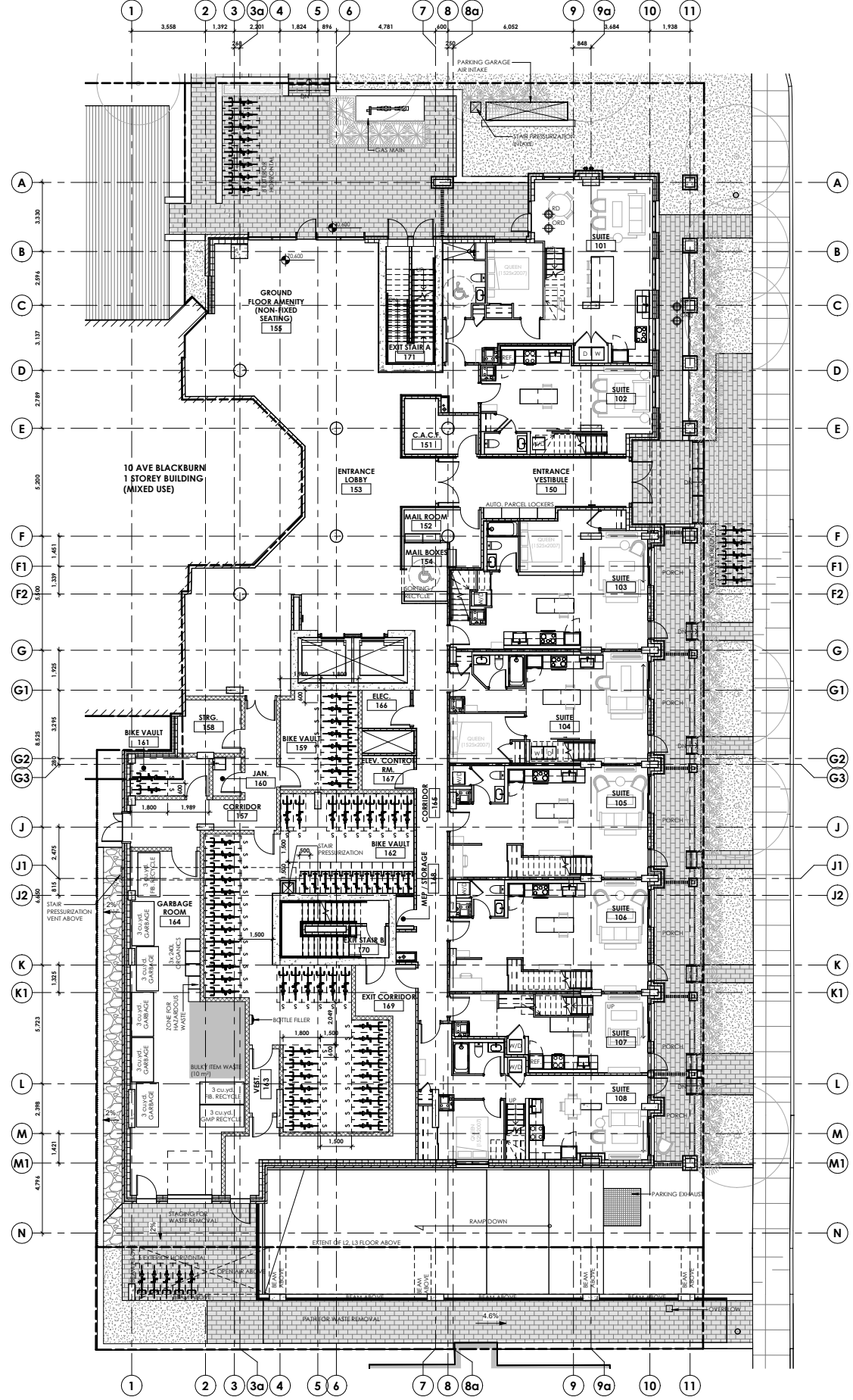
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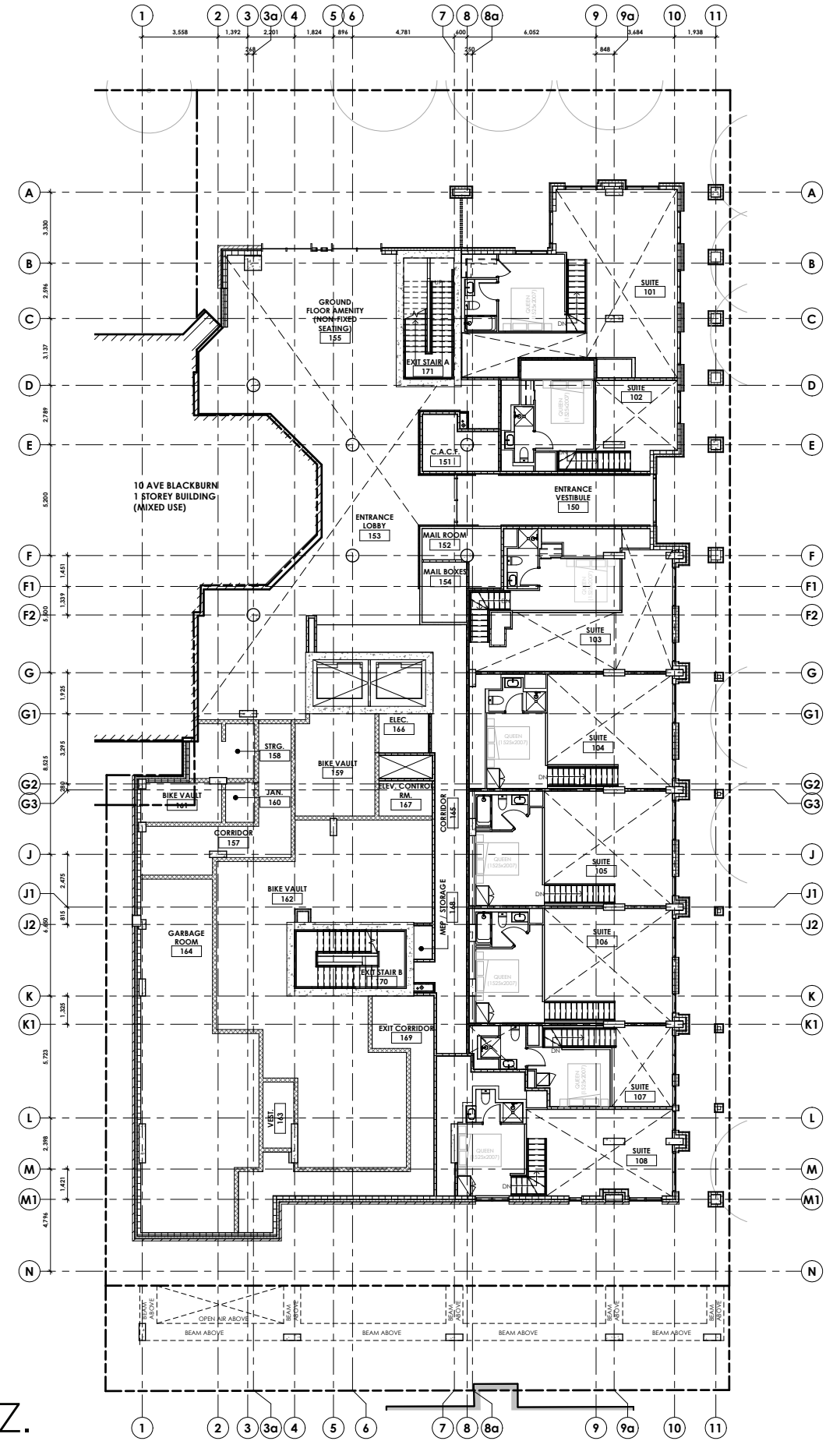
P1

P2 & P1 PLANS





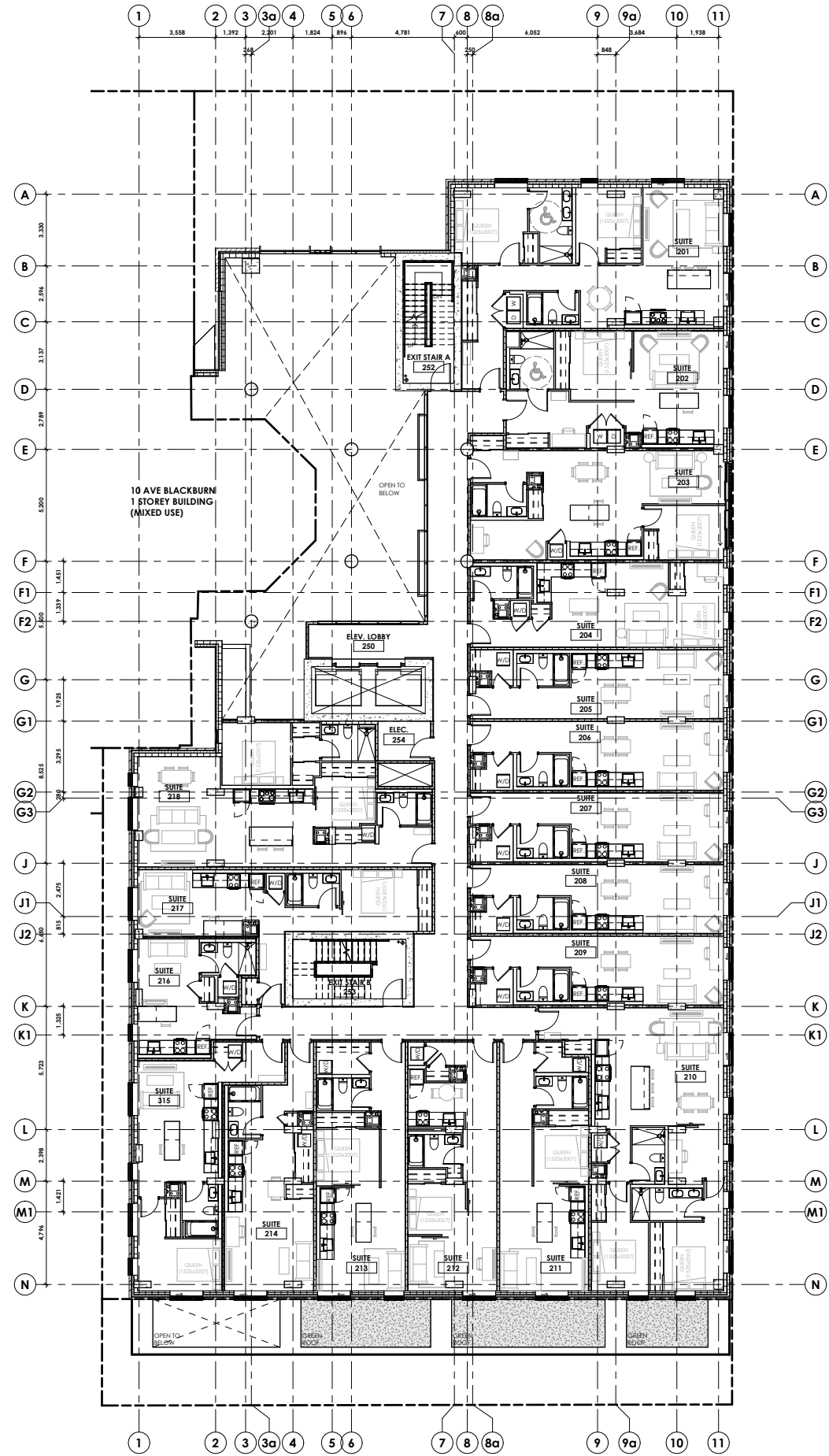
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L1 MEZZ.

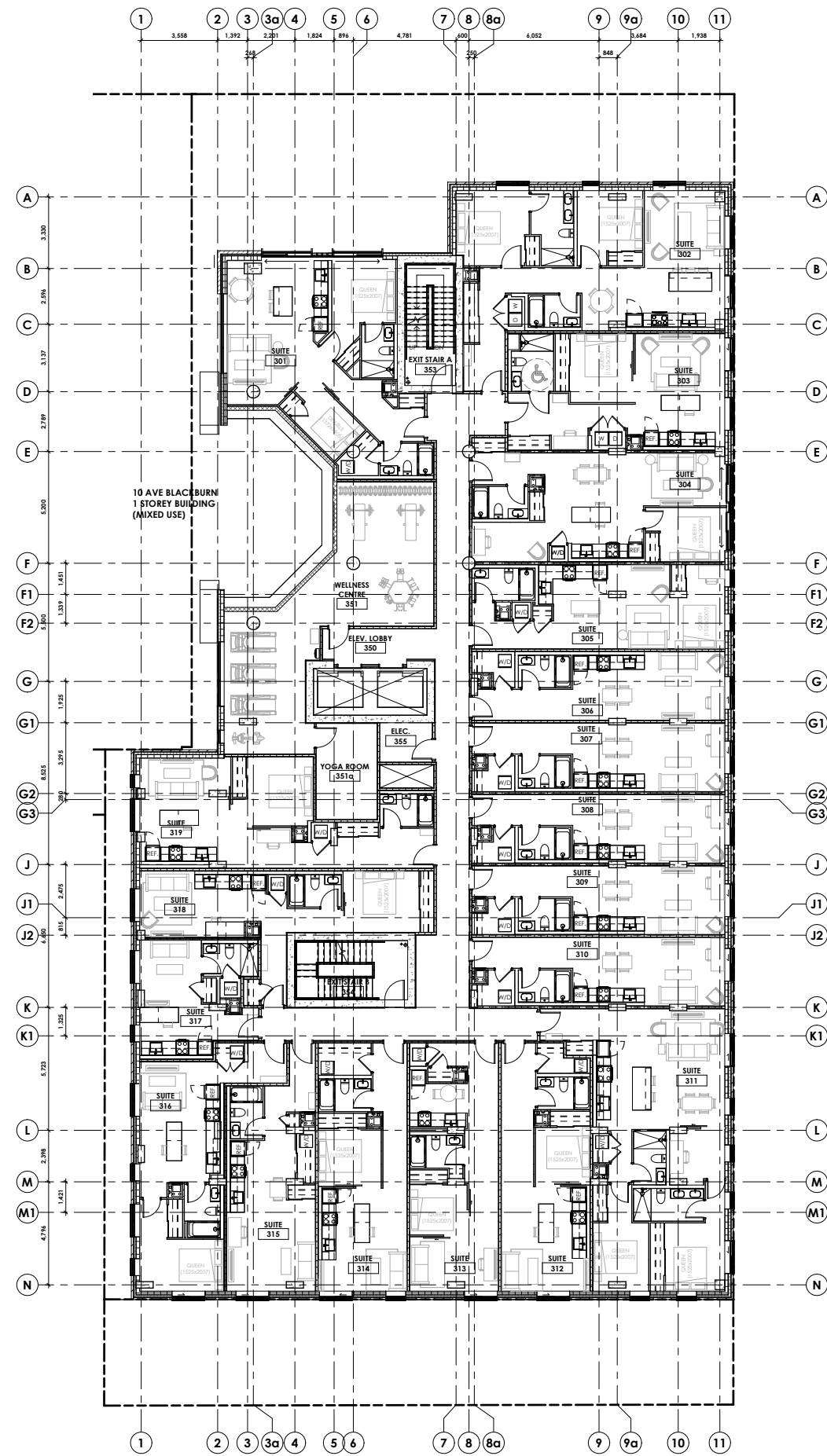
L1 & L1 MEZZANINE PLANS





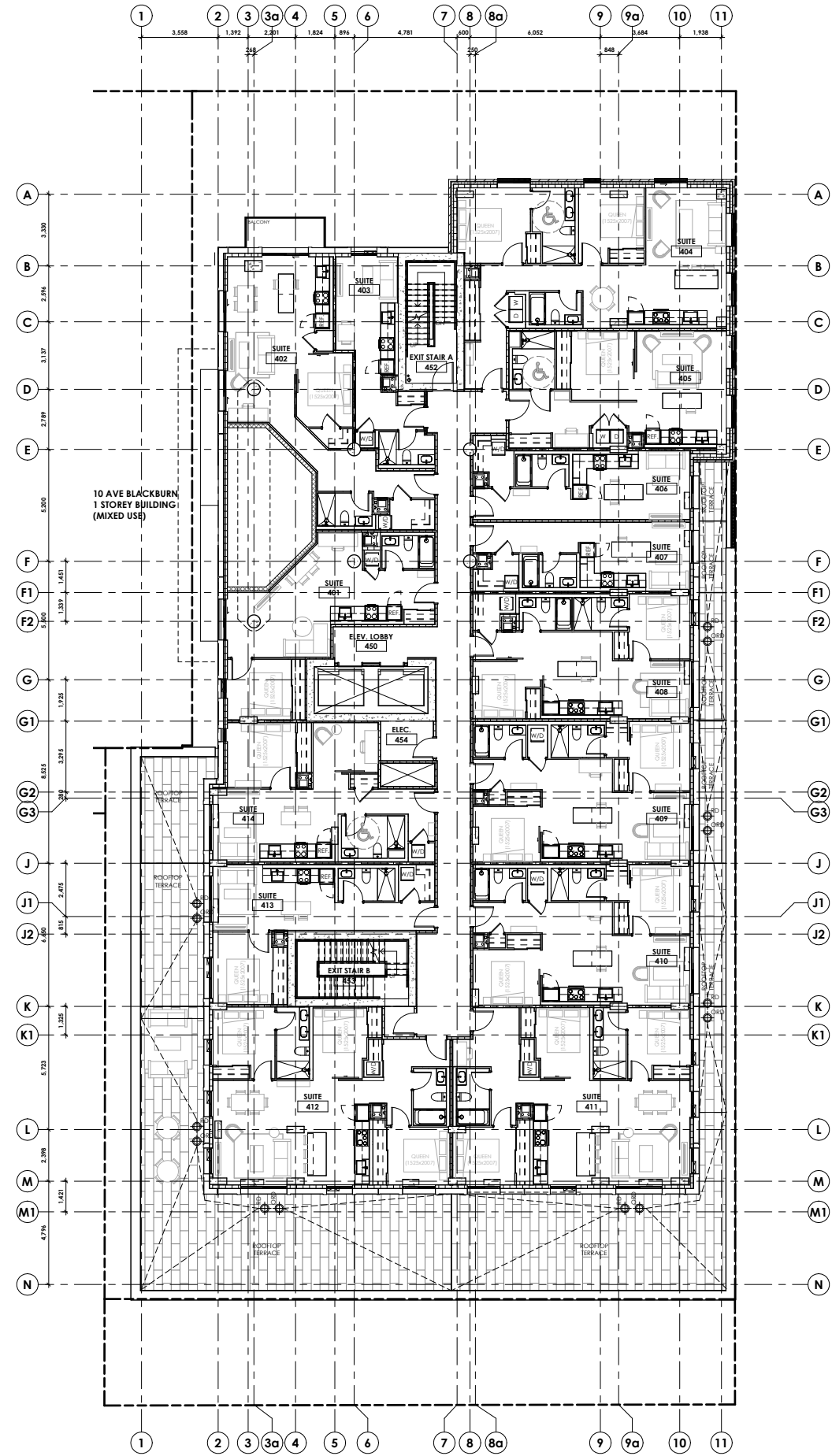
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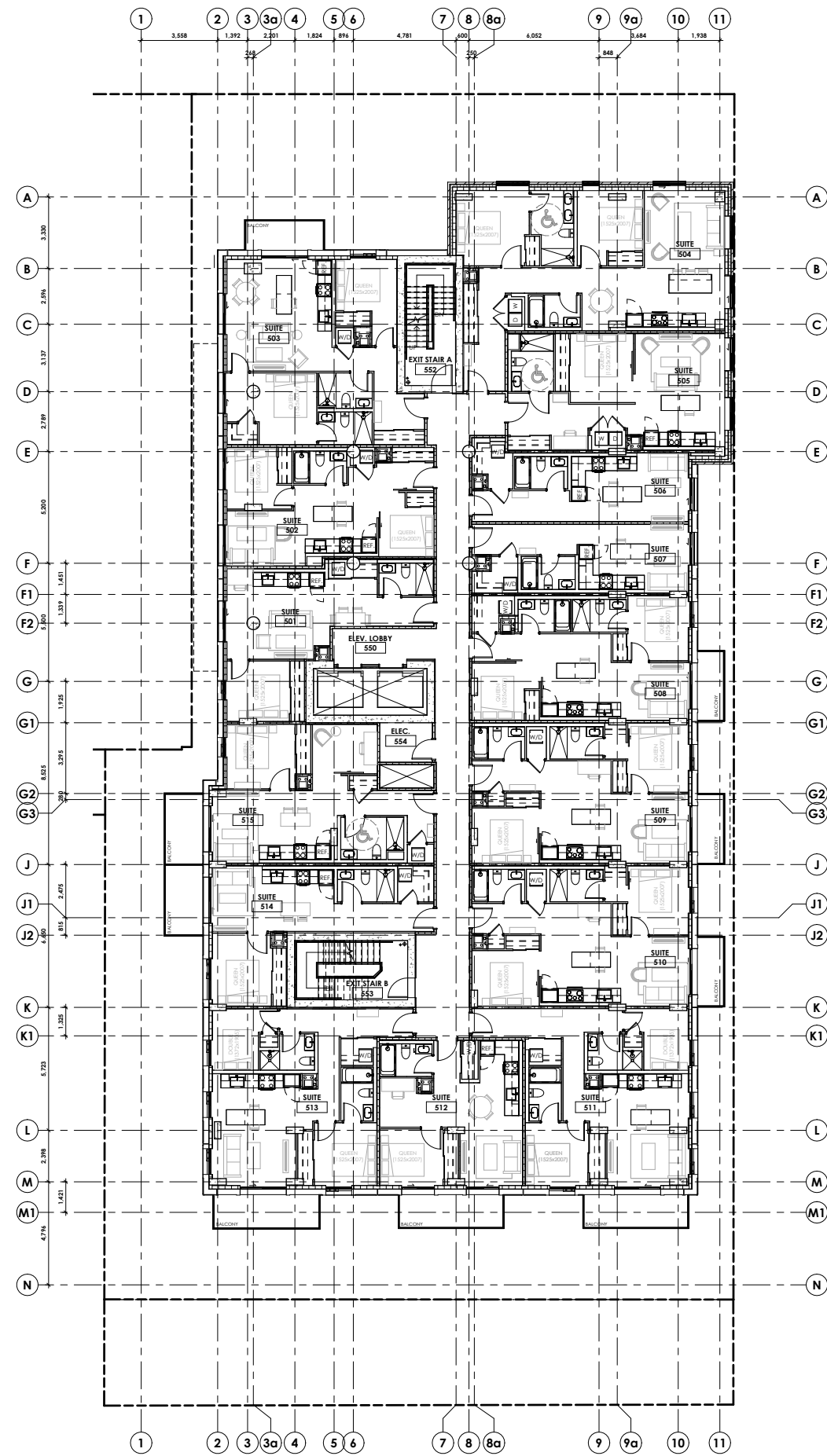
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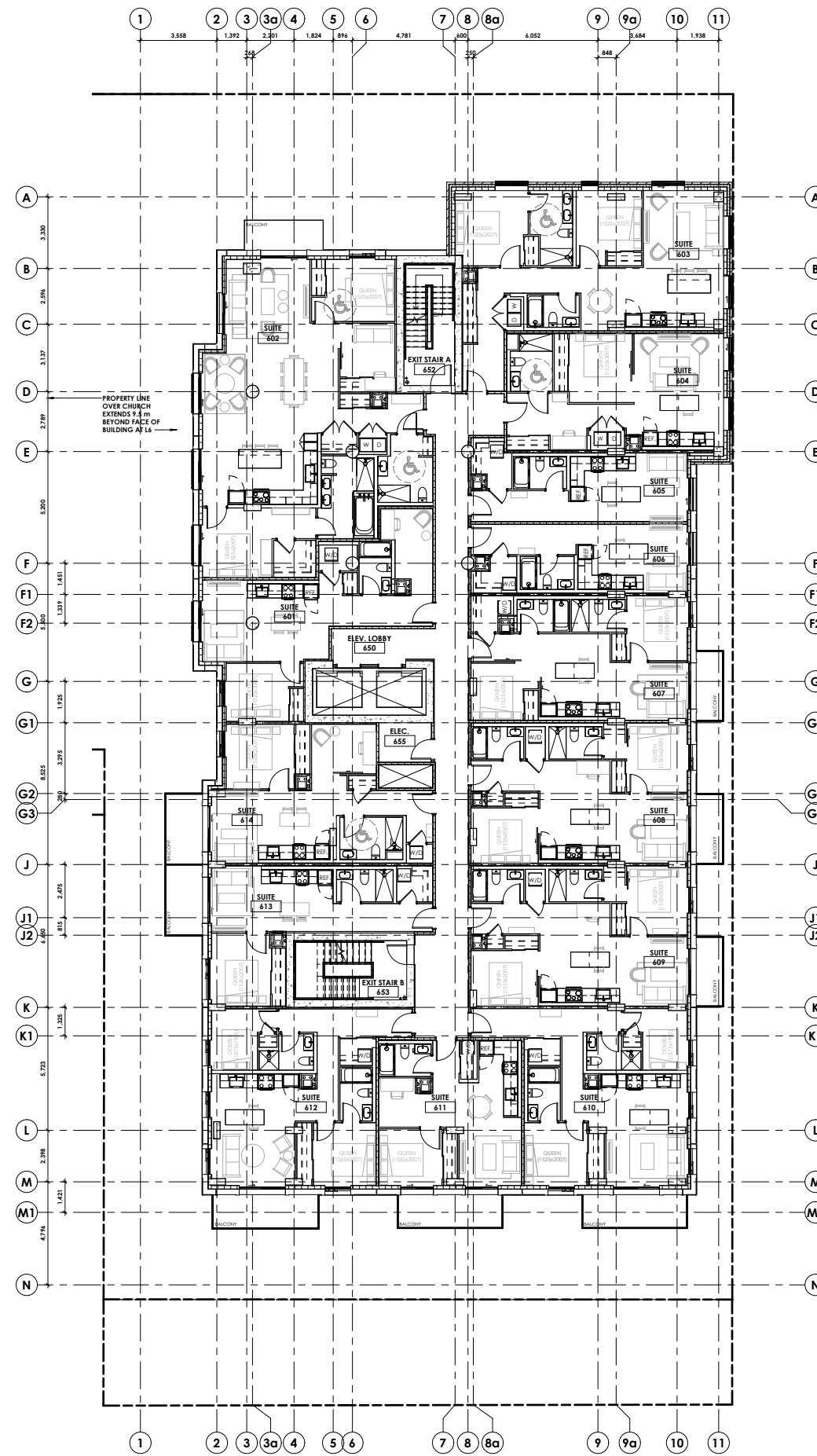
L4 PLAN





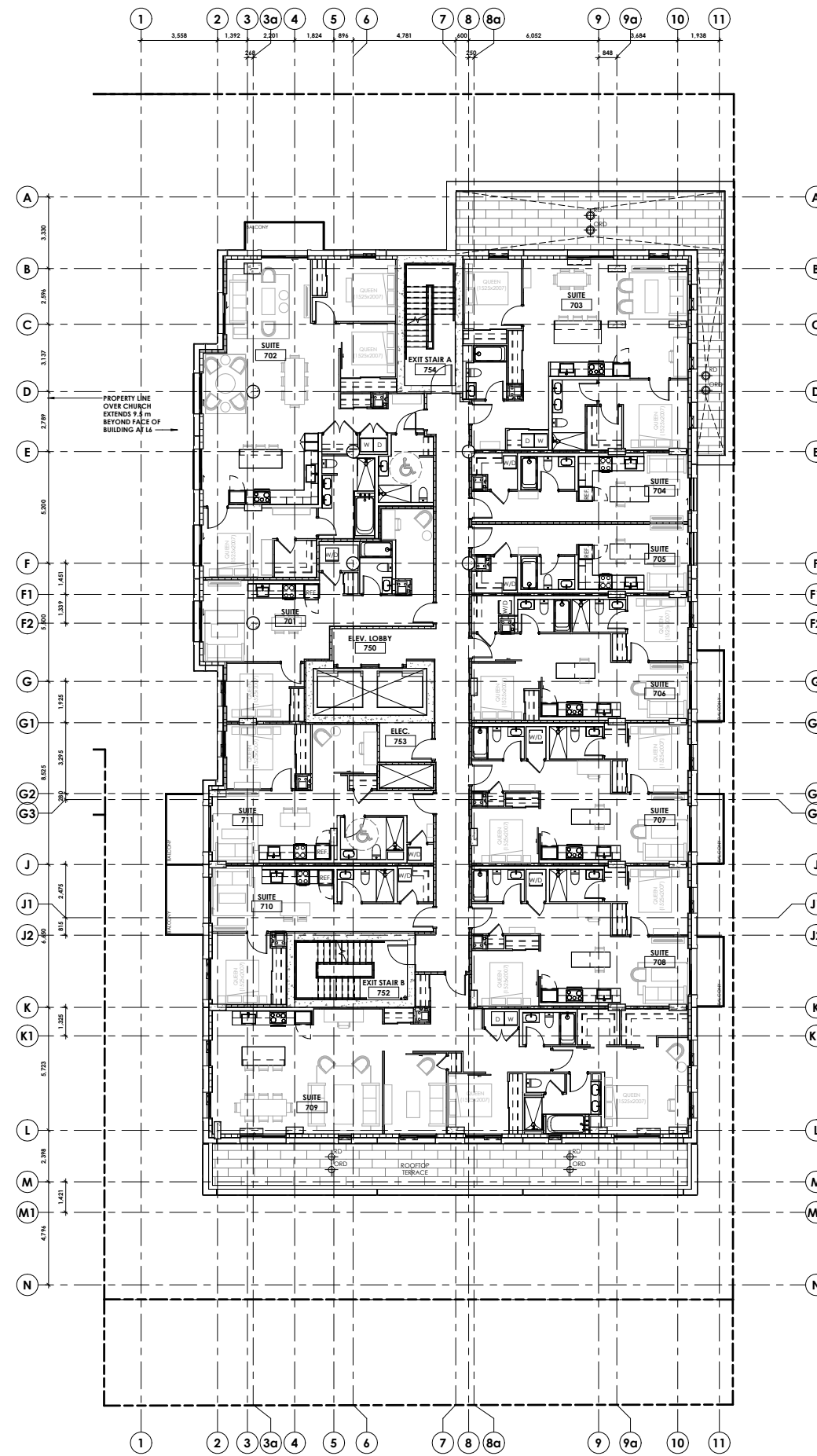
L5 PLAN





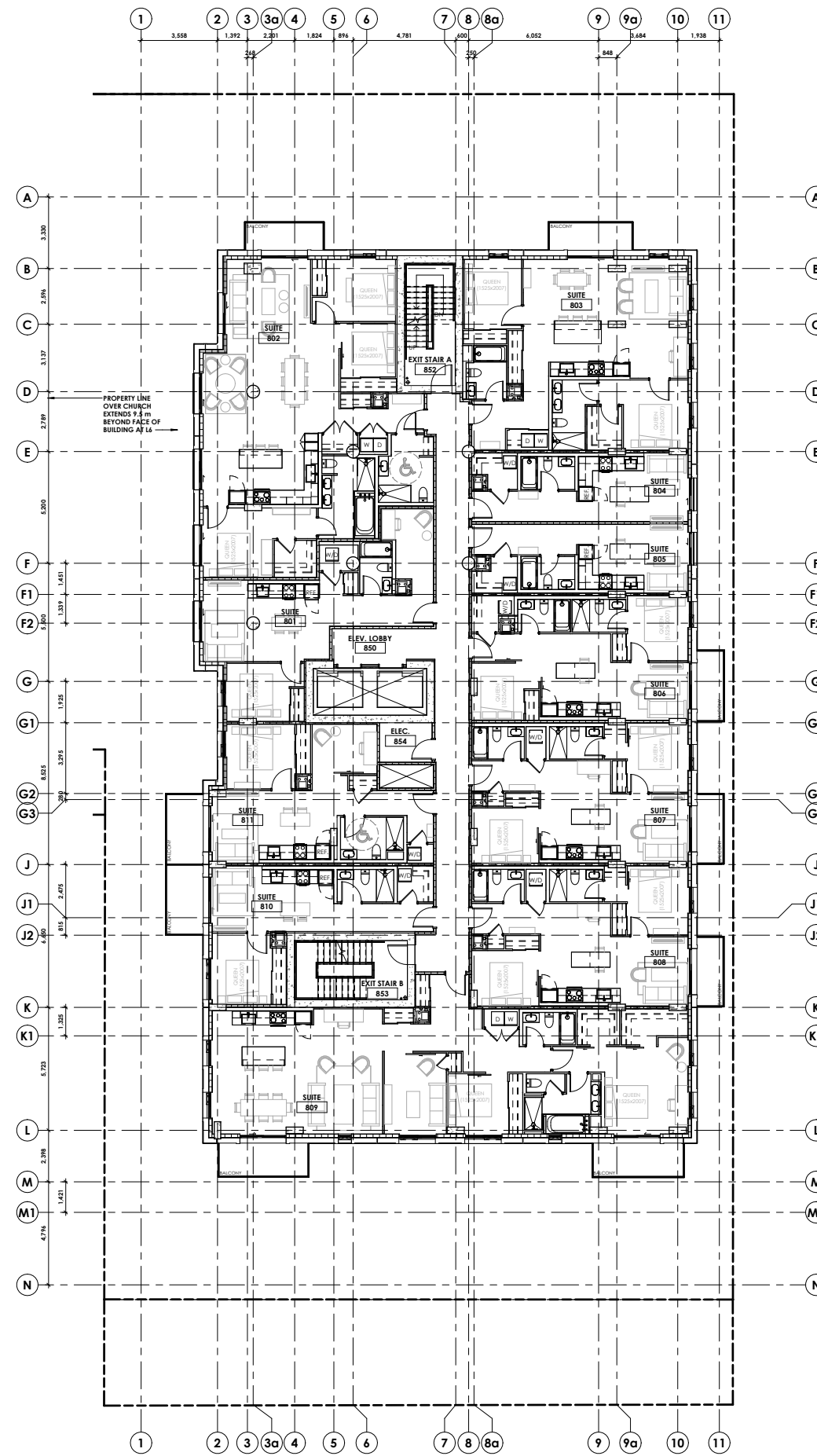
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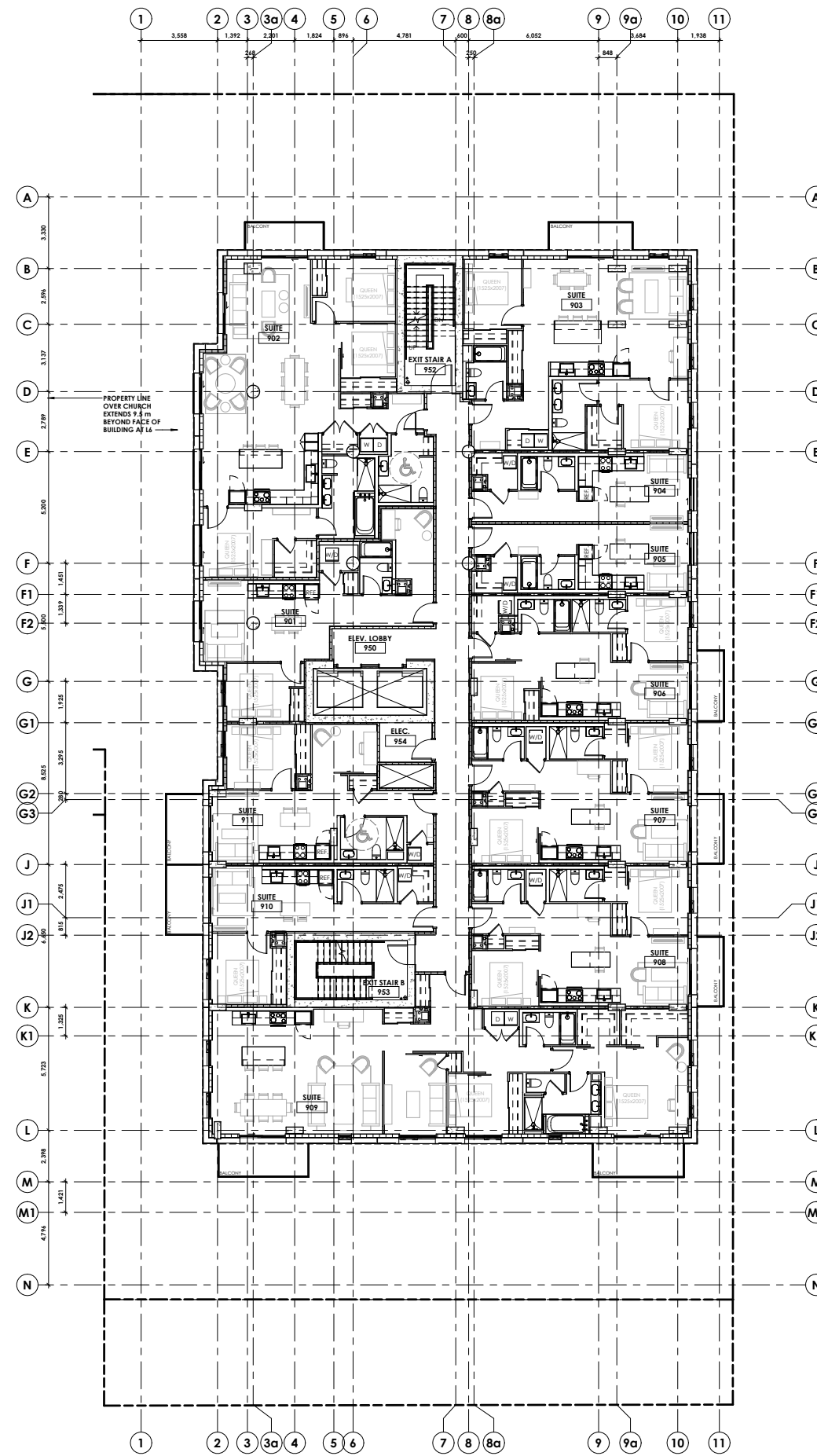


L7 PLAN



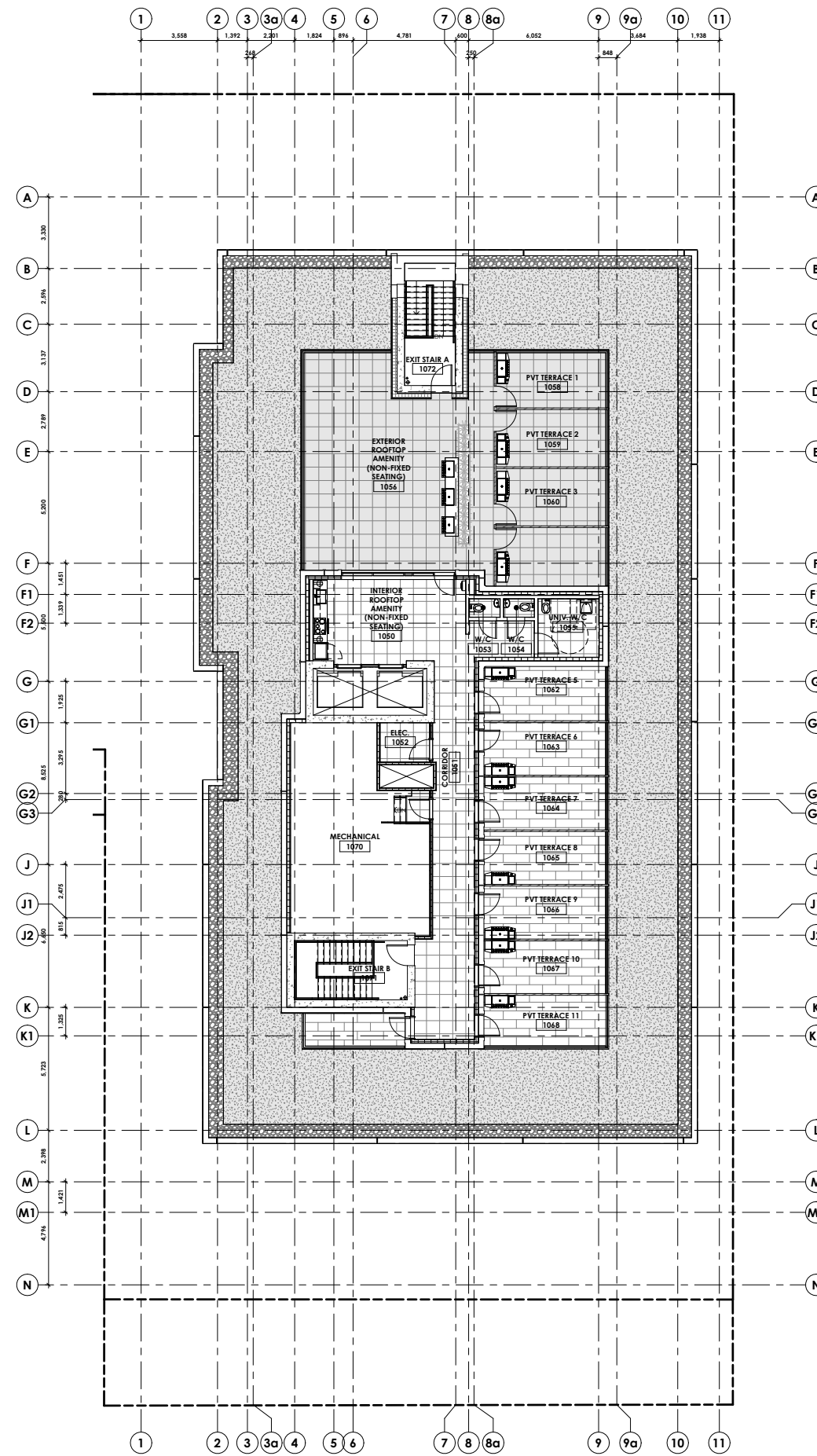


L8 PLAN

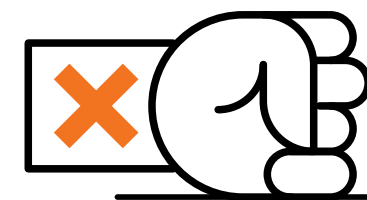


L9 PLAN





ROOF PLAN



**thank you.**