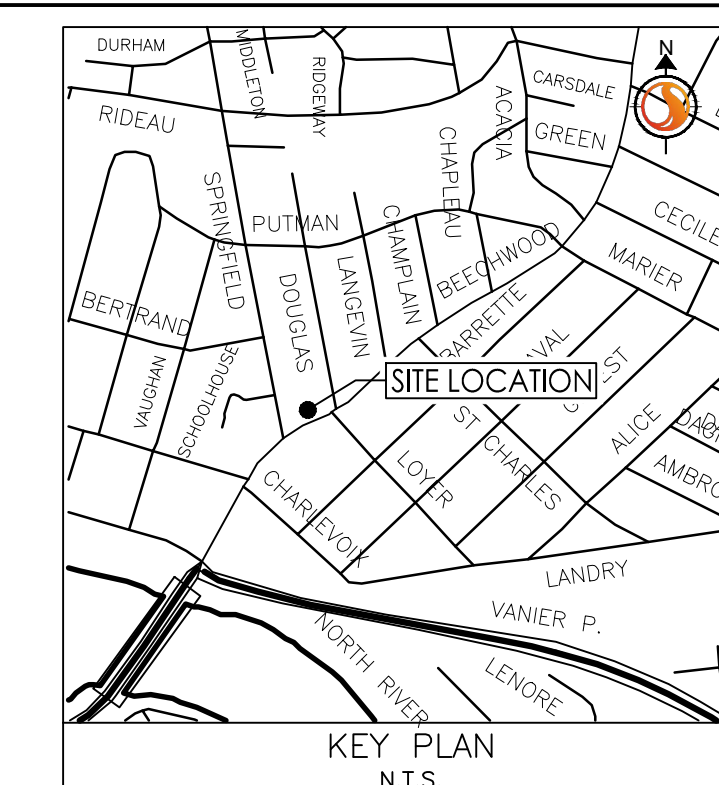


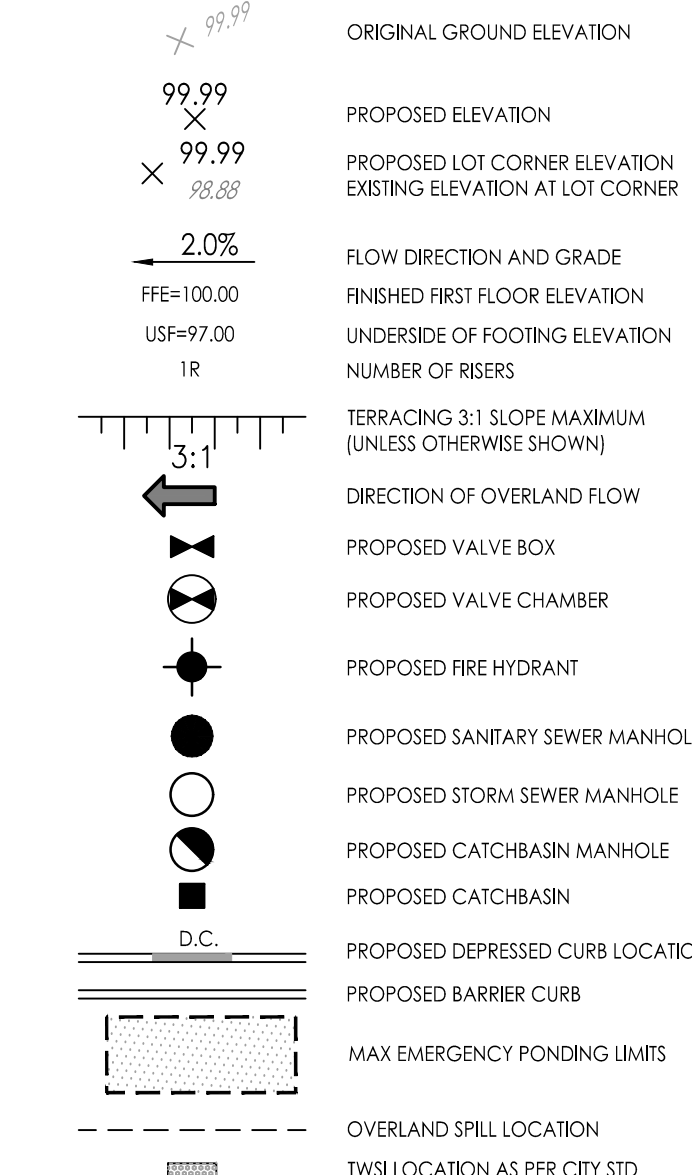


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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  
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Legend



SITE GRADING

1. ALL GRANULAR BASE & SUB-BASE COURSE MATERIALS SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAX. DRY DENSITY.
2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOIL ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
3. INSPECTIONS, ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
4. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
6. EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
7. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTIONS AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW AND THE URBAN TREES CONSERVATION BY-LAW AS AMENDED FROM TIME TO TIME.
8. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
9. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
10. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
11. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
12. UNDERSIDE-OF-FOOTING TO HAVE MINIMUM COVER OF 1.5m, WHERE SUFFICIENT COVER IS NOT PROVIDED, FOOTINGS ARE TO BE INSULATED TO PROVIDED EQUIVALENT INSULATION.
13. ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, APPROVED, AND STAMPED BY STRUCTURAL ENGINEER.
14. FENCES OR RAILINGS ARE REQUIRED FOR RETAINING WALLS GREATER THAN 0.40m IN HEIGHT.
15. TOPOGRAPHIC SURVEY SUPPLIED BY ANNE, OUSLIJAN, VOLLEBEK LTD. DATED JULY 21, 2022 - FILE NO. 21948-21.
16. BENCHMARK: FIRE HYDRANT TOP OF SPINDLE EAST OF DOUGLAS AVENUE WITH AN ELEVATION OF 38.00m. ELEVATIONS ARE GEODETIC AND REFERRED TO COUNTRY GEODETIC DATUM, DERIVED FROM CITY OF OTTAWA BENCHMARK NO. CTT-107 WITH AN ELEVATION OF 71.9454.
17. PAVEMENT CONSTRUCTION AS PER GEOTECHNICAL INVESTIGATION BY PATERSON GROUP PG6468-1 DATED JANUARY 13, 2023.

**AREAS SUBJECT TO CAR PARKING ONLY**  
50mm WEAR COURSE - HL-8 OR SUPERPAVE 12.5 ASPHALTIC CONCRETE  
150mm BASE - OPSS GRANULAR A CRUSHED STONE  
300mm SUBBASE - OPSS GRANULAR B TYPE II

**ACCESS LANES AND HEAVY TRUCK PARKING AREAS**  
40mm WEAR COURSE - HL-8 OR SUPERPAVE 12.5 ASPHALTIC CONCRETE  
50mm BINDER COURSE - HL-8 OR SUPERPAVE 19.0 ASPHALTIC CONCRETE  
150mm BASE - OPSS GRANULAR A CRUSHED STONE  
450mm SUBBASE - OPSS GRANULAR B TYPE II  
SUBGRADE - UNDISTURBED NATIVE SOIL OR OPSS GRANULAR B TYPE II OR III MATERIAL

Notes

NO.	REVISION	BY	DATE
4	REVISED ROAD GEOMETRY	WJ	DT 24.09.18
3	REVISED PER CITY COMMENTS	WJ	DT 24.08.13
2	REVISED PER CITY COMMENTS	WJ	DT 24.05.27
1	ISSUED FOR REVIEW	TM	DT 23.06.12

NO.	REVISION	BY	DATE
1	ISSUED FOR REVIEW	TM	DT 23.06.12

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Permit-Seal

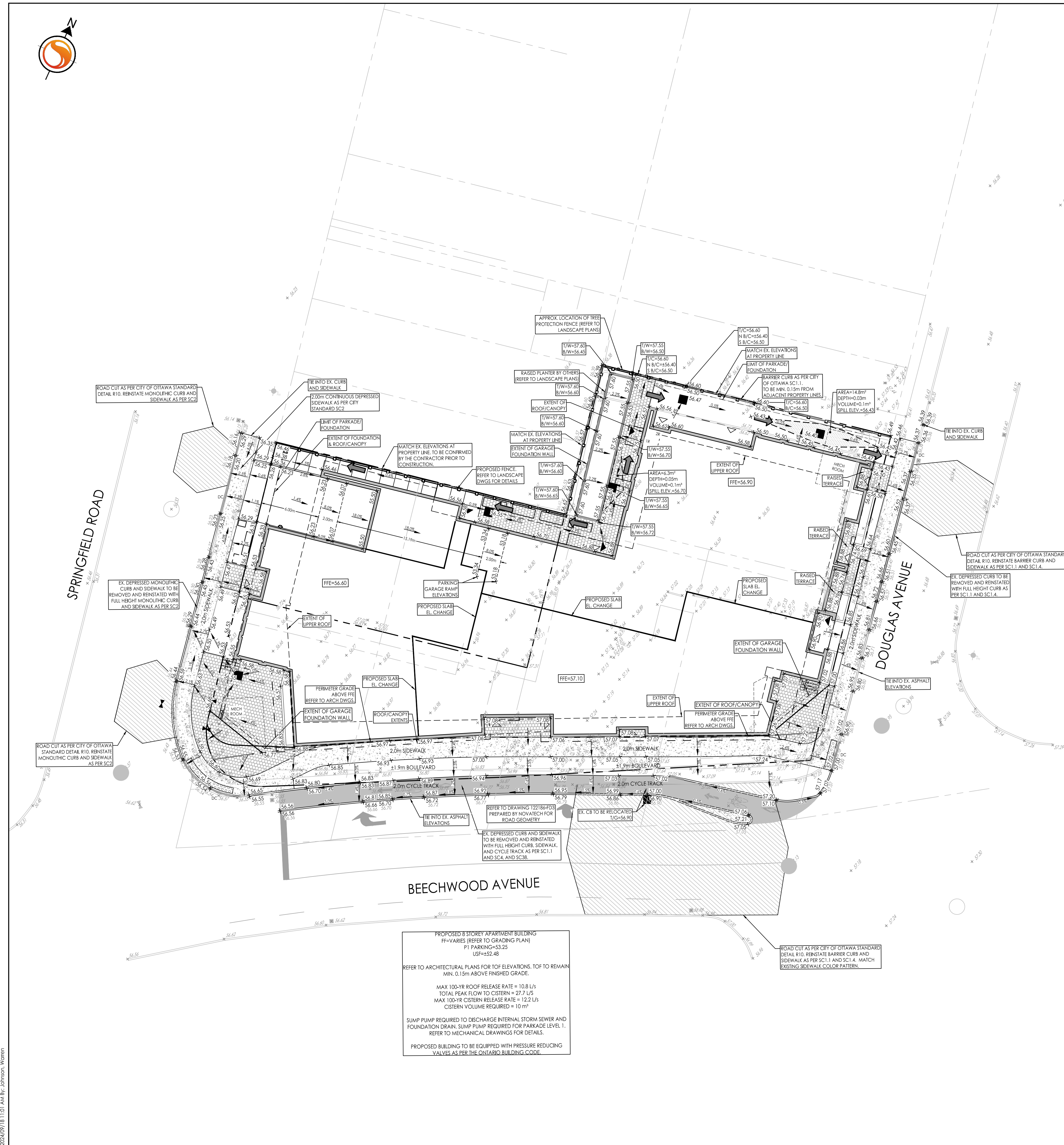
Client/Project  
Project I Studio

47 BEECHWOOD AVENUE  
OTTAWA, ONTARIO, CANADA

Title  
GRADING PLAN

Project No. 160401784  
Drawing No. GP-1  
Scale 1:200  
Sheet 3 of 6  
Revision 4

Project No. 160401784  
Drawing No. GP-1  
Scale 1:200  
Sheet 3 of 6  
Revision 4  
PLN # 19043



PROPOSED 3 STOREY APARTMENT BUILDING  
FF=VARIES (REFER TO GRADING PLAN)  
P1 PARKING=53.25  
USF=152.48

REFER TO ARCHITECTURAL PLANS FOR TOP ELEVATIONS, TOP TO REMAIN MIN. 0.15m ABOVE FINISHED GRADE.

MAX 100-YR ROOF RELEASE RATE = 10.8 L/S  
TOTAL PEAK FLOW TO CISTERN = 27.7 L/S  
MAX 100-YR CISTERN RELEASE RATE = 12.2 L/S  
CISTERN VOLUME REQUIRED = 10 m<sup>3</sup>

SUMP PUMP REQUIRED TO DISCHARGE INTERNAL STORM SEWER AND FOUNDATION DRAIN. SUMP PUMP REQUIRED FOR PARKADE LEVEL 1. REFER TO MECHANICAL DRAWINGS FOR DETAILS.

PROPOSED BUILDING TO BE EQUIPPED WITH PRESSURE REDUCING VALVES AS PER THE ONTARIO BUILDING CODE.

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