| UNIT MIX/ FLOOR | ВАСН | ELOR | 1 BI | ORM | | ORM EN | 2 BE | DRM | | DRM EN | | DRM EN | то | TAL | TOTAL |
|---------------------------|------------|-----------|------------|-----------|-----------|-----------|------------|-----------|-------|-----------|------|-----------|-------------|------------|-------------|
| UNIT AREA | (40-5 | 2m2) | (76-8 | 0m2) | (76-8 | 0m2) | (103-1 | 13m2) | (82-8 | 34m2) | (121 | .9m2) | | | |
| | | B.F. | | B.F. | | B.F. | | B.F. | | B.F. | | | | B.F. | |
| LEVEL 1 | 7 | 1 | 2 | 0 | 1 | 0 | 1 | 1 | 2 | 0 | 0 | 0 | 13 | 2 | 15 |
| LEVEL 2 | 9 | 1 | 3 | 0 | 1 | 0 | 3 | 0 | 2 | 0 | 0 | 0 | 18 | 1 | 19 |
| LEVEL 3 | 8 | 2 | 3 | 0 | 1 | 0 | 3 | 0 | 2 | 0 | 0 | 0 | 17 | 2 | 19 |
| LEVEL 4 | 7 | 2 | 3 | 1 | 1 | 0 | 3 | 1 | 0 | 0 | 0 | 0 | 14 | 4 | 18 |
| LEVEL 5 -8 (X4 floors) | 8 X4=32 | 1 X4=4 | 3 X4=12 | 1 X4=4 | 1 X4=4 | 0 | 3 X4=12 | 1 X4=4 | 0 | 0 | 0 | 0 | 15 X4=60 | 3 X4=12 | 18 X4=72 |
| LEVEL 9 | 4 | 2 | 3 | 1 | 1 | 0 | 4 | 0 | 0 | 0 | 0 | 0 | 12 | 3 | 15 |
| PENTHOUSE LEVEL | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 | 0 | 2 |
| TOTAL | 67 | 12 | 26 | 6 | 9 | 0 | 26 | 6 | 7 | 0 | 1 | 0 | 136 | 24 (15%) | 160 |
| TOTAL | 7 | 9 | 3 | 2 | 9 | 9 | 3 | 2 | • | 7 | ı | 1 | 1 | 60 | 160 |

| | BUILDING AREAS | | | | | | | | |
|---|--|--|---|---|--|--|--|--|--|
| | GROSS FLOOR AREA AS PER O.B.C. | GROSS FLOOR AREA AS PER CITY DEF. | BALCONIES | TERRACES | | | | | |
| GROUND FLOOR AREA | 1,224.7 m² | 818.8 m² | 11.37 m² | 101.83 m² | | | | | |
| 2ND & 3RD FLOOR AREA (X2 STOREYS) | (1,230 m ² X2 =) 2,460 m ² | (1,019.04 m ² X2 =) 2460 m ² | (17.30m ² X2 =) 34.60m ² | - | | | | | |
| 4TH FLOOR AREA | 1,135.57 m² | 942.00 m² | 39.47 m² | 42.66 m² | | | | | |
| TYPICAL FLOOR AREA (5TH - 8TH) (X4 STOREYS) | (1,135.57 m ² X4 =) 4,542.28 m ² | (942.0 m² X4 =) 3,768.0 m² | (45.6 m ² X 4 floors=) 182.4m ² | - | | | | | |
| 9TH FLOOR AREA | 1,031.43 m² | 844.08 m² | - | 117.23 m² | | | | | |
| PENTHOUSE FLOOR AREA | 480 m² | 204.74 m² | - | 512.7 m² (42.7 private+ 470 Communal) | | | | | |
| ELEVATOR MECHANICAL ROOM FLOOR AREA | 54.77 m² | 0.00 m² | - | - | | | | | |
| GROSS AREA (Excludes area below grade) | 10,928.75 m² (117,636.01 ft²) | 8,615.7 m² (92,738.623 ft²) | 267.84 m² | 774.42 m² | | | | | |
| AMENITIES (Balconies and Terraces) | | | 1,042.26 m² (Including 470 | m² communal) | | | | | |
| AMENITIES on the ground floor of the existing building) | 123.6 m² Fitness R | loom (Communal) | | | | | | | |
| SUM AMENITIES | 1,165.86 m² (Including 593.6 m² communal) | | | | | | | | |

| UNDERGROUND PARKII | NG GARAGE L1 | 1573.36 m² | 0.00 m² | | | | | | | |
|--------------------|--|----------------------|--------------------------------------|-----------------|--------------------------------|----------|--|--|--|--|
| UNDERGROUND PARKII | NG GARAGE L2 | 1549.00 m² | 0.00 m² | | | | | | | |
| | | City of | y of Ottawa Zoning By-Law 2008-250 | | | | | | | |
| | ZONING | MECHANISM | REQUIRED /PERMITTED | RELIEF REQ'D | PROPOSED | | | | | |
| | MIN. LOT AREA (H | IGH-RISE REGULATION) | | 3,292 m² | | | | | | |
| | MIN. LOT W | /IDTH (BELL ST.) | | 55.91 m² | | | | | | |
| | MIN. LOT DE | PTH (LOUISA ST.) | | | 58.86 m² | | | | | |
| | BUILDING HEIGHT SETBACKS (SIDE YARDS) | | 15 m (as per existing l1a zoning) | YES | 31 m (30.49m ACTUAL HEIGHT) | | | | | |
| | | | 3 m | YES | LOUISA ST. ARLINGTON ST. | 2m 2m | | | | |
| | | l l | | | | | | | | |

10 storeys + 1 (Elevator Mechine Room) floor

BELL ST.

7.2m to the existing building

802 m² (39.57 %)

AMENITIES

NUMBER OF STOREYS (above grade)

| Amenity Area for Residential Development (MIN.) | 6 m² for every Residential Unit = 960 m² | 1,165.86 m² |
|---|--|------------------|
| Amenity Area Provided as Commonal Space | MIN. $960 \text{ m}^2 \text{ x } 50\% = 480\text{m}^2$ | 593.6 m² (61.8%) |

3 m

7.2m - 7.5m

MIN. 30% (of developed land 2,026.7) = 608.01m²

LOT COVERAGE

| GROUND FLOOR AREA (New Proposed Building) | 1,224.7 m² |
|---|------------|
| LANDSCAPE AREA (HARD/SOFT) | 802 m² |
| TOTAL DEVELOPED AREA | 2,026.7 m² |
| UNDEVELOPED (Existing building) AREA | 840.43 m² |
| UNDEVELOPED WEST PARKING AREA PAVED ASPHALT | 414.46 m² |
| UNDEVELOPED WEST LANDSCAPE AREA (SOFT) | 10.41 m² |
| TOTAL LOT AREA | 3,292 m² |

VEHICLE PARKING CALCULATION

SETBACKS (FRONT YARD)

SETBACKS (REAR YARD)

LANDSCAPED AREA (%)

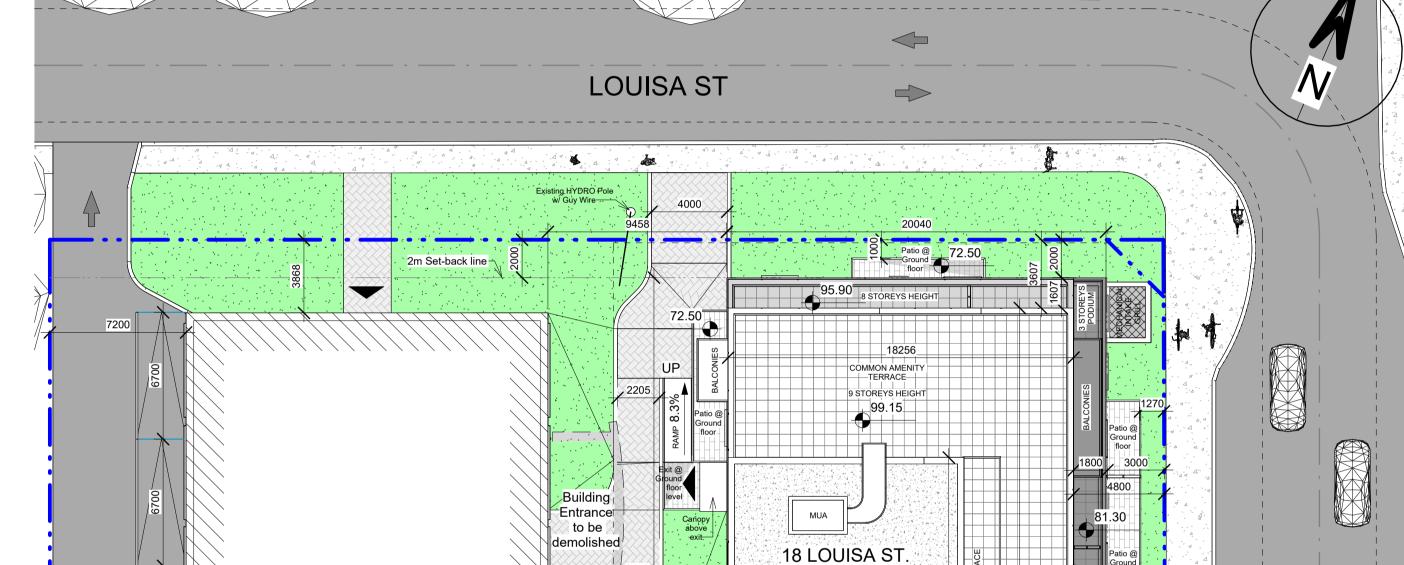
| Minimum req | uired parking spaces / use (S | ections 101, 1 | Total Parking Count Required (Including Shared Provisions) | | | | | |
|-----------------------|--|---------------------------------------|--|--|--|------------------------|--|--|
| USE | PARKING RATE | ATE GFA / UNIT PARKING | | | USE | Required Parking Count | | |
| OFFICE | 1 PER 100 m ² | 689 m² | 6.89 | | Office, Medical & Residential Visitor Shared | 40 | | |
| MEDICAL FACILITY | 0 for 200m² or less , on ground floor | 200 m² | 0 | | (see chart below) | 18 | | |
| NSTRUCTIONAL FACILITY | 0 for 200m² or less , on ground floor | 111 m² | 2 0 | | INSTRUCTIONAL FACILITY | 0 | | |
| VISITOR RESIDENTIAL | 0.1 / UNIT (non required for the first 12 units) | 148 Units 2 units) (160 - 12) 14.8 | | | RESIDENTIAL | 67 | | |
| RESIDENTIAL | 0.5 / UNIT (non required for the first 12 units) 10% of value to be reduced due to location of parking in underground garage | 148 Units (160 - 12) | 66.6 (74 - 10%) | | TOTAL REQUIRED | 85 | | |

| | | | Sh | ared Pa | arking l | Provisi | ons (Se | ection 1 | 04) | | | | | | | | |
|---------------------|---------------------------|----------------------|------|---------|----------|---------|---------|----------|--------|------|---------------------|------|------------------|------|-----------------------|------|---------------|
| USE | Required Parking Count | Weekday V Morning | | 1 | • | | • | | • | | Saturday Morning | | Saturday Noon | | Saturday Afternoon | | ırday ning |
| | (as per section 101) | % | Р | % | Р | % | Р | % | Р | % | Р | % | Р | % | Р | % | Р |
| OFFICE | 6.89 | 100% | 6.89 | 90% | 6.201 | 100% | 6.89 | 15% | 1.0335 | 20% | 1.378 | 20% | 1.378 | 10% | 0.689 | 5% | 0.3445 |
| VISITOR RESIDENTIAL | 14.8 | 50% | 7.4 | 50% | 7.4 | 75% | 11.1 | 100% | 14.8 | 100% | 14.8 | 100% | 14.8 | 100% | 14.8 | 100% | 14.8 |

| Total | 26.01 | | 14.29 | | 13.601 | 17.9 | 9 | 15.8335 | | 16.178 | | 16.178 | | 15.489 | | 15.1445 |
|-----------------|---|---|-------|-------------|--------|-------------|--------|------------|-------|---|--|-------------|--|--------|--|---------|
| ZONINO | | F | REQU | IIRED /PE | RMITTI | ED | | REL REC | . — . | PROPOSED | | | | | | |
| VEHICLE | | | | 85 | | | | | | | | 86 | | | | |
| | sta | ndard | space | e: Min: 2.6 | n wide | x 5.2m | long | | | AS REQUIRED | | | | | | |
| STANDARD PARKIN | up to 40% of residential 67 spaces = 26.8 can be reduced to 2.4m wide x 4.6m long | | | | | | | | | 12 spaces (18%) reduced to 2.4m wide x 5.2m long | | | | | | |
| | | | | Min: 2 | .6m v | vide x 6.7r | long (| paralle | 1) | | | AS REQUIRED | | | | |
| PARKING ACCESS | & ACCESS WIDTH | (MIN.) | 6 m | | | | | | | 6 m | | | | | | |
| BARRIER FR | | 4 Spaces total number of parking spaces is between 76 -100 | | | | | | | | 6 Spaces | | | | | | |
| BF PARKING S | | 2 spaces X 2.4m wide & 2 spaces X 3.4m wide Access aisle of min. 1.5m | | | | | | | | 4 spaces X 2.4m wide & 2 spaces X 3.4m wide Access aisle of min. 1.5m | | | | | | |

BICYCLE PARKING

| BICYCLE PARKING SPACE | Total: 84 Spaces Res: 0.5 space/ unit = 80 space Instructional Facility: 1 per 1,500 m2 = 0.2 space Medical Facility: 1 per 1,000 m2 = 0.2 space Office: 1 per 250 m2 = 3.8 space | 84 Spaces | |
|---|---|-----------|---|
| | Maximum 50% (42 spaces) within Landscaped Area | | 16 Surface spaces |
| ACCESS AISLE FOR BICYCLE PARKING | Minimum width: 1.5m | YES | 1.2 m |
| BICYCLE PARKING SPACE DESIGN (MIN.) | horizontal: 0.6m wideX1.8m long vertical: 0.5m wideX1.5m long | | horizontal: 0.6m wideX1.8m long vertical: 0.6m wideX1.5m long |
| Maximum Number of Vertical Bicycle Parking Spaces | 50% of required spaces = 42 | YES | (42.3%) 36 STACKED Spaces 0.6m wide X 1.8m long |
| | | | |



86 PARKING SPACES

8 SURFACE SPACES +78 UNDERGROUND (including 6 B.F. & 12 reduces)

84 BIKE SPACES (36 Stacked +48 Horizontal)

16 SURFACE SPACES (Horizontal) +68UNDERGROÙND (36 Stacked +32 Horizontal)



DO NOT SCALE DRAWINGS

CONSULTANT.

Revision

PROCEEDING WITH THE WORK.

CHECK AND VERIFY ALL DIMENSIONS BEFORE

THESE DRAWINGS HAVE BEEN DESIGNED IN COMFORMANCE WITH THE ONTARIO BUILDING

UNLESS STAMPED AND SIGNED BY THE

DRAWINGS NOT TO BE USED FOR CONSTRUCTION

Revisions

2022.03.14 ISSUED FOR REVIEW 2023.02.17 ISSUED FOR REVIEW 2023.05.04 ISSUED FOR REVIEW

2024.07.12 ISSUED FOR REVIEW

2024.08.08 ISSUED FOR SPA 2024.09.05 RE-ISSUED FOR SPA

Admiralty Place 103-20 Gore Street Kingston Ontario, K7L 2L1 t: 613.545.3744 ext 213 f: 613.545.1411

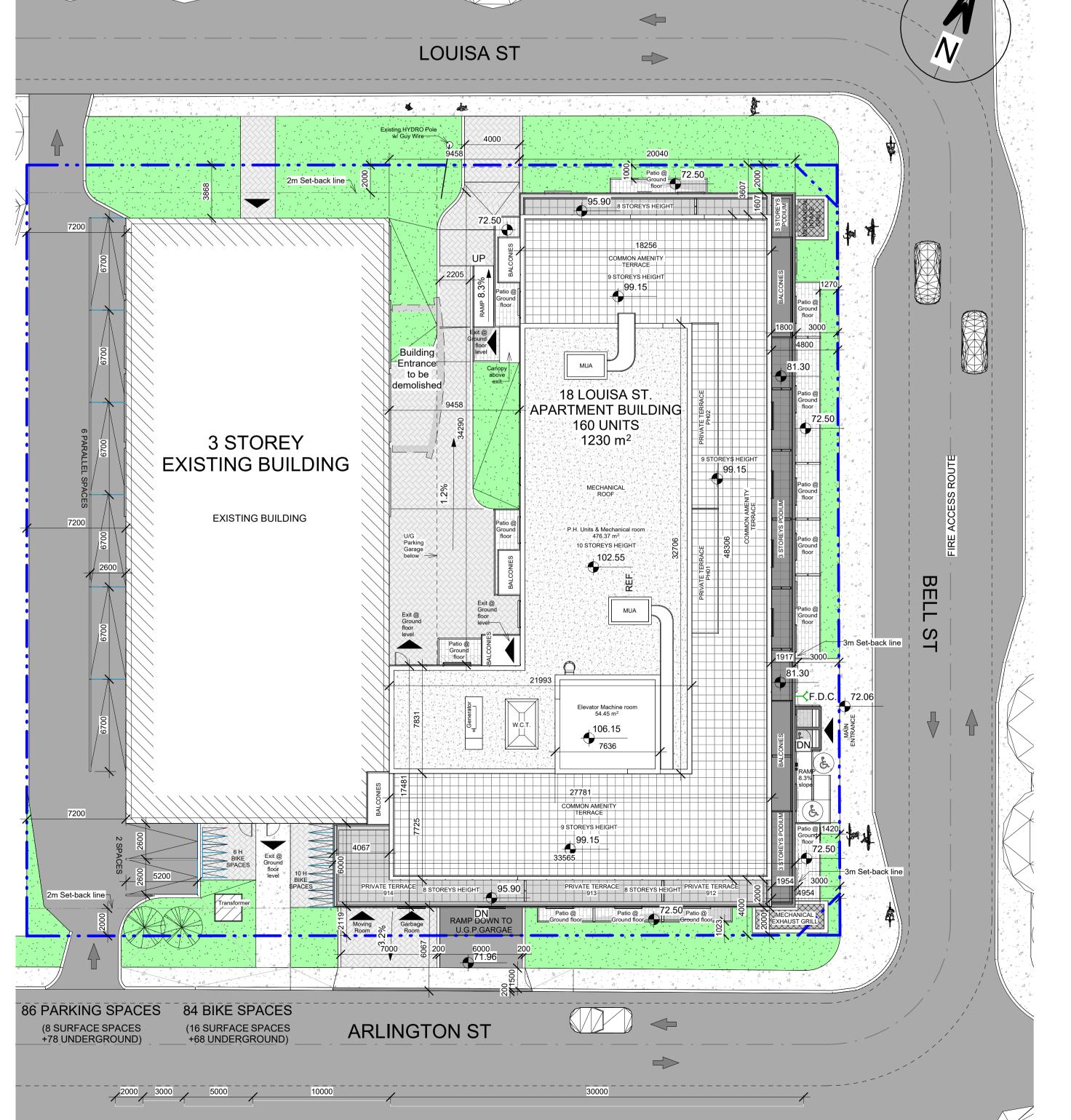


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

SITE PLAN & ZONING INFO

| Drawn By | FAHD A.Z. | Checked By |
|-------------|-----------|-----------------|
| | | · |
| Scale | 4 . 000 | Date 2024.09.05 |
| | 1 : 200 | |
| Project No. | | Revision |
| | 2204 | 9 |
| Drawing No. | A 0 4 0 | |
| | A010 | |





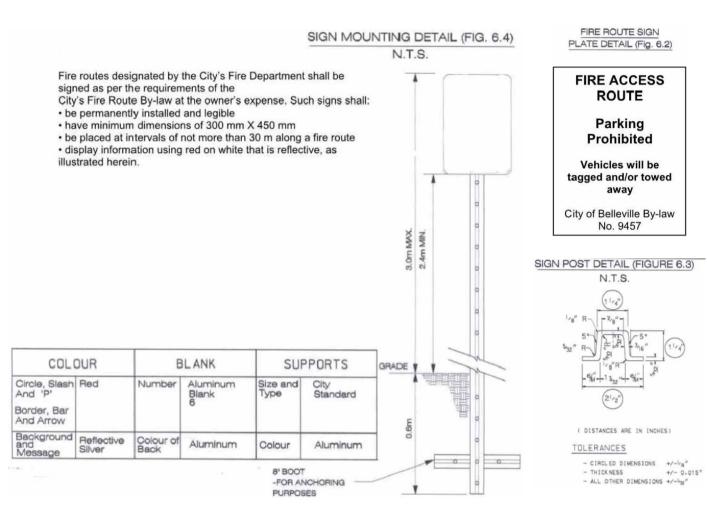
IRE ROUT TOW AWAY ZONE

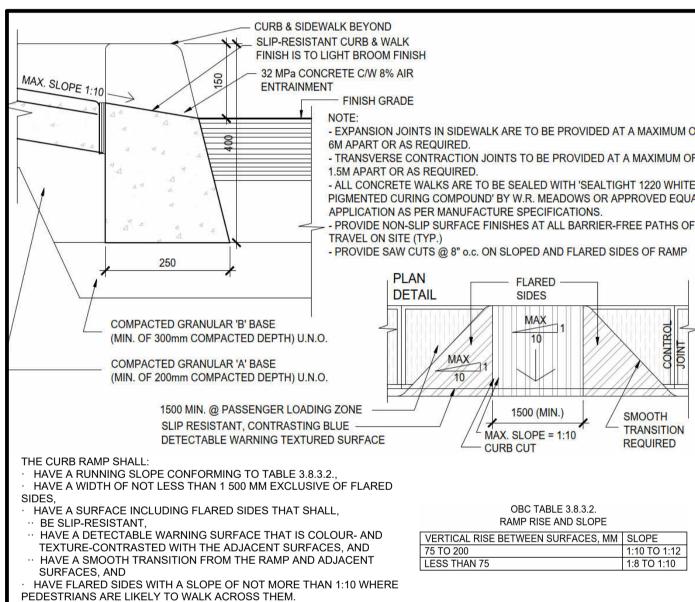
1) FIRE ROUTES SHALL BE PERMANENTLY MOUNTED ON A RIGID SIGN POST OR POLE. 2) BE ERECTED AT A HEIGHT BETWEEN 1.9 AND 2.5 METERS AS MEASURED FROM THE TRAVELLED SURFACE OF THE FIRE ROUTE TO THE BOTTOM OF THE SIGN.

3) BE INSTALLED AT A DISTANCE OF 0.3 AND 3 METERS FROM THE TRAVELLED EDGES OF THE FÍRE ROUTE AND

4) BE INSTALLED ALONG THE FIRE ROUTE AT INTERVALS NO GREATER THAN 30 METERS OR AT SUCH OTHER INTERVALS APPROVED BY THE CHIEF FIRE OFFICAIL. AS MAY BE REQUIRED TO CLEARLY IDENTIFY THE ROUTE.

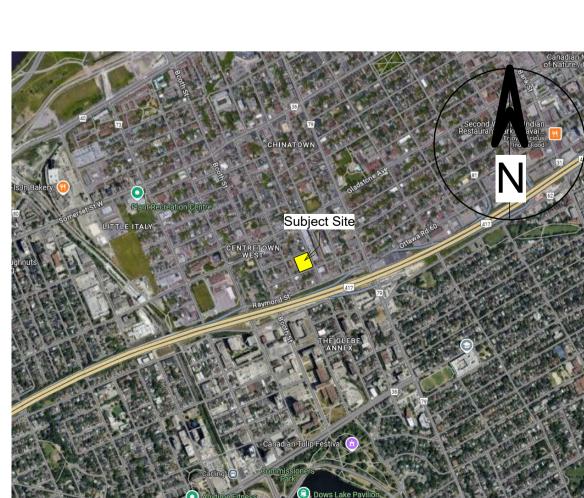
5) THE DIRECTIONAL ARROWHEARS MAY BE DELETED EITHER LEFT OR RIGHT TO INDICATE THE BOUNDARIES OF THE FIRE ROUTE.





ABBREVIATIONS CURB DEPRESSOIN **ROOF DRAIN** FINISHED FLOOR LEVEL Cast iron plate with tactile walking surface indicators X0X0X0X0X0X0X0X0X0X0 OVERHEAD DOOR FRIE-HYDRANT

FIRE ACCESS ROUTE SIGN ACESSIBLE PARKING SIGN FIRE DEPARTMENT CONNECTION



ACCESSIBLE PARKING NOTES MINIMUM OF 1 AUTHORIZED SIGN PER PARKING SPACE, LOCATED WITHEN 2m OF THE FRONT OF THE SPACE, CENTRED ON THE SPACE

ACESSIBLE PARKING

FOLLOWING SYMBOL

NOTED IN PLAN BY THE

(11-3/4 in.) BY PERMIT ONLY





Van Accessib

Existing Entrance/Exit

GENERAL NOTES: I. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED

TO THE SATISFACTION OF THE TOWN. 2. A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL **EXISTING STREET FURNITURE TO BE RELOCATED** BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/ONWER. 3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION. 4. ALL BARRIER FREE ENTRANCES AND BARRIER

O.B.C. 3.8. 5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA. 6. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE

FREE PATHS OF TRAVEL MUST COMPLY WITH

7. ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM. 8. ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR 9. SEPARATE PERMITS ARE REQUIRED FOR ANY

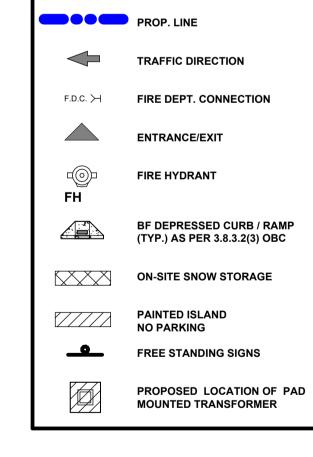
SIGNAGE ON THE PROPERTY. 10.WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION. 11.EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING. 12.REBOUNDING SIGN POST MOUNTED ON CURB.

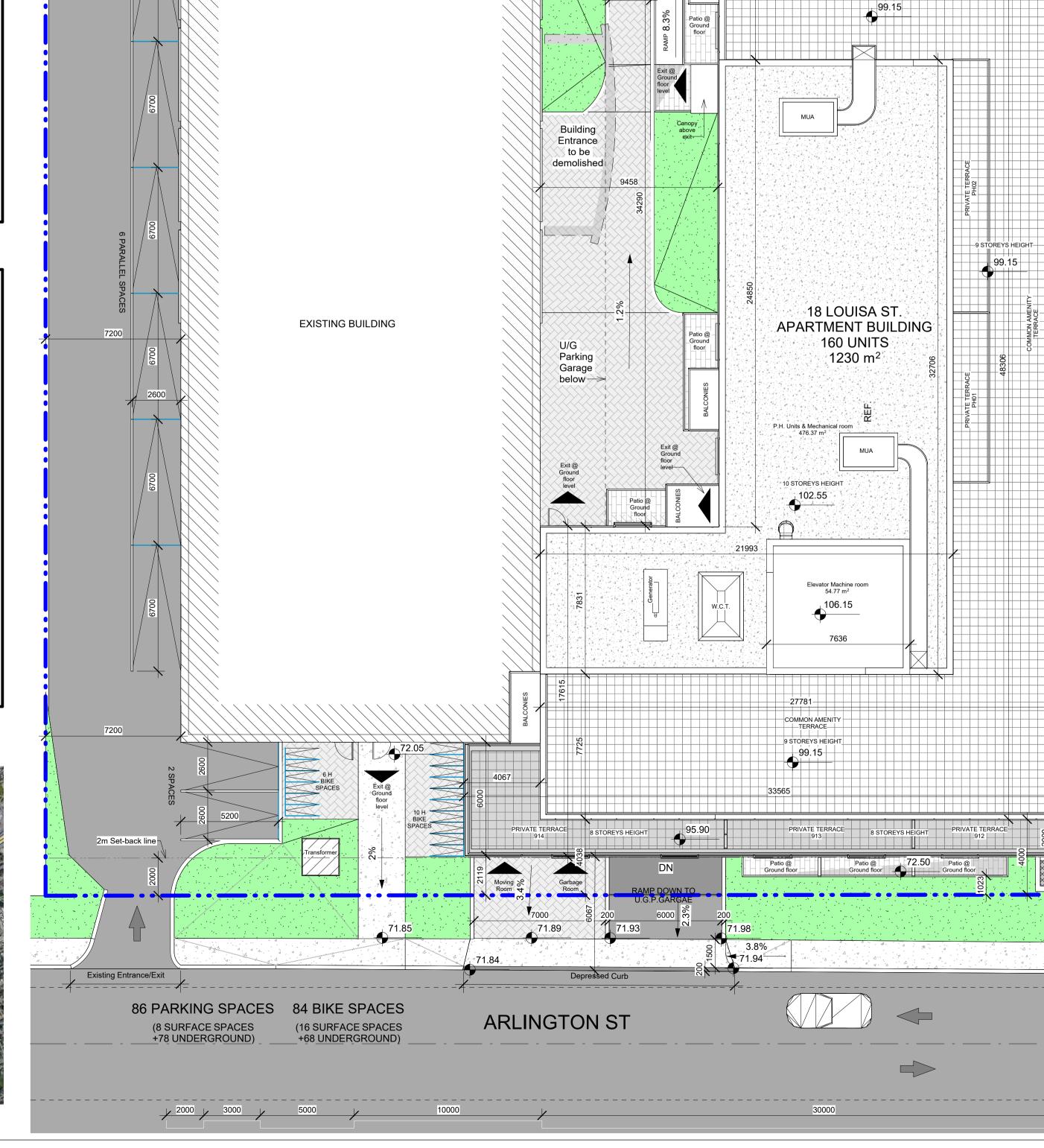
MANUFACTURE: IMPACT RECOVERY (http://www.impactrecovery.com/) STYLE: Sta-Rite Sign Posts. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS

ASPHALT PAVING

FIRE ACCESS ROUTE

LEGEND:





2m Set-back line

LOUISA ST

DO NOT SCALE DRAWINGS

Patio @ Ground floor

8 STOREYS HEIGHT

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE

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| Revisions | |
|-----------|--|

| | R | Revisions |
|--------------------|------------|----------------------|
| Revision Number | | Revision Description |
| | | |
| 1 | 2022.03.14 | ISSUED FOR REVIEW |
| 5 | 2023.02.17 | ISSUED FOR REVIEW |
| 6 | 2023.05.04 | ISSUED FOR REVIEW |
| 7 | 2024.07.12 | ISSUED FOR REVIEW |
| 8 | 2024.08.08 | ISSUED FOR SPA |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA |



-3m Set-back line

₹F.D.C

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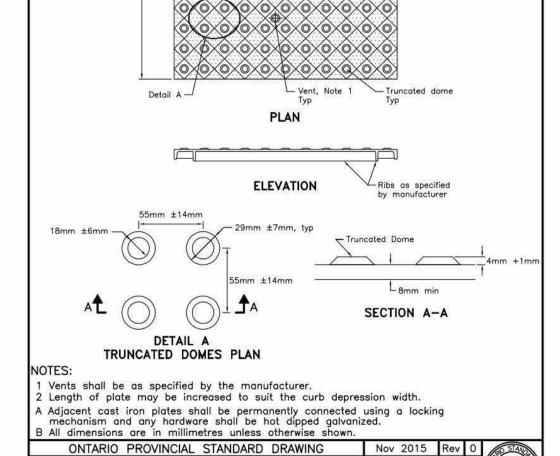


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

SITE PLAN DETAILS & **LEGENDS**

| | Checked By | |
|--------------|--------------|---|
| FAHD A.Z. | oneenea 2, | |
| As indicated | Date | 2024.09.05 |
| 2204 | Revision | 9 |
| A011 | | |
| | As indicated | FAHD A.Z. Date As indicated Revision |



OPSD 310.039

CONCRETE SIDEWALK RAMPS TACTILE WALKING SURFACE INDICATORS COMPONENT

Length (See Note 2)

TYPICAL B.F. RAMP DEPRESSION



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

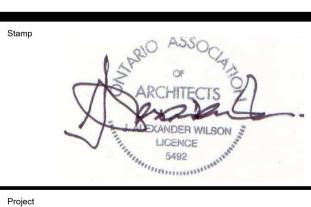
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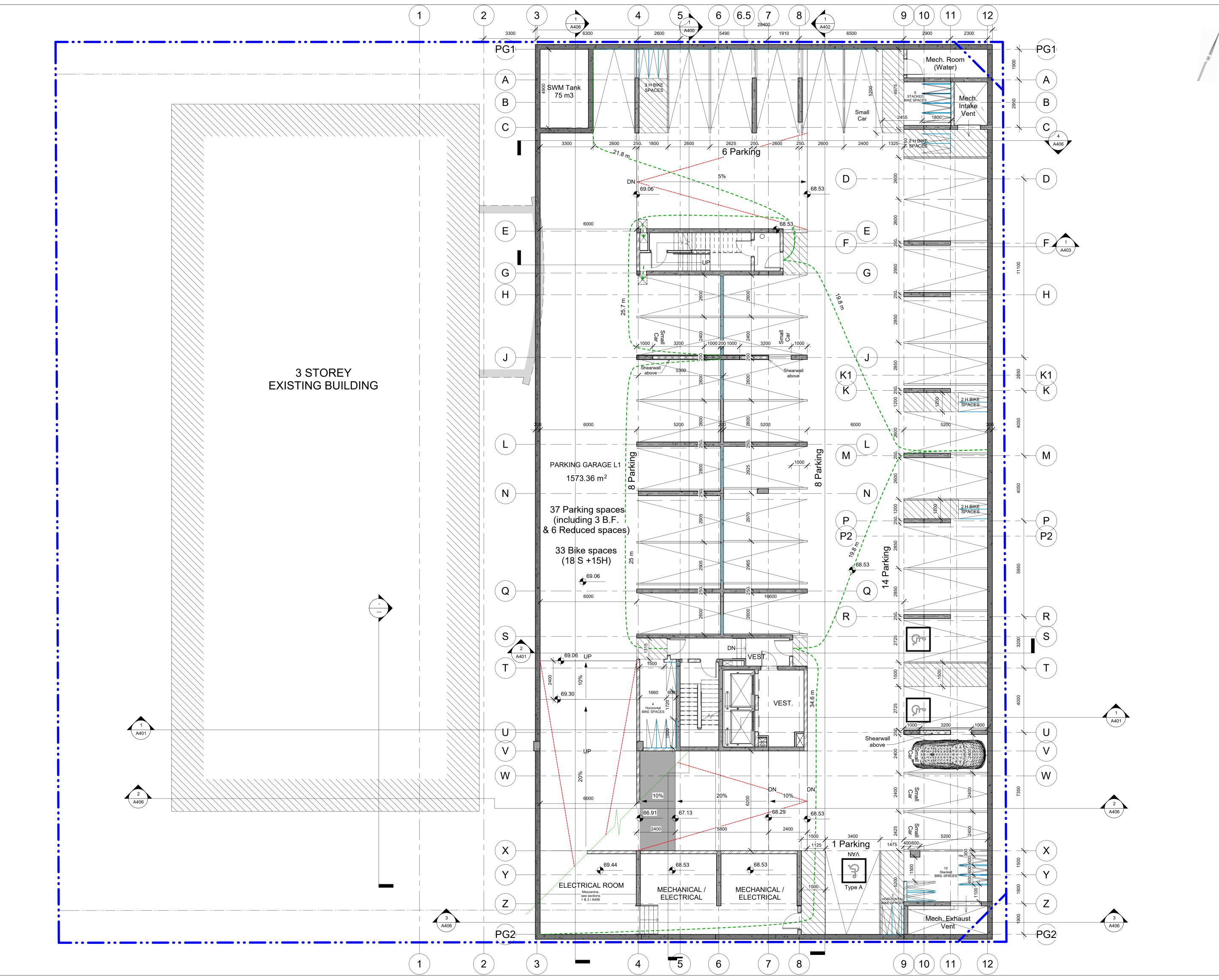
18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

0117W71, 01117

UNDERGROUND GARAGE L2

| Drawing No. | A100.2 | | 9 |
|-------------|-----------|------------|------------|
| Project No. | 0004 | Revision | 0 |
| Scale | 1:100 | Date | 2024.09.05 |
| Drawn By | FAHD A.Z. | Checked By | |



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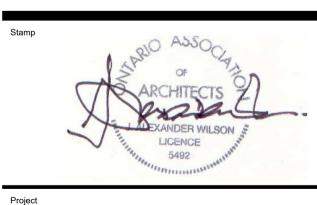
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|--------------------|------------------|----------------------|--|
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| | | | |
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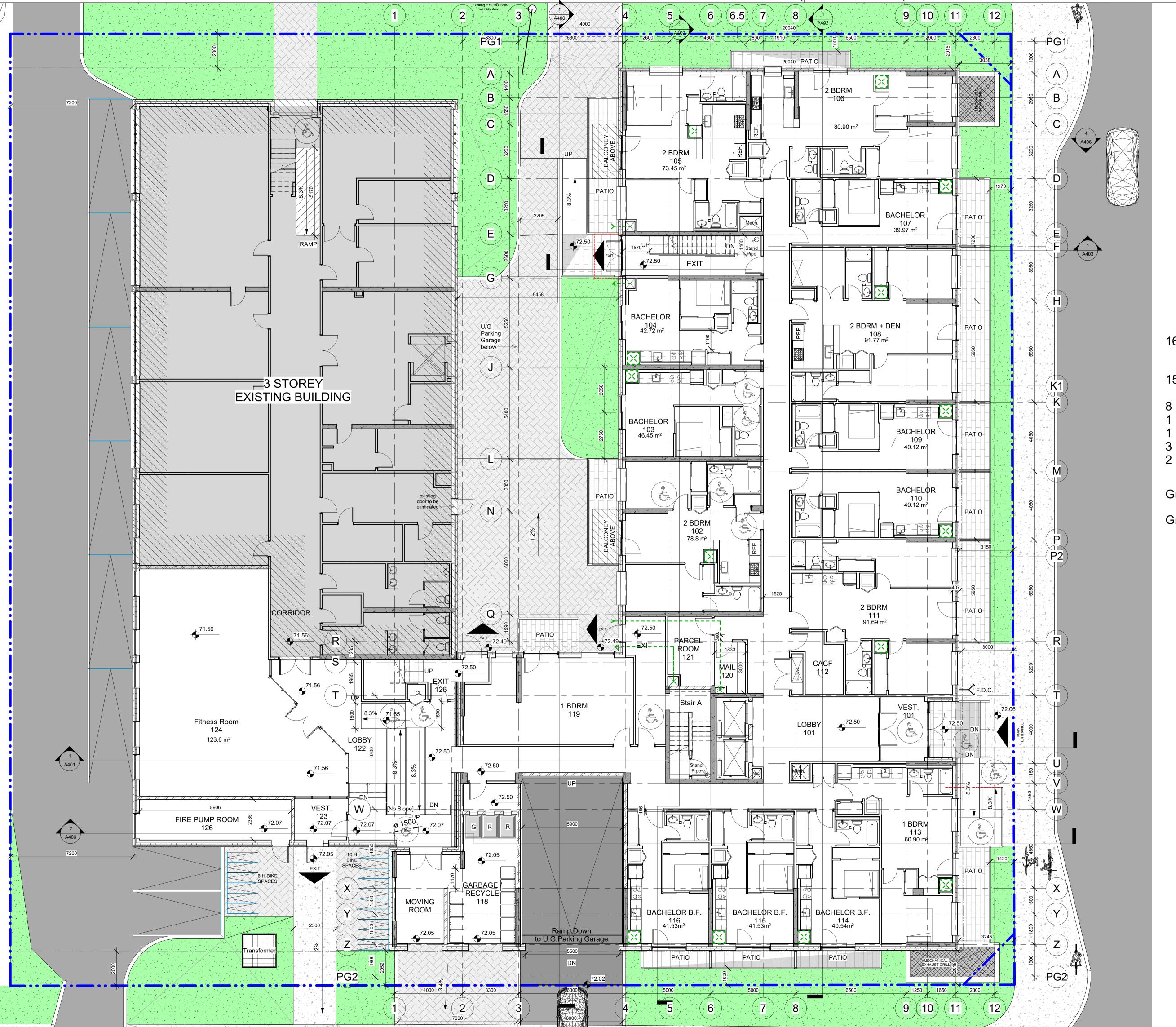
18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

Drawing

UNDERGROUND GARAGE L1

| Drawn By | | Checked By | , |
|-------------|-----------|------------|------------|
| , | FAHD A.Z. | | • |
| Scale | 1:100 | Date | 2024.09.05 |
| Project No. | 2204 | Revision | 9 |
| Drawing No. | A100. 1 | | |



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| 9 | 2024.09.05 | RE-ISSUED FOR SPA | | | |

160 Units Apartment Building

15 Units @ Ground floor:

8 units: Bahcelors
1 unit: 1 Bedroom
1 unit: 1 Bedroom+Den
3 units: 2 Bedroom
2 units: 2 Bedroom+Den

Gross floor area to O.B.C = 1224.7 m²

Gross floor area to Ottawa By-Law = 818.8 m²



Admiralty Place 103-20 Gore Street Kingston Ontario, K7L 2L1 t: 613.545.3744 ext 213 f: 613.545.1411

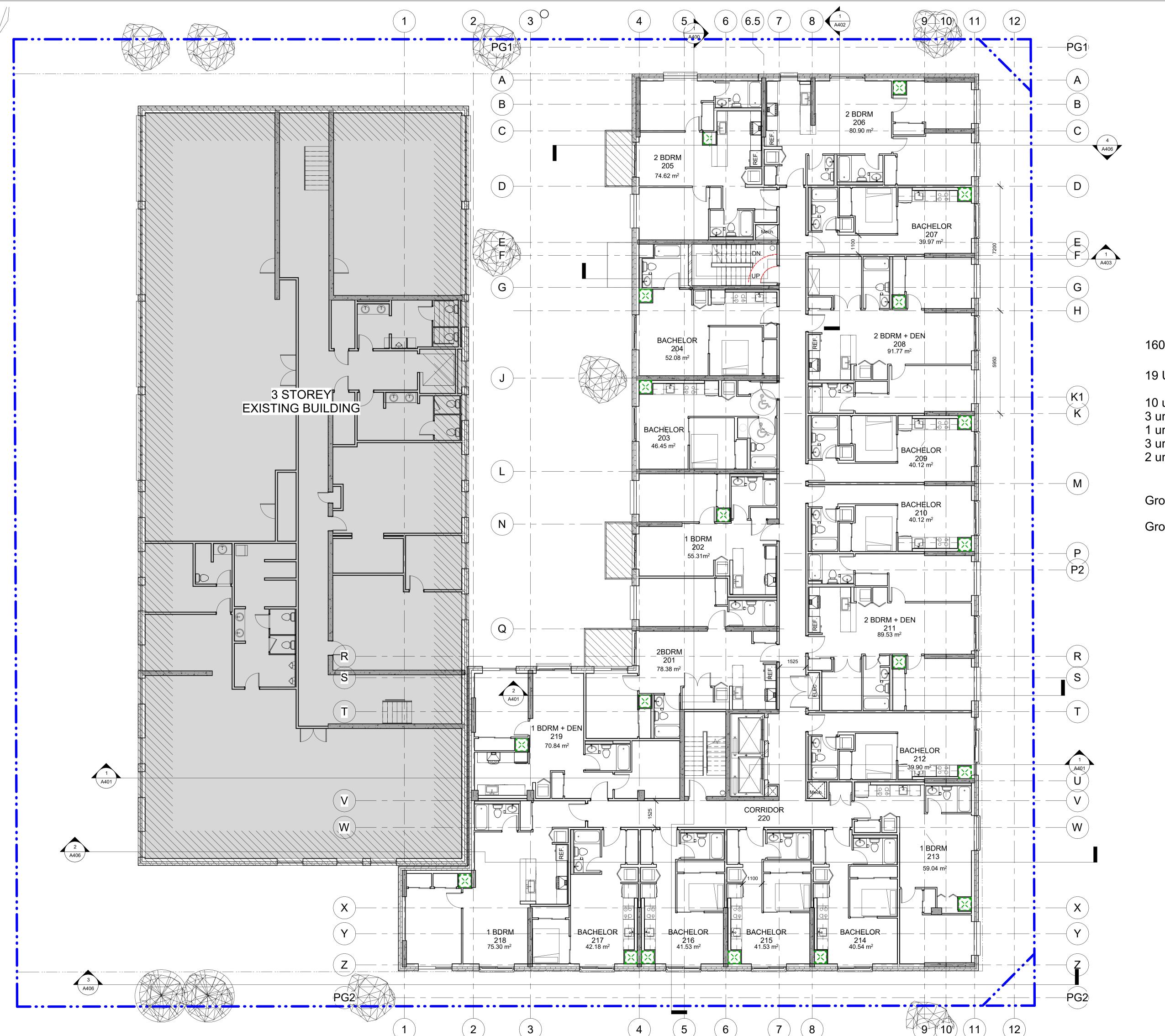


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

GROUND FLOOR PLAN

| Drawn By | 5445 4 7 | Checked By |
|-------------|-----------|-----------------|
| | FAHD A.Z. | • |
| Scale | 1 : 100 | Date 2024.09.05 |
| Project No. | 2204 | Revision 9 |
| Drawing No. | A101 | |



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| Revisions | | | | |
|-----------|------------|----------------------|--|--|
| Revision | Revision | | | |
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| 8 | 2024.08.08 | ISSUED FOR SPA | | |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA | | |
| | | | | |

160 Units Apartment Building

19 Units @ 2nd floor:

10 units: Bahcelors (incld:1 int bedrm unit)

3 units : 1 Bedroom

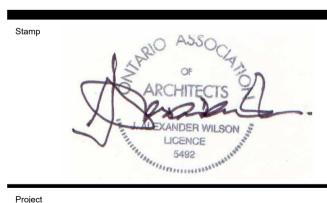
1 units : 1 Bedroom + Den 3 units : 2 Bedroom 2 units : 2 Bedroom+Den

Gross floor area to O.B.C = 1230.0 m²

Gross floor area to Ottawa By-Law = 1019.04 m²



Alexander Wilson Architect Inc Admiralty Place 103-20 Gore Street Kingston Ontario, K7L 2L1 t: 613.545.3744 ext 213 f: 613.545.1411

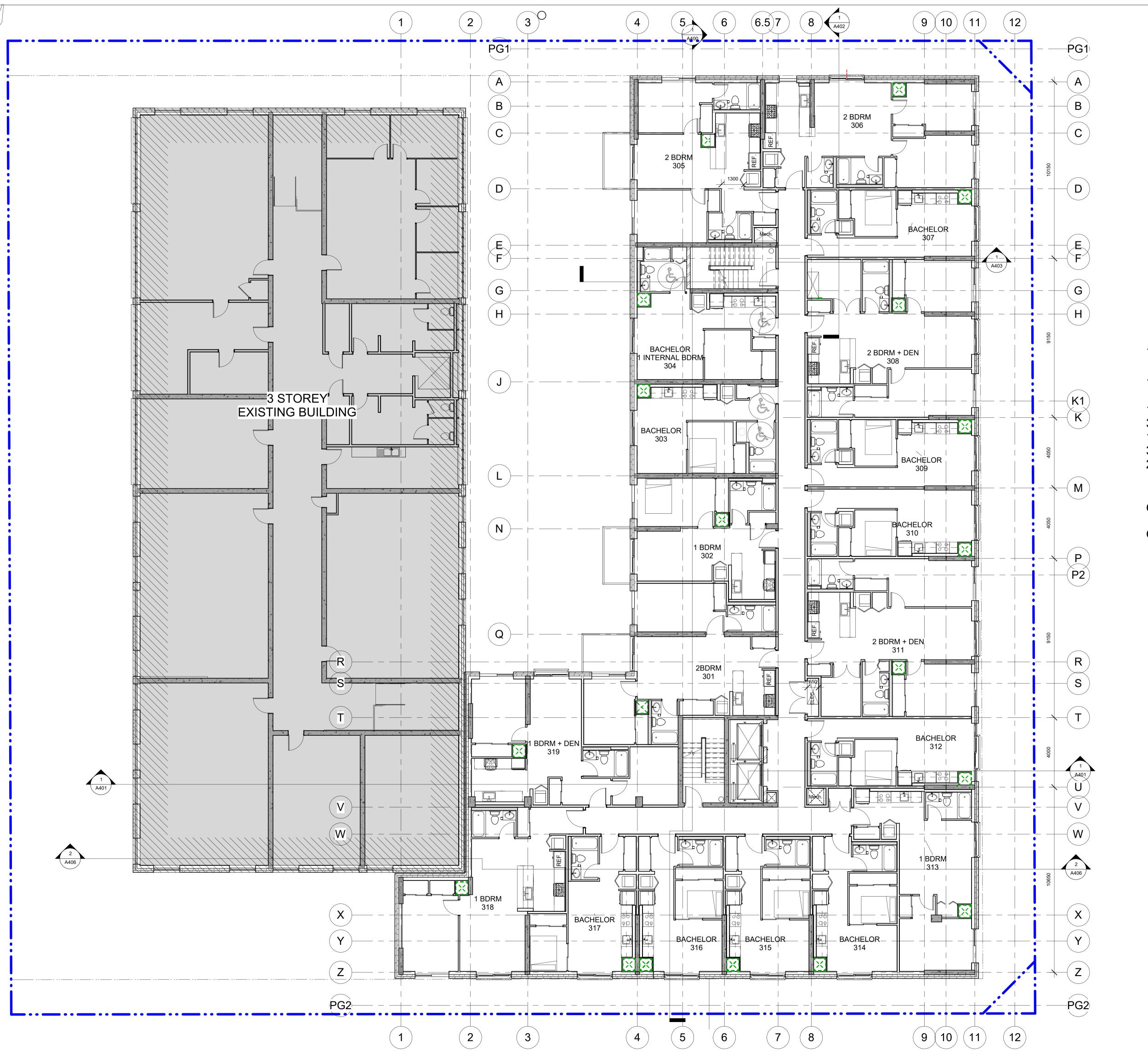


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

2ND FLOOR PLAN

| Drawn By | | Checked By |
|-------------|-----------|-----------------|
| • | FAHD A.Z. | |
| Scale | 1:100 | Date 2024.09.05 |
| Project No. | 2204 | Revision 9 |
| Drawing No. | A102 | |



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE CONSULTANT.

THESE DRAWINGS HAVE BEEN DESIGNED IN COMFORMANCE WITH THE ONTARIO BUILDING

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160 Units Apartment Building

19 Units @ 3rd floor:

10 units: Bahcelors (incld:1 int bedrm unit)

3 units : 1 Bedroom

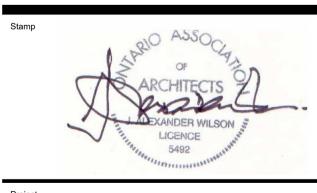
1 units : 1 Bedroom + Den 3 units : 2 Bedroom 2 units : 2 Bedroom+Den

Gross floor area to O.B.C = 1230.0 m²

Gross floor area to Ottawa By-Law = 1019.04 m²



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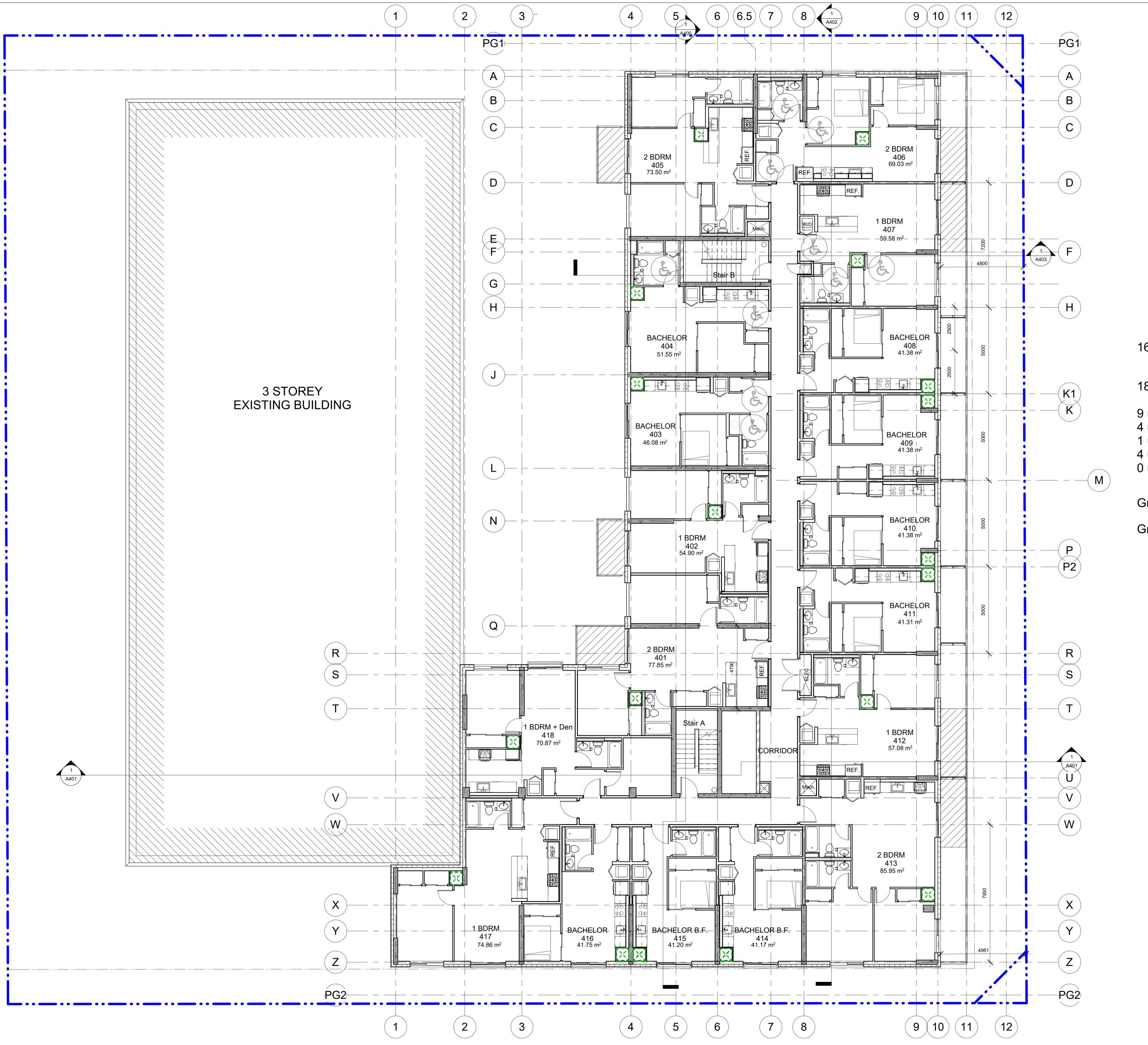


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

3RD FLOOR PLAN

| Drawing No. | A103 | | |
|-------------|-----------|------------|------------|
| Project No. | 2204 | Revision | 9 |
| Scale | 1:100 | Date | 2024.09.05 |
| Drawn By | FAHD A.Z. | Checked By | |



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| Revisions | | | | | |
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| Revision Number | Revision Date | Revision Description | | | |
| | | | | | |
| 1 | 2022.03.14 | ISSUED FOR REVIEW | | | |
| 5 | 2023.02.17 | ISSUED FOR REVIEW | | | |
| 6 | 2023.05.04 | ISSUED FOR REVIEW | | | |
| 7 | 2024.07.12 | ISSUED FOR REVIEW | | | |
| 8 | 2024.08.08 | ISSUED FOR SPA | | | |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA | | | |

160 Units Apartment Building

18 Units @ 4th floor:

9 units : Bahcelors (including 2 B.F. units) 4 units : 1 Bedroom

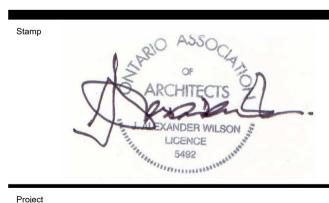
4 units: 1 Bedroom
1 units: 1 Bedroom + Den
4 units: 2 Bedroom
0 unit: 2 Bedroom + Den

Gross floor area to O.B.C = 1135.57 m²

Gross floor area to Ottawa By-Law = 942.00 m²



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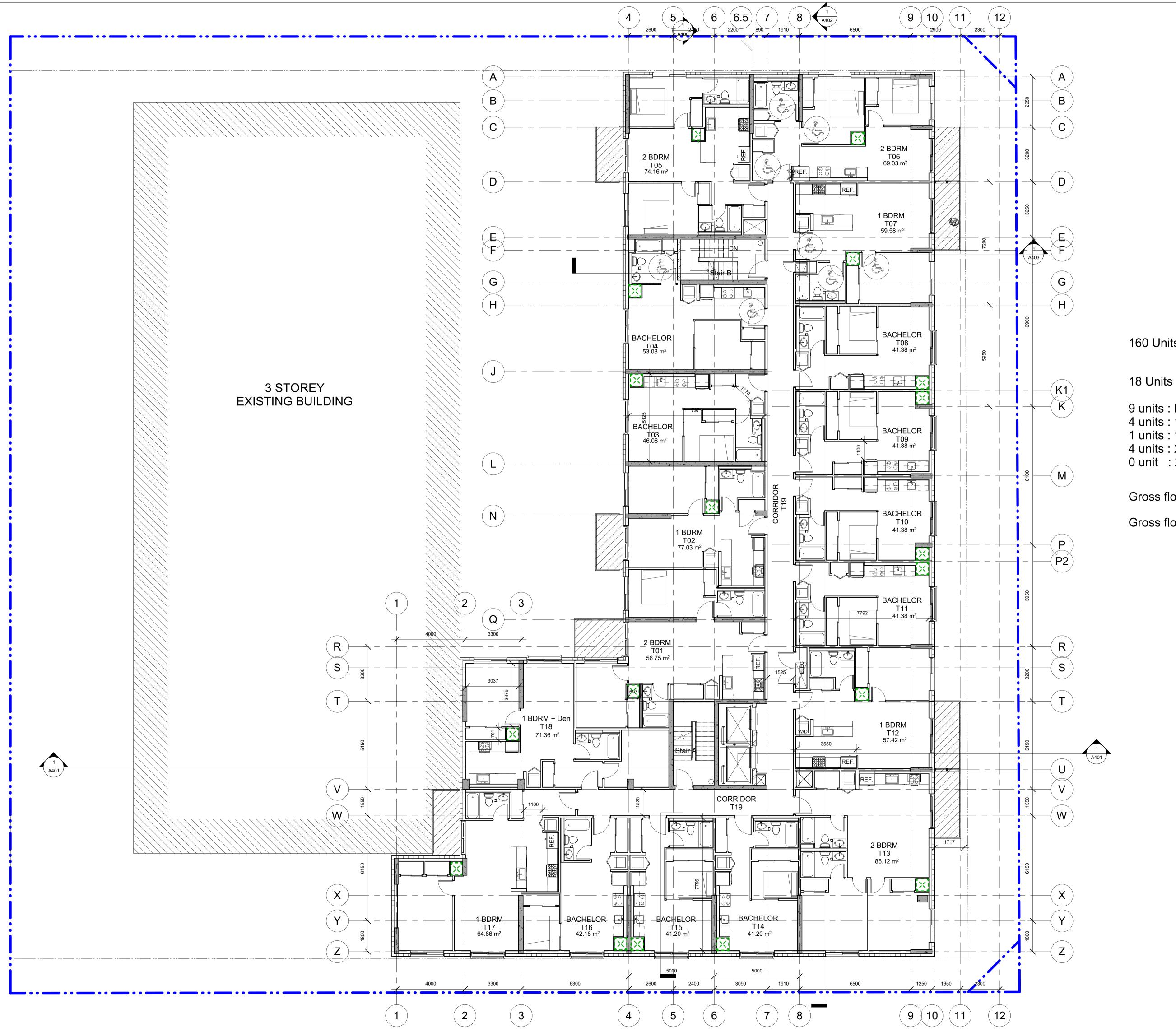


18 LOUISA ST.

18 LOUISA ST, OTTAWA, ONTARIO

4TH FLOOR PLAN

| 5 5 | | 01 1 10 | |
|-------------|-----------|------------|------------|
| Drawn By | FAHD A.Z. | Checked By | |
| Scale | 1:100 | Date | 2024.09.05 |
| Project No. | 2204 | Revision | 9 |
| Drawing No. | A104 | | |



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| Revision Number | Revision Date | Revision Description | | | |
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| 1 | 2022.03.14 | ISSUED FOR REVIEW | | | |
| 5 | 2023.02.17 | ISSUED FOR REVIEW | | | |
| 6 | 2023.05.04 | ISSUED FOR REVIEW | | | |
| 7 | 2024.07.12 | ISSUED FOR REVIEW | | | |
| 8 | 2024.08.08 | ISSUED FOR SPA | | | |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA | | | |

160 Units Apartment Building

18 Units @ Typical floor (X4 = 72 Units):

9 units : Bahcelors (incld:1 int bedrm unit) 4 units : 1 Bedroom

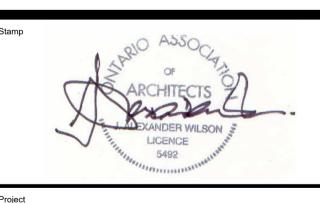
4 units: 1 Bedroom
1 units: 1 Bedroom + Den
4 units: 2 Bedroom
0 unit: 2 Bedroom + Den

Gross floor area to O.B.C = 1135.57 m²

Gross floor area to Ottawa By-Law = 942.00 m²



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18 LOUISA ST.

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TYPICAL FLOOR PLAN (5th - 8th)

| Drawn By | | Checked By | 1 |
|-------------|-----------|------------|------------|
| | FAHD A.Z. | | • |
| Scale | | Date | 2024.09.05 |
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| Danida a Na | | | |
| Drawing No. | A105 | | |
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| Number | Date | Revision Description |
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| 1 | 2022.03.14 | ISSUED FOR REVIEW |
| 5 | 2023.02.17 | ISSUED FOR REVIEW |
| 6 | 2023.05.04 | ISSUED FOR REVIEW |
| 7 | 2024.07.12 | ISSUED FOR REVIEW |
| 8 | 2024.08.08 | ISSUED FOR SPA |

2024.09.05 RE-ISSUED FOR SPA

160 Units Apartment Building

15 Units @ 9th floor:

6 units : Bahcelors (incld:1 int bedrm unit) 4 units : 1 Bedroom

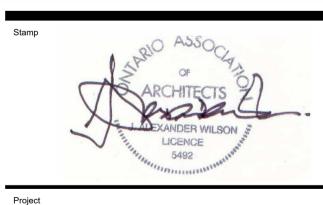
1 units : 1 Bedroom + Den 4 units: 2 Bedroom 0 unit : 2 Bedroom+Den

Gross floor area to O.B.C = 1031.43 m²

Gross floor area to Ottawa By-Law = 844.08 m²



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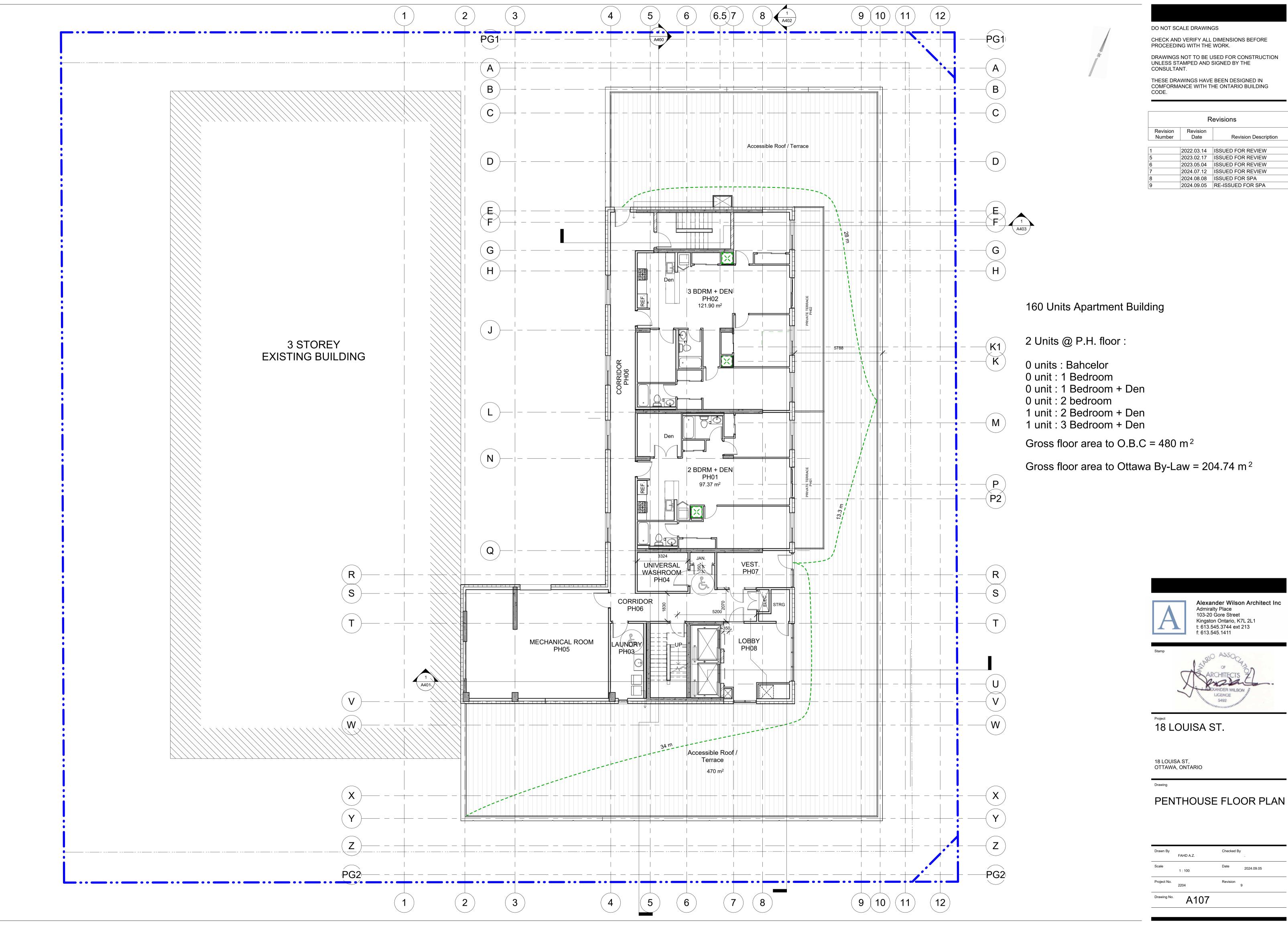


18 LOUISA ST.

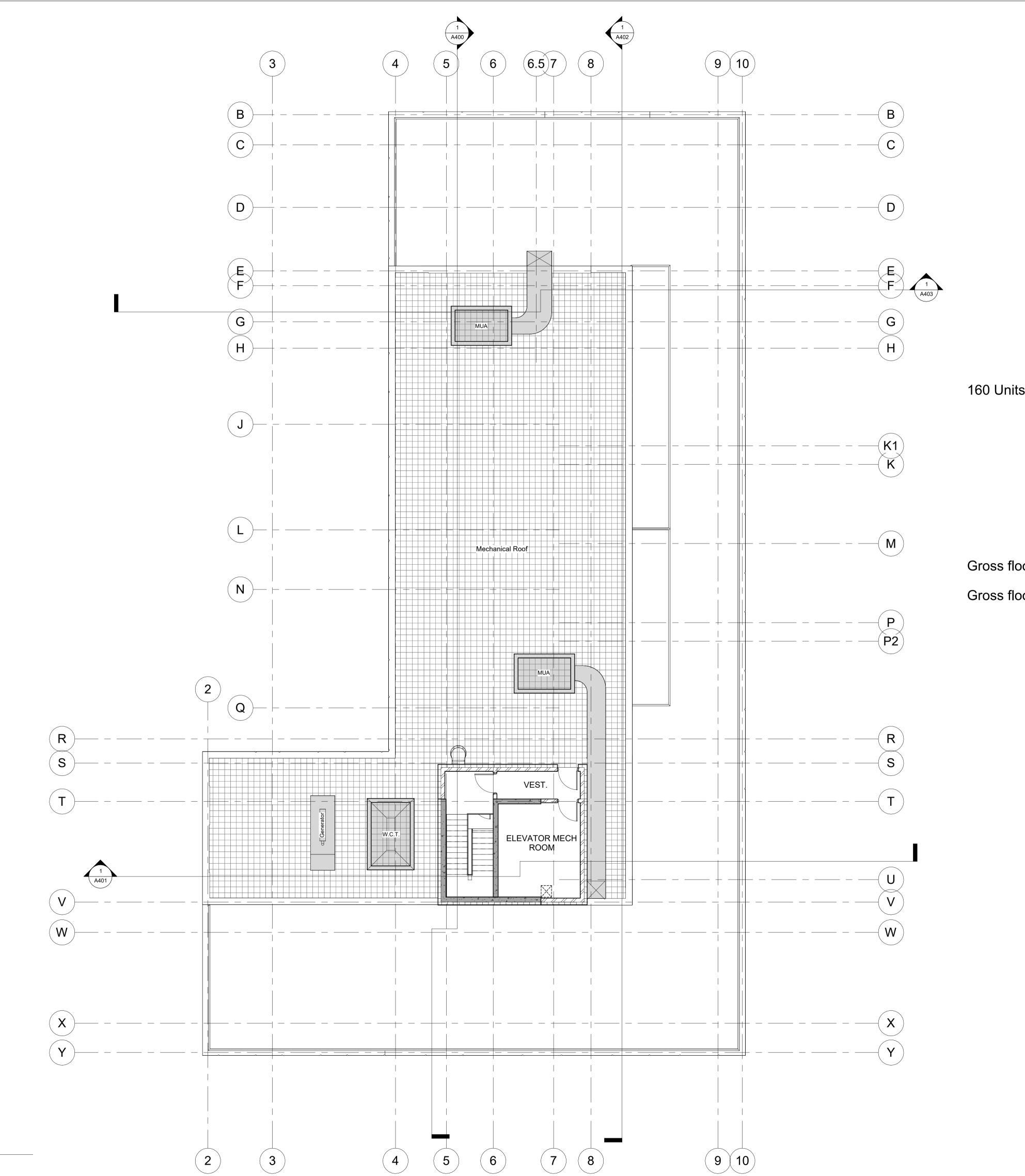
18 LOUISA ST, OTTAWA, ONTARIO

9TH FLOOR PLAN

| Drawn By | | Checked By | |
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| | FAHD A.Z. | | • |
| Scale | | Date | 2024.09.05 |
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| Project No. | | Revision | _ |
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| Drawing No. | A106 | | |
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Revisions



1 ELEVATOR ROOM 1:100 DO NOT SCALE DRAWINGS

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| | 2023.05.04 | ISSUED FOR REVIEW | | | |
| | 2024.07.12 | ISSUED FOR REVIEW | | | |

2024.08.08 ISSUED FOR SPA 2024.09.05 RE-ISSUED FOR SPA

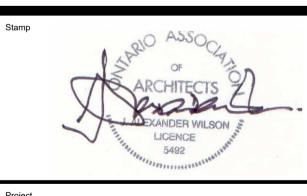
160 Units Apartment Building

Gross floor area to O.B.C = 54.77 m²

Gross floor area to CITY DEF. = 0.00 m²



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Drawing

ELEVATOR ROOM FLOOR PLAN

| Drawn By | FAHD A.Z. | Checked By |
|-------------|-----------|-----------------|
| Scale | 1:100 | Date 2024.09.05 |
| Project No. | 2204 | Revision 9 |
| Drawing No. | A108 | |



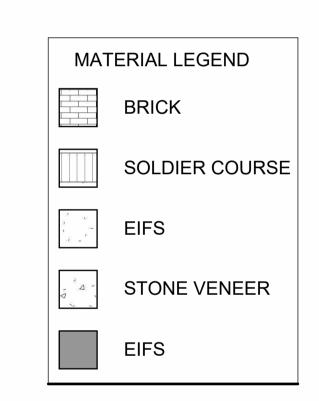
1 EAST ELEVATION 1:100 DO NOT SCALE DRAWINGS

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| Revisions | | |
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| Revision Number | Revision Date | Revision Description |
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| 1 | 2022.03.14 | ISSUED FOR REVIEW |
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| 5 | 2023.02.17 | ISSUED FOR REVIEW |
| 5 6 | 2023.02.17 2023.05.04 | ISSUED FOR REVIEW |
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| | 2023.05.04 | ISSUED FOR REVIEW |







18 LOUISA ST.

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EAST ELEVATION

| Drawing No. | A300 | | |
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| Project No. | 2204 | Revision | 9 |
| Scale | As indicated | Date | 2024.09.05 |
| Drawn By | FAHD A.Z. | Checked By | |



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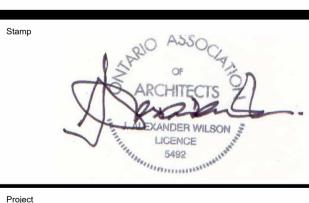
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| 7 | 2024.07.12 | ISSUED FOR REVIEW |
| 8 | 2024.08.08 | ISSUED FOR SPA |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA |
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18 LOUISA ST.

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SOUTH ELEVATION

| Drawn By | FAHD A.Z. | Checked By |
|-------------|-----------|-----------------|
| Scale | 1:100 | Date 2024.09.05 |
| Project No. | 2204 | Revision 9 |
| Drawing No. | A303 | |



1 WEST ELEVATION 1: 100

DO NOT SCALE DRAWINGS

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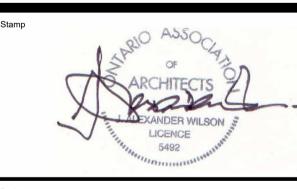
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| Revisions | | | |
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| Revisior Number | | Revision Description | |
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| 8 | 2024.08.08 | ISSUED FOR SPA | |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA | |



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18 LOUISA ST.

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WEST ELEVATION

| Drawn By | FAHD A.Z. | Checked By | |
|-------------|-----------|------------|------------|
| Scale | 1:100 | Date | 2024.09.05 |
| Project No. | 2204 | Revision | 9 |
| Drawing No. | A302 | | |

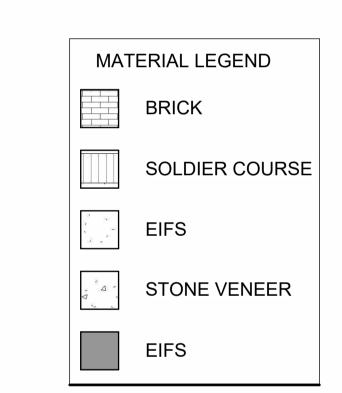


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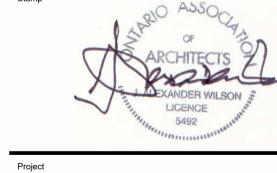
THESE DRAWINGS HAVE BEEN DESIGNED IN COMFORMANCE WITH THE ONTARIO BUILDING CODE.

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| 7 | 2024.07.12 | ISSUED FOR REVIEW | |
| 8 | 2024.08.08 | ISSUED FOR SPA | |
| 9 | 2024.09.05 | RE-ISSUED FOR SPA | |





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18 LOUISA ST.

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NORTH ELEVATION

| Drawing No. | A301 | |
|-------------|--------------|-----------------|
| Project No. | 2204 | Revision 9 |
| Scale | As indicated | Date 2024.09.05 |
| Drawn By | FAHD A.Z. | Checked By . |