

1-STOREY OFFICE + WAREHOUSE

96 BILL LEATHAM DRIVE
OTTAWA ONTARIO

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REGISTERED OWNER:
Chello Building Corp.
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Tel: 613 224-9437
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Email: --

MECHANICAL ENGINEER:
Smith & Andersen
1600 Carling Ave., Suite 530
Ottawa, ON., K1Z 1G3
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Fax: --
Cell: --
Email: Darrell.Noseworthy@smithandandersen.com

STRUCTURAL ENGINEER:
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333 Preston St.
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Email: ryan@dm-structural.ca

ELECTRICAL ENGINEER:
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Chello Building Corp Consultants
CIVIL ENGINEER & GRADING:
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1455 Youville Dr.
Ottawa, ON., K1C 6Z7
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GEOTECHNICAL ENGINEER & PHASE 1 ENVIRONMENTAL:
Paterson Group
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Ottawa, ON., K2E 7T9
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Email: J.Villeneuve@patersongroup.ca

LANDSCAPE ARCHITECT:
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110 Didsbury Rd.
Ottawa, ON., K2T 0C2
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Cell: --
Email: gino@gjala.com

SURVEYOR:
Annis, O'Sullivan, Vollebekk Ltd.
14 Concourse Gate, Suite 500
Nepean, Ontario, K2E 7S6
Tel: 613 727-4352 ext. 226
Fax: --
Cell: --
Email: andys@aovltd.com

Environmental Impact study & Tree Conservation:
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491 Buchanan Cres.,
Ottawa, ON., K1J 7V2
Tel: 613 748-3753
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Cell: --
Email: bmuncaster@rogers.com

ARCHITECTURAL CONTRACT DOCUMENTS
A000 REV: 2 COVER SHEET
A010 REV: 2 SITE PLAN
A011 REV: 2 COLOUR BUILDING REFERENCE ELEVATIONS

STRUCTURAL CONTRACT DOCUMENTS
S001 STRUCTURAL PLACEHOLDER

MECHANICAL CONTRACT DOCUMENTS
M001 MECHANICAL PLACEHOLDER

ELECTRICAL CONTRACT DOCUMENTS
E001 ELECTRICAL PLACEHOLDER

CIVIL CONTRACT DOCUMENTS
C001 CIVIL PLACEHOLDER

SURVEYOR CONTRACT DOCUMENTS
V001 SURVEYOR PLACEHOLDER

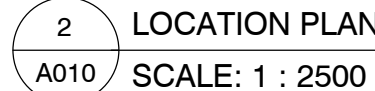
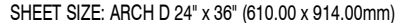
LANDSCAPE CONTRACT DOCUMENTS
L001 LANDSCAPE PLACEHOLDER

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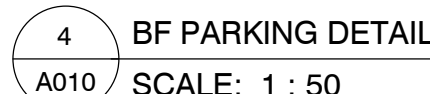
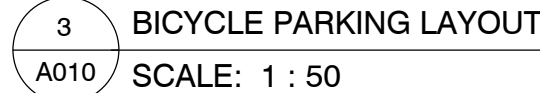
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SHEET SIZE: ARCH D 24" x 36" (610.00 x 914.00mm)



SITE PLAN SYMBOLS	
ICON	DESCRIPTION
	Existing Buildings
	Proposed Buildings
	Property Lines
	Setback Lines
	Overhead Wires
	Fences
	Road Lines
	Proposed Concrete Curb
	Depressed Concrete Curb
	Existing Concrete Pad/Sidewalk
	Proposed Concrete Pad/Sidewalk
	Proposed Asphalt Driving Surface
	Sewal Asphalt
	Soft Landscaping
	Existing Landscape Area
	Proposed Landscape Area
	Barrier Free Parking Space
	Exterior Bicycle Parking Space with Boltard Style Bike Rack
	Two Way Vehicle Circulation
	Principal Entrance Door
	Exterior Door (*OH indicates Overhead Door)
	Exterior 6m Wide Fire Route (12m centerline radius on all turns, TYP.)



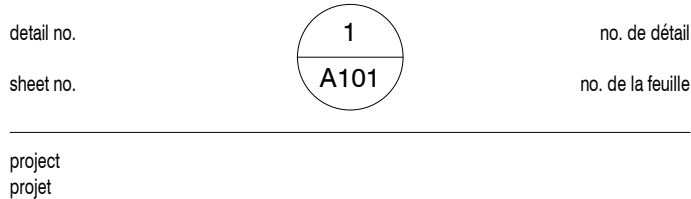
DEVELOPMENT STANDARDS		
	REQUIRED	PROPOSED
BUILDING HEIGHT	22.5m MAX.	13m
FRONT YARD SETBACK	7.5m MIN.	7.5m
CORNER SIDE YARD SETBACK	7.5m MIN.	N/A
REAR YARD SETBACK	7.5m MIN.	7.5m
INTERIOR SIDE YARD SETBACK	7.5m MIN.	7.5m
STOREYS ABOVE GRADE	-	2
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	NO MINIMUM	-
MINIMUM WIDTH OF LANDSCAPED AREA	ABUTTING A STREET - 3.0M 3.0M	3.0M

PARKING SPACES		
VEHICULAR PARKING SPACES AREA "C" (TABLE 101 - N59 AND N95)	OFFICE (N59): 365.3M ² = 28 SPACES 0.9 SPACES WAREHOUSE (N95) 894.1M ² = 7.0 SPACES	
ACCESSIBLE VEHICULAR PARKING SPACES	1 SPACES (1 TYPE B)	2 SPACES (1 TYPE A + 1 TYPE B)
TOTAL GROSS FLOOR AREA	16 SPACES	28 SPACES

BICYCLE PARKING		
VEHICULAR PARKING SPACES (TABLE 111A (B))	1 PER 250.0M ² OF OFFICE/2000M ² FOR WAREHOUSE OF GRA	3 SPACES
TOTAL GROSS FLOOR AREA	3 SPACES	3 SPACES

ISSUED

2	RE-ISSUED FOR SPA	Mar 21-2024
1	ISSUED FOR SPA	Oct 31-2023
no.	revision	date



SITE PLAN

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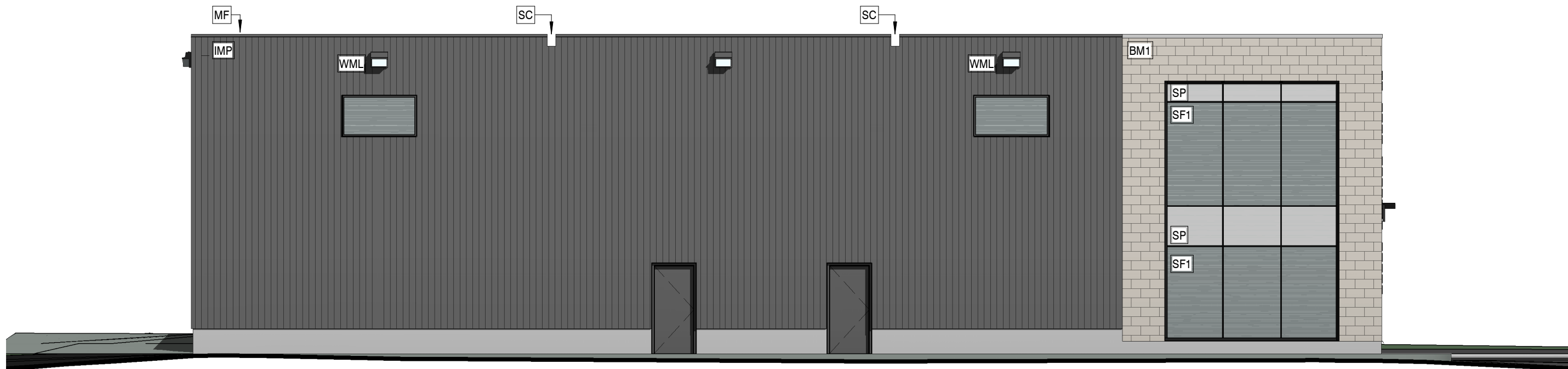
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SHEET SIZE: ARCH D 24" x 36" (610.00 x 914.00mm)



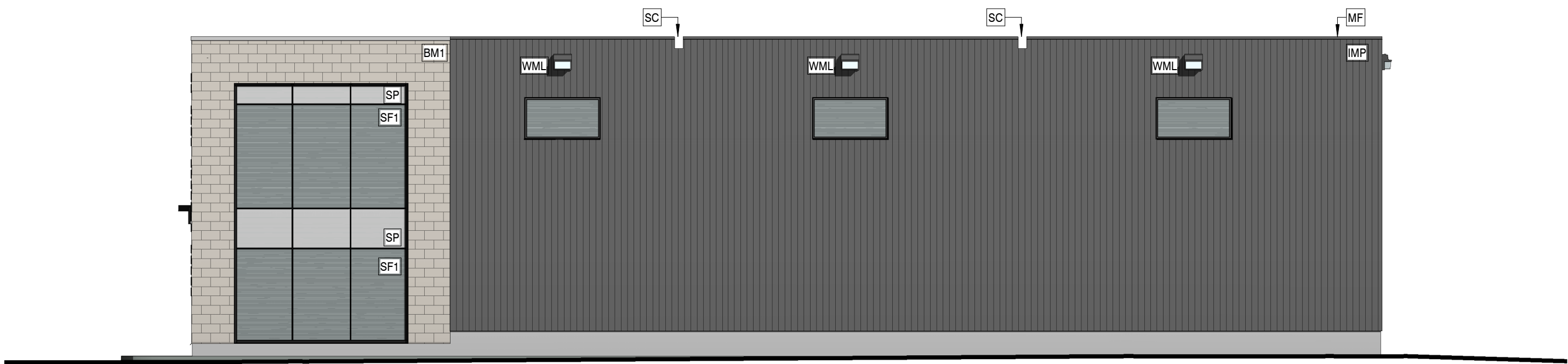
1 NORTH ELEVATION
A011 SCALE: 1 : 100



2 EAST ELEVATION
A011 SCALE: 1 : 100



3 SOUTH ELEVATION
A011 SCALE: 1 : 100



4 WEST ELEVATION
A011 SCALE: 1 : 100

ELEVATION NOTES	
NOTE#	NOTE
BM1	Masonry Large Size - Beige/Grey Colour
IMP	Insulated Metal Panel; Dark Grey.
MF	Metal Cap Flashing; Colour to Match Canopy Pre-Fin Metal Flashing
OH1	Solid, Prefinished, Insulated Overhead Door, weather seal. 4266mm W x 4266mm H.
SC	Roof Scupper.
SF1	Aluminum Storefront c/w Clear Glass
SLS	Solar Shade
SP	Spandrel Panel c/w Clear Glass
WML	Wall Mounted Downward Light Fixture

NOTES
Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

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detail no.	1	no. de détail
sheet no.	A101	no. de la feuille
project		
projet		

1-STOREY OFFICE + WAREHOUSE

96 BILL LEATHAM DRIVE, OTTAWA, ONTARIO			
designed by conçu par	MM/CM	approved by approuvé par	MM
drawn by dessiné par	CM	project no. no. du projet	2406
date	March 21-2024	scale	as noted

drawing / dessin
COLOUR BUILDING REFERENCE ELEVATIONS