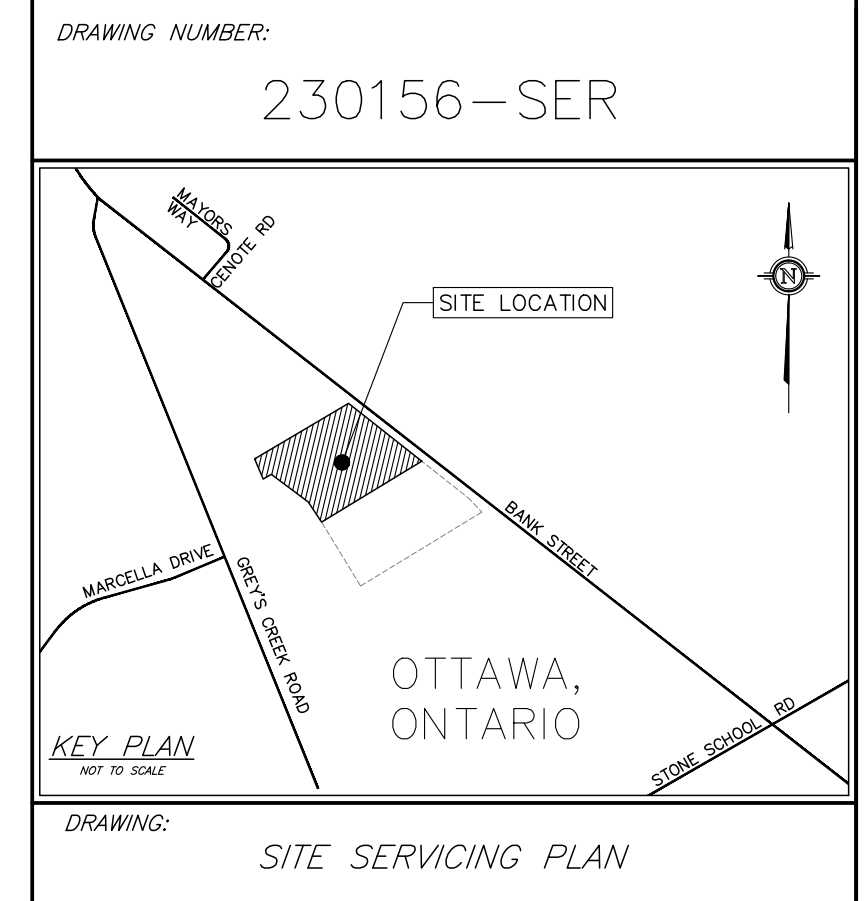


GENERAL LEGEND

| | |
|--|------------------------------|
| | EXISTING ELEVATION |
| | PROPOSED/EXISTING ELEVATIONS |
| | DRAINAGE SLOPE |
| | CENTRELINE OF ROAD |
| | EDGE OF ROAD |
| | TOP OF SLOPE |
| | PROPERTY LINE |
| | OVERHEAD WIRE |
| | EDGE OF TREES |
| | PROPOSED FENCE |
| | LIMITING DISTANCE |
| | DIRECTION OF FLOW |
| | BUILDING ENTRANCE LOCATION |
| | EXISTING HYDRO POLE |
| | EXISTING WELL |
| | PROPOSED BOLLARD |
| | STONE TRAFFIC BARRIER |
| | TEMPORARY BENCHMARK |
| | BASE OF CURB/TOP OF CURB |



- GENERAL NOTES:**
- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
 - GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042.
 - TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
 - THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-25595. (SHIPMAN SURVEYING FILE NUMBER: 10-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
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 - ANY CHANGES MADE TO THIS PLAN MUST BE VERIFIED AND APPROVED BY KOLLAARD ASSOCIATES, INC.
 - THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042 (LOCATION: 6844 BANK STREET, 22cm SE OF N CORNER, 9cm BELOW BRICKWORK, GEODETIC ELEVATION 92.813)

| REV | BY | DATE | DESCRIPTION |
|-----|-----|---------------|---------------------------------|
| 2 | ARK | OCT 02, 2024 | NO CHANGES TO THIS SHEET |
| 1 | ARK | SEPT 04, 2024 | NO CHANGES TO THIS SHEET |
| 0 | ARK | JULY 31, 2024 | SUBMITTED FOR SITE PLAN CONTROL |

Kollaard Associates Engineers

P.O. BOX 189, 210 PRESCOTT ST. (613) 860-0923
KEMPVILLE, ONTARIO info@kollaard.ca
KOG 1J0 FAX (613) 258-0475
http://www.kollaard.ca

CONSULTANTS:

H.A.KEN SHIPMAN SURVEYING LTD. P.O. BOX 53, NORTH GOMER, ONT. K0A 2T0
JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS
188 BROADVIEW AVE., OTTAWA, ONT. K1P 4E1
CASTLEGLENN CONSULTANTS Engineers, Project Managers & Planners
2460 LANSBORO ROAD, OTTAWA, ON K1B 4S5
(613) 837-7123

CLIENT: CAMM WAREHOUSING AND RENTALS INC.

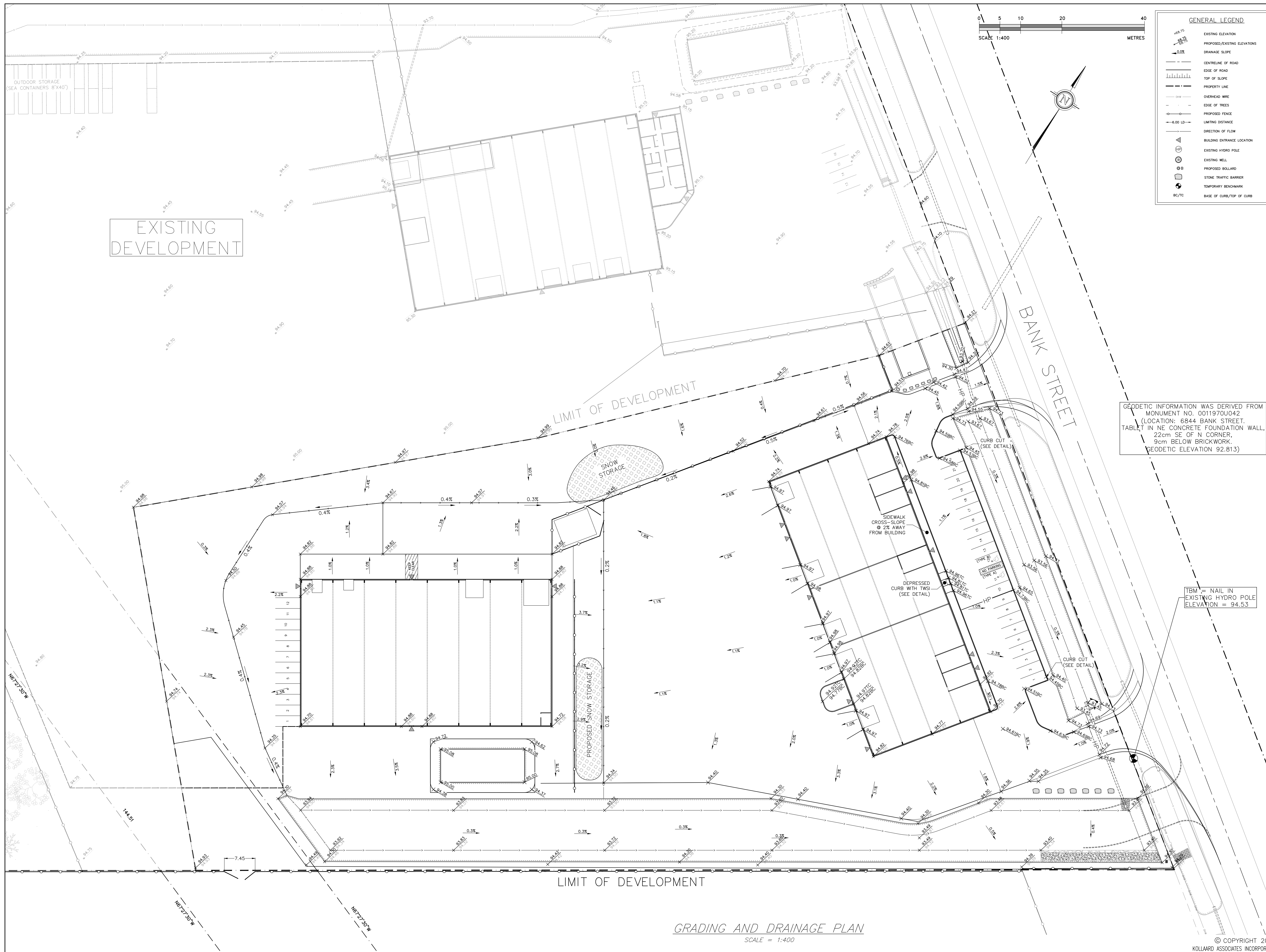
PROJECT: PROPOSED WAREHOUSE WITH OFFICE

LOCATION: 6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK CHECKED BY: SD
DRAWN BY: ARK APPROVED BY: SD
DATE: JULY 31, 2024
SCALE: AS NOTED
PROJECT NUMBER: 230156

PROFESSIONAL ENGINEER
OCT 02, 2024
S. E. deWit
100079612
PROVINCE OF ONTARIO

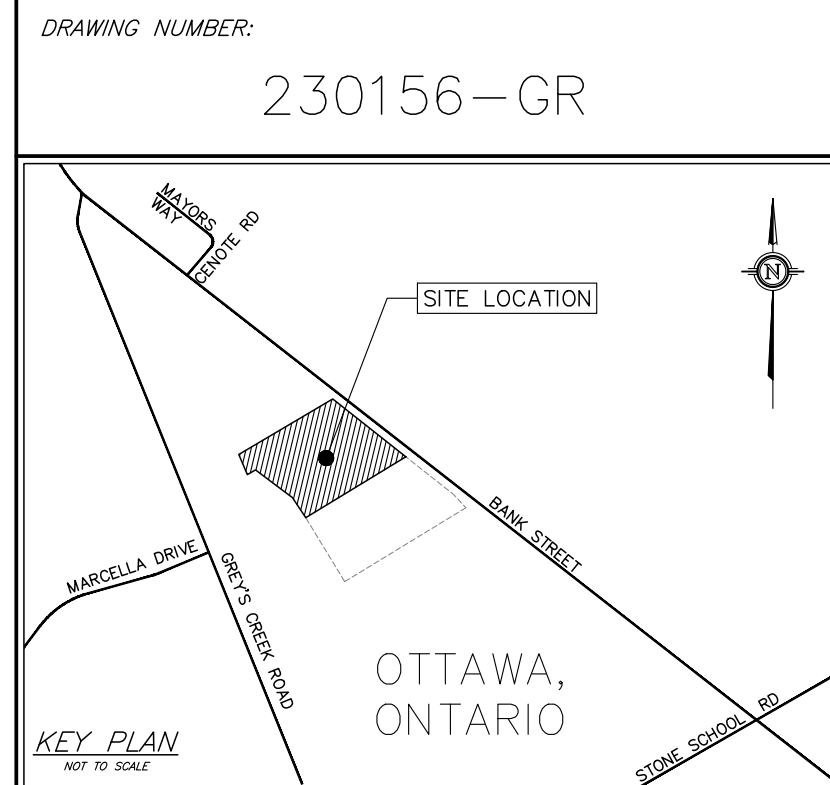
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SCALE 1:400
METRES

GENERAL LEGEND

| | |
|--|------------------------------|
| | EXISTING ELEVATION |
| | PROPOSED/EXISTING ELEVATIONS |
| | DRAINAGE SLOPE |
| | CENTRELINE OF ROAD |
| | EDGE OF ROAD |
| | TOP OF SLOPE |
| | PROPERTY LINE |
| | OVERHEAD WIRE |
| | EDGE OF TREES |
| | PROPOSED FENCE |
| | LIMITING DISTANCE |
| | DIRECTION OF FLOW |
| | BUILDING ENTRANCE LOCATION |
| | EXISTING HYDRO POLE |
| | EXISTING WELL |
| | PROPOSED WELL |
| | STONE BOLLARD |
| | STONE TRAFFIC BARRIER |
| | TEMPORARY BENCHMARK |
| | BC/TC |



DRAWING: GRADING AND DRAINAGE PLAN

- GENERAL NOTES:
- ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED; ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
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 - THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042 (LOCATION: 6844 BANK STREET, TABLET IN NE CONCRETE FOUNDATION WALL, 22cm SE OF N CORNER, 9cm BELOW BRICKWORK, GEODETIC ELEVATION 92.813)

| REV | BY | DATE | DESCRIPTION |
|-----|-----|---------------|------------------------------|
| 2 | ARK | OCT 02, 2024 | NO CHANGES TO THIS SHEET |
| 1 | ARK | SEPT 04, 2024 | NO CHANGES TO THIS SHEET |
| 0 | ARK | JULY 31, 2024 | ISSUED FOR SITE PLAN CONTROL |

Kollaard Associates Engineers

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KEMPTVILLE, ONTARIO
K0G 1J0 FAX (613) 258-0475
http://www.kollaard.ca info@kollaard.ca

CONSULTANTS:

HAKEN SHIPMAN SURVEYING LTD. JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS

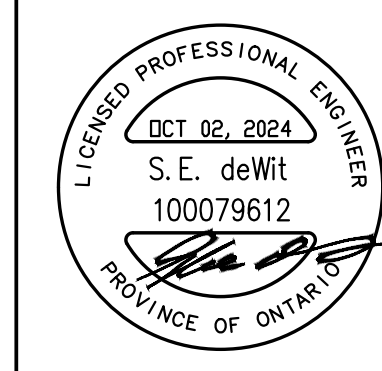
URBAN PLANNING CONSULTING PROJECT MANAGEMENT Castleglenn Consultants

CLIENT: CAMM WAREHOUSING AND RENTALS INC.

PROJECT: PROPOSED WAREHOUSE WITH OFFICE

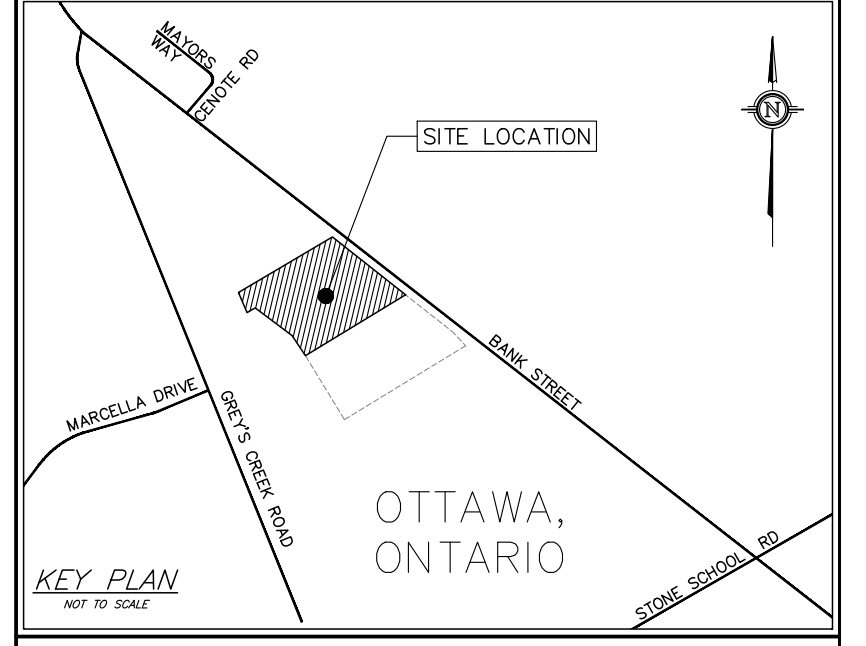
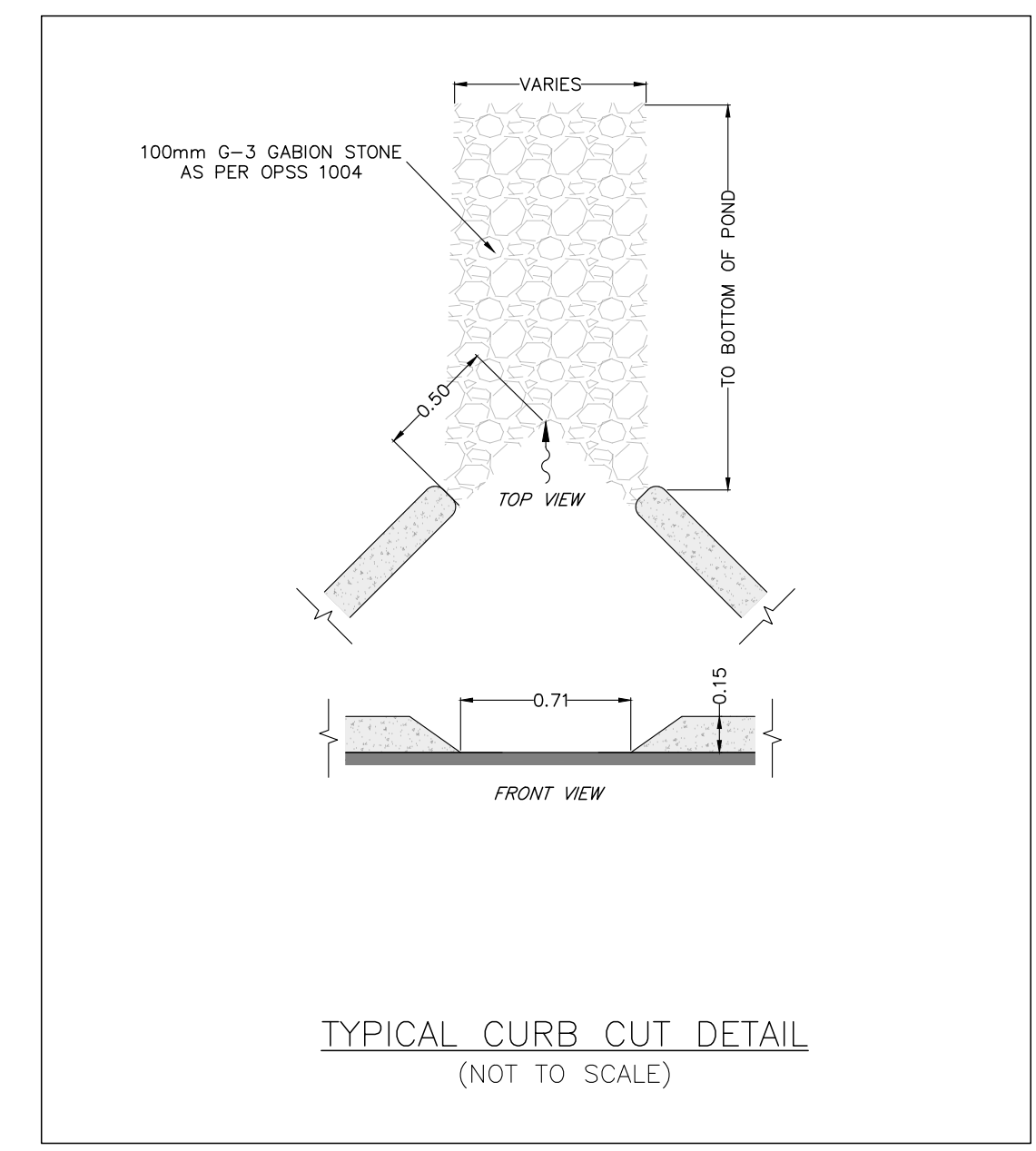
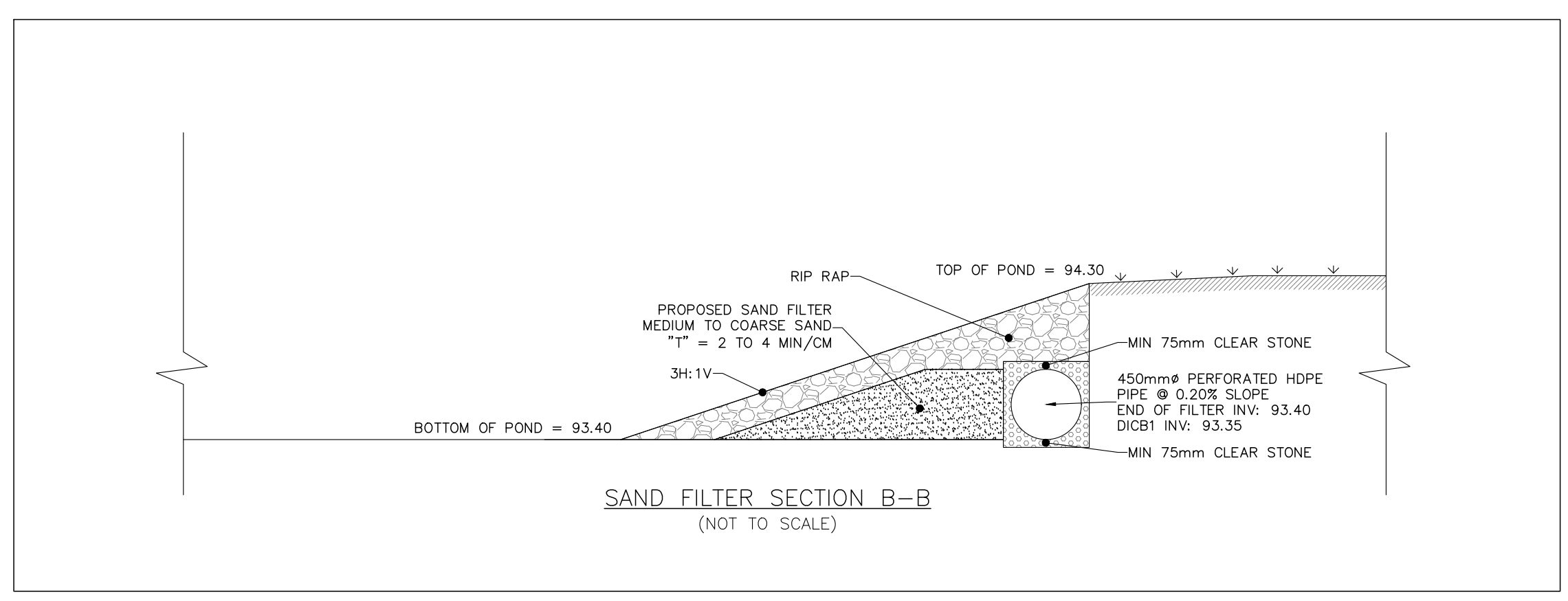
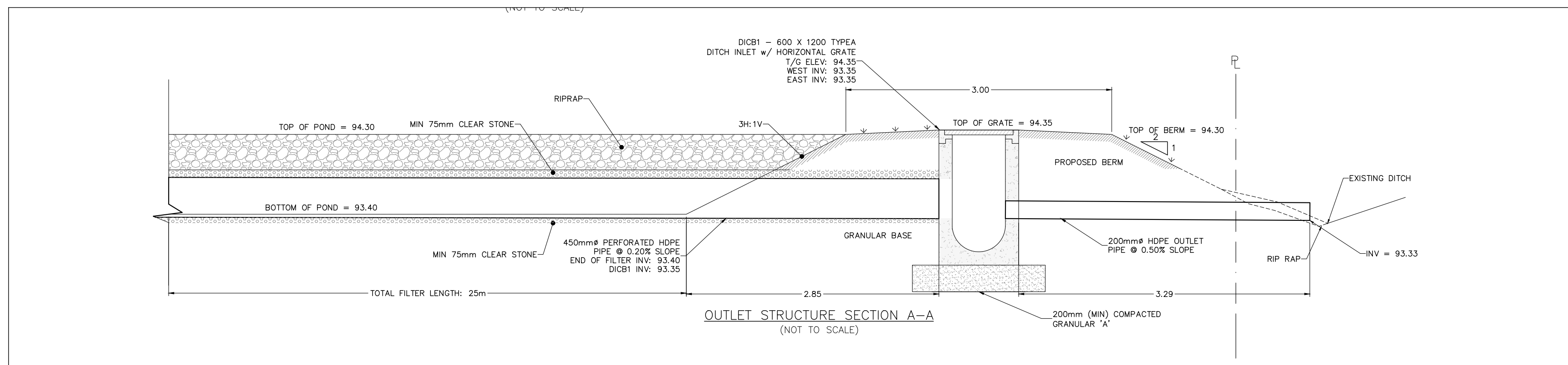
LOCATION: 6622 BANK STREET, OTTAWA, ON

| | |
|------------------------|-----------------|
| DESIGNED BY: ARK | CHECKED BY: SD |
| DRAWN BY: ARK | APPROVED BY: SD |
| DATE: JULY 31, 2024 | |
| SCALE: AS NOTED | |
| PROJECT NUMBER: 230156 | |



GRADING AND DRAINAGE PLAN
SCALE = 1:400

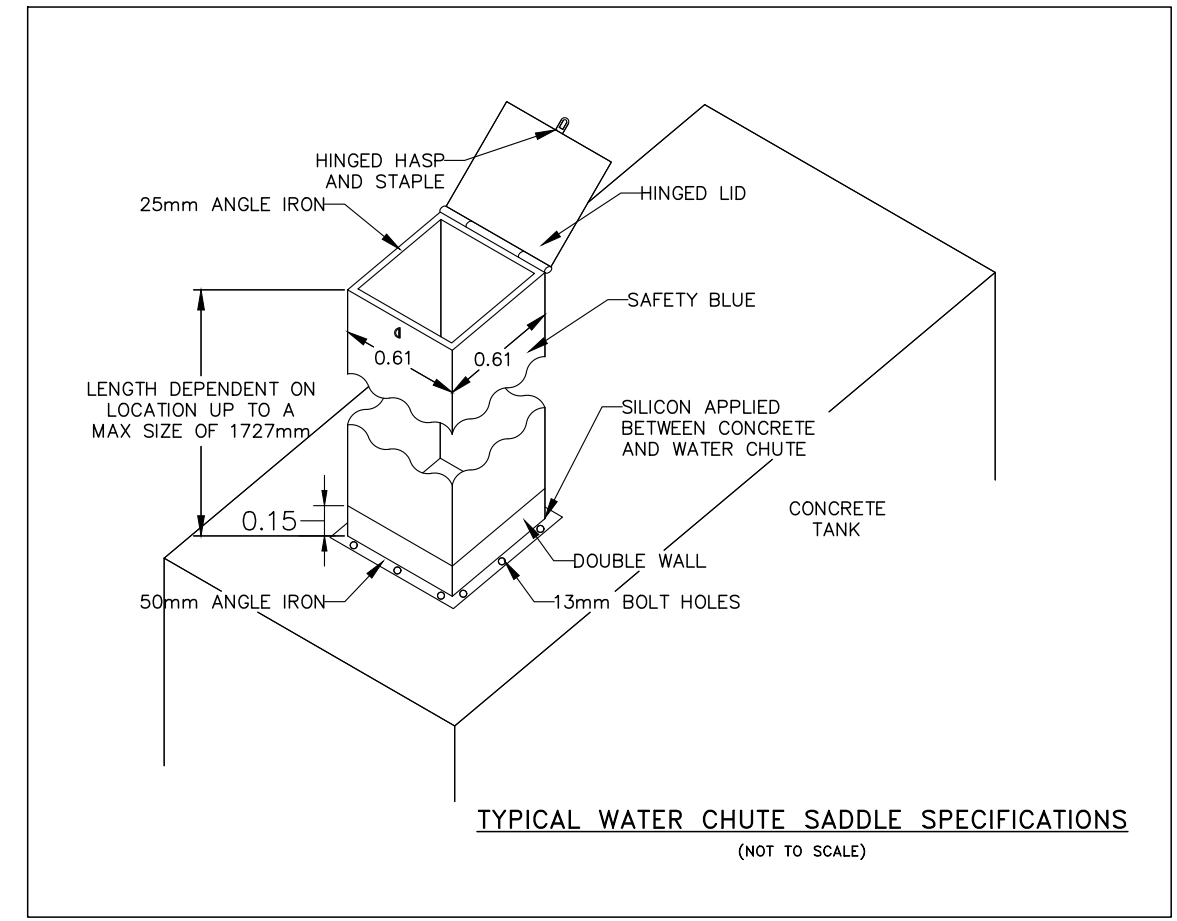
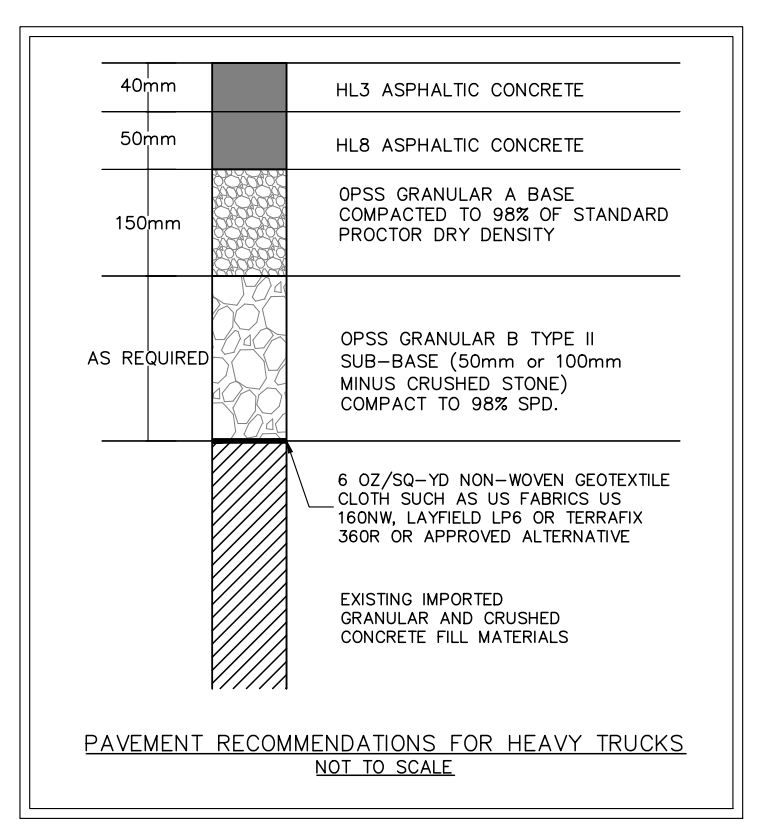
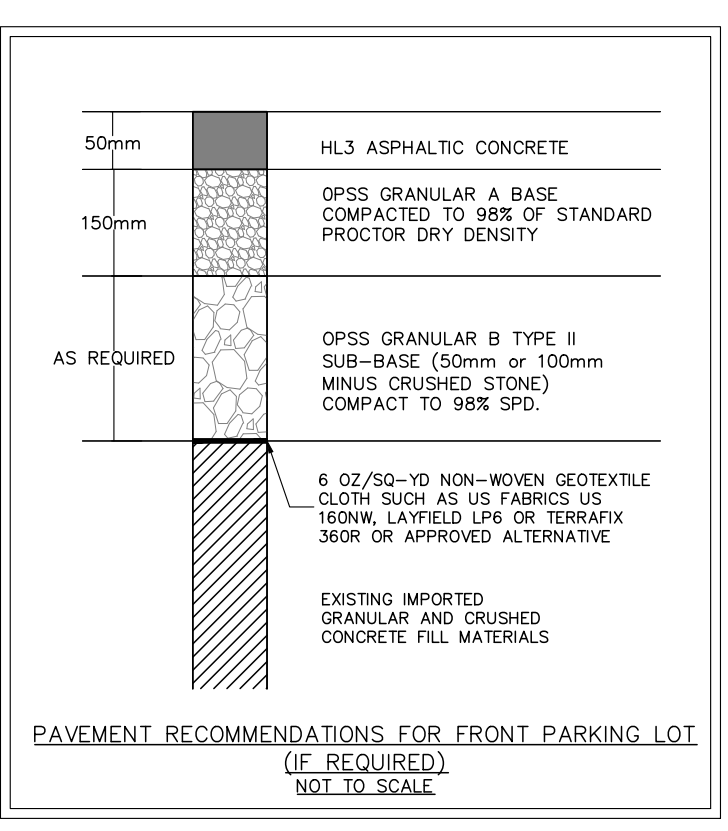
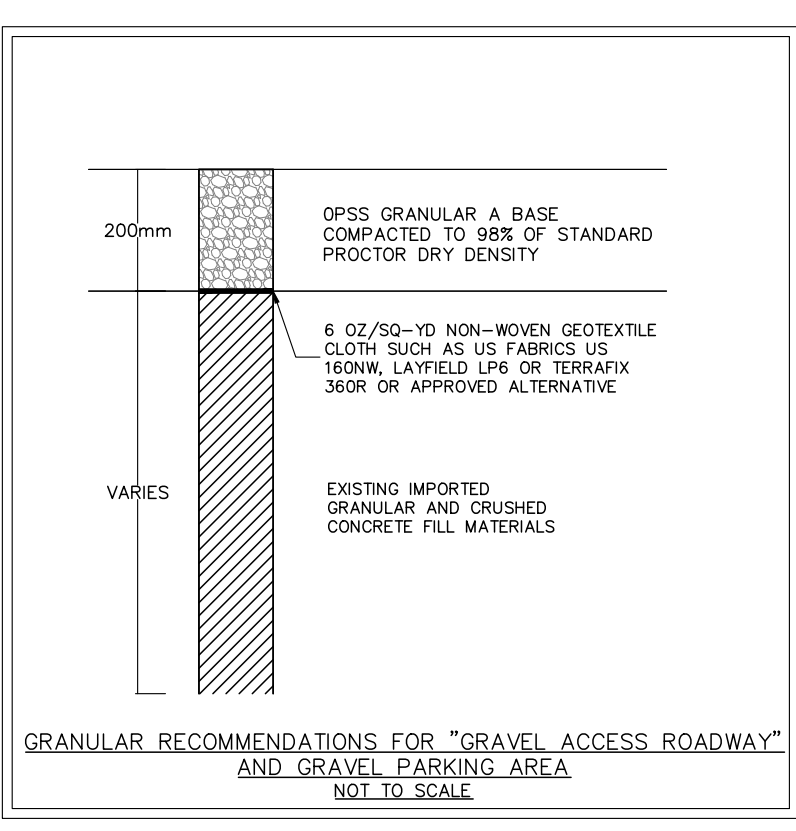
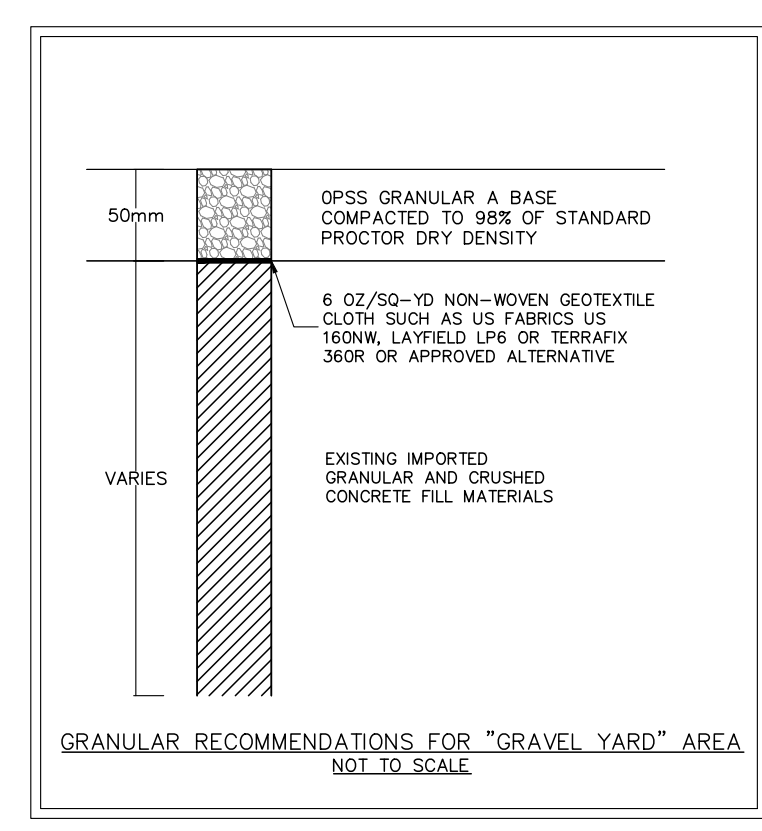
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DRAWING: DETAILS

- GENERAL NOTES:
1. ALL DIMENSIONS ARE IN METRES, UNLESS OTHERWISE SPECIFIED; ALL ELEVATIONS ARE IN METRES AND ARE GEODETIC.
 2. GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042.
 3. TBM = NAIL IN EXISTING HYDRO POLE. ELEVATION = 94.53.
 4. THIS IS NOT A LEGAL SURVEY. BOUNDARY INFORMATION WAS DERIVED FROM PLAN 4R-25595. (SHIPMAN SURVEYING FILE NUMBER: 10-7-9718; HORIZONTAL DATUM: MTM ZONE 9, NAD 83)
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 13. THIS DRAWING IS PART OF KOLLAARD ASSOCIATES DESIGN REPORTS #230156.

| REV | BY | DATE | DESCRIPTION |
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| 1 | ARK | SEPT 04, 2024 | NO CHANGES TO THIS SHEET |
| 0 | ARK | JULY 31, 2024 | SUBMITTED FOR SITE PLAN CONTROL |



Kollaard Associates Engineers
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 KEMPTVILLE, ONTARIO info@kollaard.ca
 K0G 1J0 FAX (613) 258-0475
 http://www.kollaard.ca

CONSULTANTS:

HAKEN SHIPMAN SURVEYING LTD.
 P.O. BOX 53, NORTH GOWER, ONT. N0A 2T0

JAMES B. LENNOX & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS
 1000 GERRARD ST. E. #100, SCARBOROUGH, ONT. M1S 1B7
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URBAN PLANNING CONSULTANTS PROJECT MANAGEMENT
 128 HURON ST. SUITE 200, OTTAWA, ONT. K1P 1H8
 TEL: (613) 733-1100 FAX: (613) 733-1101

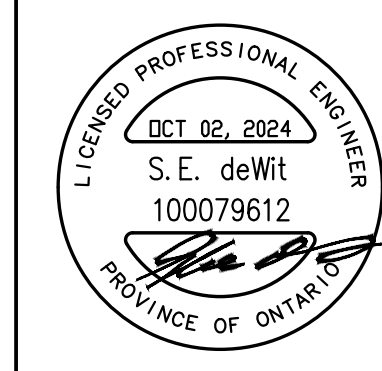
Castleglenn Consultants
 Civil, Mechanical, Electrical & Plumbing
 2465 Lancaster Road, Ottawa, ON K1B 4S5
 TEL: (613) 751-4552 / (613) 751-4553

CLIENT:
 CAMM WAREHOUSING AND RENTALS INC.

PROJECT:
 PROPOSED WAREHOUSE WITH OFFICE

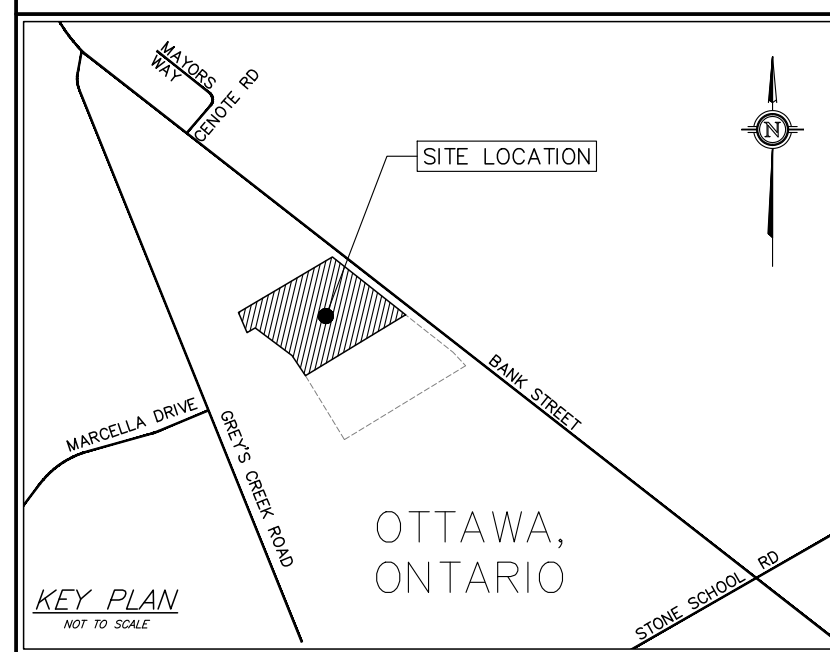
LOCATION:
 6622 BANK STREET, OTTAWA, ON

DESIGNED BY: ARK
 CHECKED BY: SD
 DRAWN BY: ARK
 APPROVED BY: SD
 DATE: JULY 31, 2024
 SCALE: DETAILS
 PROJECT NUMBER: 230156-DET



0 5 10 20 40
SCALE 1:500 METRIC

DRAWING NUMBER:
230156-ESC



DRAWING:
EROSION AND SEDIMENT CONTROL PLAN

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
2. THE CONTRACTOR AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN AT LEAST EQUAL TO THE STATED MINIMUM REQUIREMENTS AND TO THE SATISFACTION OF THE CITY OF OTTAWA, APPROPRIATE TO THE SITE CONDITIONS. PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
3. ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL SITE WORKS ARE COMPLETE.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES DURING CONSTRUCTION. INSPECTION IS TO BE CARRIED OUT ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL OR SNOWMELT EVENT. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF THE MEASURES ONCE DEVELOPMENT IS COMPLETE AND THE VEGETATION IS ESTABLISHED.
5. THE CONTRACTOR IS TO ENSURE THAT THE SITE ACCESS POINTS AND STREETS ADJACENT TO THE ACCESS POINTS ARE MAINTAINED AND KEPT CLEAN OF CONSTRUCTION MATERIALS SUCH AS, BUT NOT LIMITED TO MUD, DIRT, CLAY AND GRANULARS ON A DAILY BASIS OR AS NECESSARY, TO THE SATISFACTION OF THE CITY OF OTTAWA. A MUD MAT IS TO BE UTILIZED AT ANY LOCATION WHERE THE SITE IS ACCESSED FOR CONSTRUCTION.
6. EVERY EFFORT WILL BE MADE TO ENSURE THAT ALL DISTURBED AREAS ARE TOPSOILED AND SEEDED AS SOON AS REASONABLY POSSIBLE.
7. THE SEDIMENT AND EROSION CONTROL PLAN IS A LIVING DOCUMENT WHICH MAY BE AMENDED BY ONSITE REQUIREMENTS AT THE APPROVAL OF THE MUNICIPALITY AND THE CONSERVATION AUTHORITY.

GEODETIC INFORMATION WAS DERIVED FROM MONUMENT NO. 0011970U042 (LOCATION: 6844 BANK STREET, 22cm SE OF N CORNER, 9cm BELOW BRICKWORK, GEODETIC ELEVATION 92.813)

TBM = NAIL IN EXISTING HYDRO POLE ELEVATION = 94.53

EXISTING DEVELOPMENT
CA1 (PREV SPC)
1.953
N/A

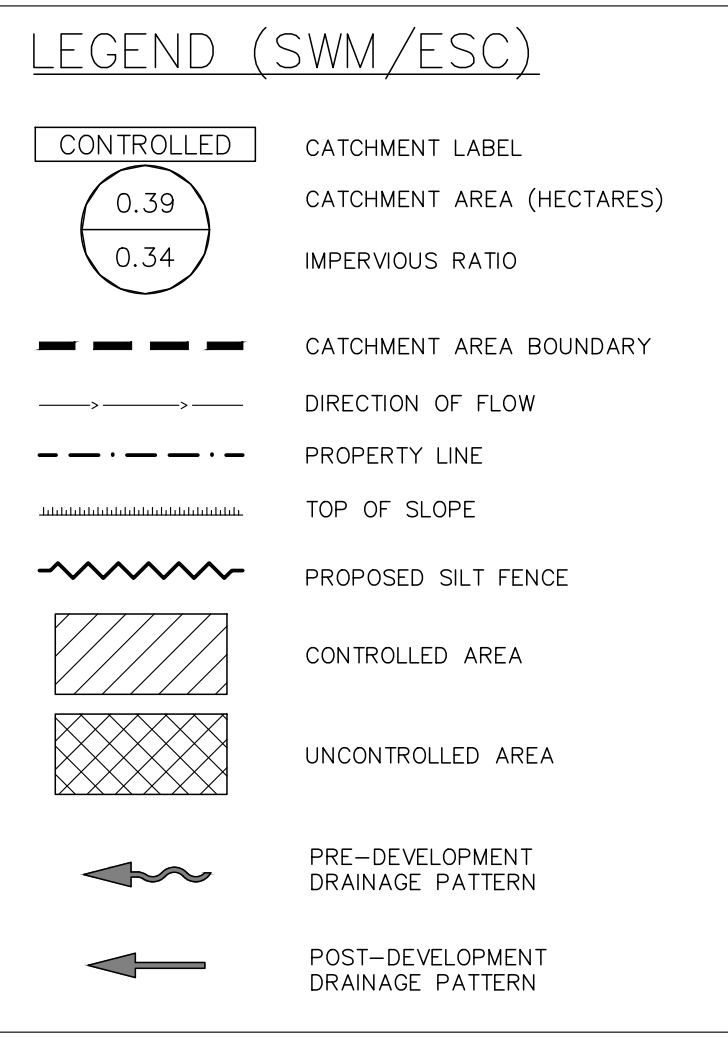
CA2 - PRE
3.578
0.25

APPROXIMATE LOCATION OF SILT FENCE (SEE NOTE)

TYPICAL MUD MAT INSTALLATION (SEE DETAIL/NOTE)

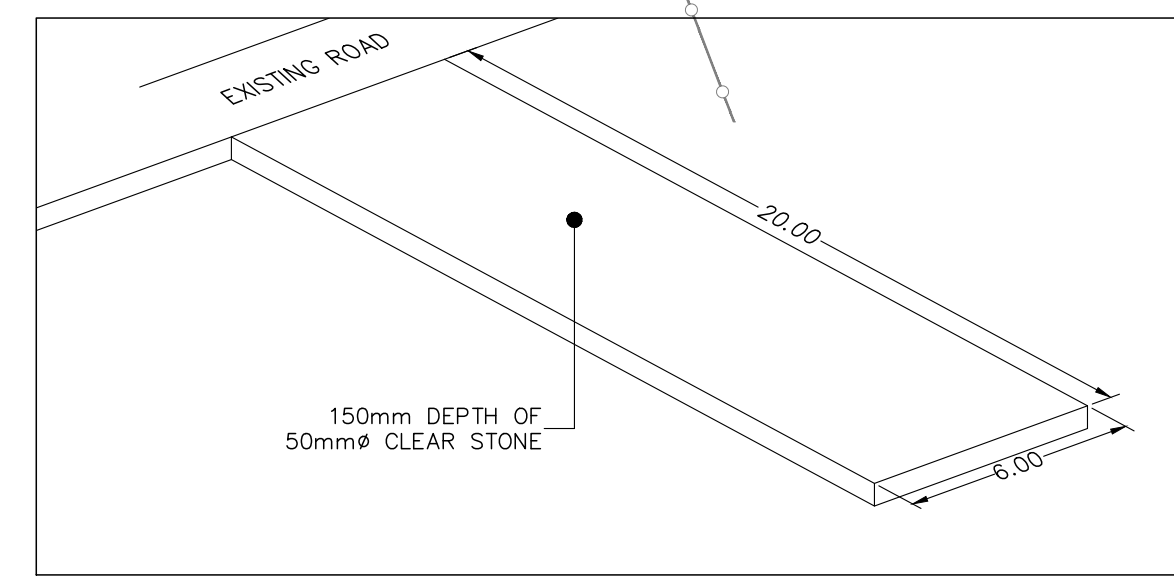
LIMIT OF DEVELOPMENT

LIMIT OF DEVELOPMENT



- MINIMUM EROSION AND SEDIMENT CONTROL PLAN REQUIREMENTS:**
- TIME THE DEMOLITION AND EXCAVATION ACTIVITIES SO THAT THEY OCCUR NO SOONER THAN IS NECESSARY FOR SUBSEQUENT CONSTRUCTION ACTIVITIES.
 - LANDSCAPE THE SITE AS SOON AS PRACTICALLY POSSIBLE.
 - USE SILT FENCES AROUND ANY STOCKPILES OF SOIL.
 - PRIOR TO CONSTRUCTION, SILT FENCE BARRIERS (OPSD 219.110) WILL BE PLACED AS SHOWN ON THE DRAWING.
 - IF CONSTRUCTION IS PHASED, SILT FENCES TO BE PLACED AROUND ACTIVE CONSTRUCTION ZONES.
 - THE SILT FENCE SHOULD BE REMOVED ONLY WHEN THE SITE IS STABILIZED.

EROSION AND SEDIMENT CONTROL PLAN
SCALE = 1:500



MUD MAT DETAIL
NOT TO SCALE

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| REV | BY | DATE | DESCRIPTION |
|-----|-----|---------------|---------------------------------|
| 2 | ARK | OCT 02, 2024 | REVISED AS PER CITY MEMO |
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CONSULTANTS:

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JAMES R. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS P.O. BOX 110, BRANTFORD, ONT. N3S 1G6

Urban Planning, Consulting, Project Management

Castleglenn Consultants 2865 Lancaster Road, Ottawa, ON K1B 4S5 (416) 837-7511

CLIENT:
CAMM WAREHOUSING AND RENTALS INC.

PROJECT:
PROPOSED WAREHOUSE WITH OFFICE

LOCATION:
6622 BANK STREET, OTTAWA, ON

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LICENSED PROFESSIONAL ENGINEER
OCT 02, 2024
S.E. deWit
100079612
PROVINCE OF ONTARIO