

SITE INFORMATION

SITE AREA: 7,717sm / 1.93 acres

NOTE THAT PROPERTY BOUNDARY INFORMATION HAS BEEN TAKEN FROM SURVEY PREPARED BY STANTEC, DATED 12 OCTOBER 2023.

BUILDING DATA:

AREA CALCULATIONS:

Gross Area (by Ontario Building Code definition):
The total area of all floors above grade measured between the outside surfaces of exterior walls is:

Retail Building: 686.2sm / 7,386sf
Carwash Building: 112.9sm / 1,215sf
Total Gross Area: 799.1sm / 8,600sf

Gross Floor Area (City of Ottawa Zoning Bylaw definition for the purpose of determining maximum building area and parking requirements): The total floor area measured from the interior of outside walls excluding mechanical/electrical service rooms, stairwells, elevator shafts, parking/loading facilities, washrooms and storage areas:

GFA (Restaurant/Retail Bldg): 602sm / 6,480sf

ZONING

DESIGNATION: GM[2546] H(14.5)
General Mixed use, Exception 2546

PERMITTED NON RESIDENTIAL USES:

- Section 187: Convenience Store, Drive-through Facility, Restaurant, Retail Store, Car Wash, Gas Bar
- Exception 2546:

MINIMUM SETBACKS:

- Table 187(c): Front & Corner Yard: 3.0m
- Table 187(d): Interior Side Yard: 5.0m (abutting res. zone)
- Table 187(e.iii): Rear Side Yard: 7.5m (abutting res. bldg)

BUILDING HEIGHT:

- Exception 2546: 14.5m maximum permitted, 5.5m proposed

FSI:

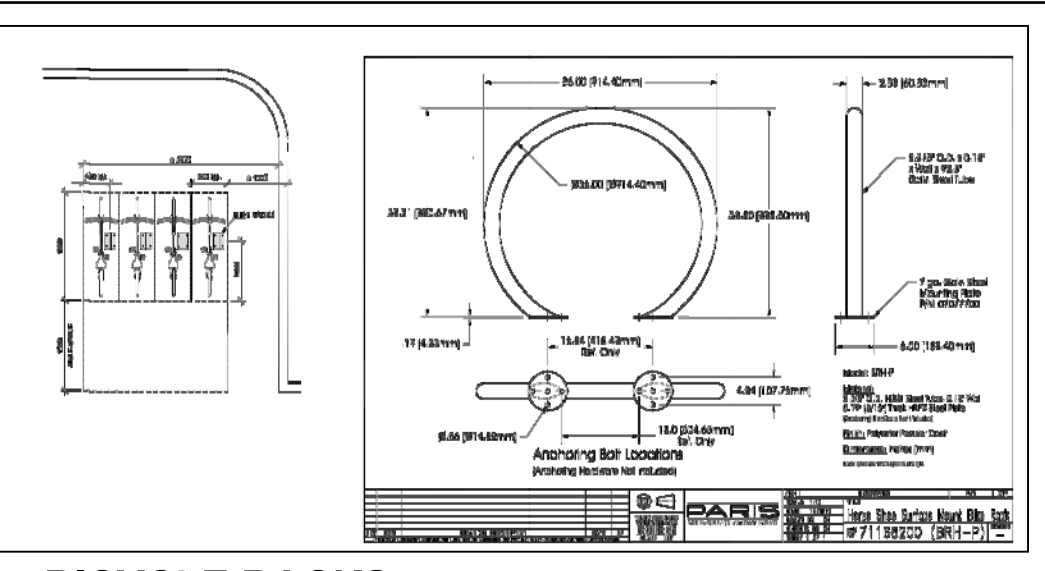
- Table 187(g): 2.0 times coverage (15,000sm) maximum permitted, 0.1 times coverage (799.1sm) proposed

MINIMUM WIDTH OF LANDSCAPED AREA:

- Table 187(h.i): Abutting a Street: 3.0m
- Table 187(h.ii): Abutting a Res.Zone: 3.0m

PARKING:

- Table 101: Convenience Store: 3.4 cars per 100sm of GFA, Fast-Food Restaurant: 10 cars per 100sm of GFA, 9 for Convenience Store (266sm/100x3.4), 34 for Restaurant (336sm/100x10)
- Required: 61 cars (not incl. fuel dispensers & drive-through)
- Provided:



BICYCLE RACKS

SYMBOLS LEGEND

- PROPERTY LINE
- FENCE
- OVERHEAD HYDRO LINE
- DEPRESSED CURB
- ENTRANCE/EXIT DOOR
- IN-GROUND GARBAGE/RECYCLE RECEPTACLE
- UTILITY POLE
- FIRE HYDRANT
- FIRE ROUTE / NO PARKING SIGN



BAR SCALE (metres)

LEGAL DESCRIPTION:

PART OF LOT 6, CONCESSION 3, OTTAWA FRONT, GLOUCESTER, PARTS 2 AND 3 PLAN 5R-4675, PART 3 PLAN 5R-7985, PART 4 PLAN 5R-11005, EXCEPT PARTS 13, 14 AND 16 PLAN 4R-21265, EXCEPT PARTS 1 TO 7 EXPROPRIATION PLAN OC1834435 CITY OF OTTAWA

02 SITE & BUILDING DATA and ZONING REVIEW



01 LOCATION PLAN

SCALE: NTS

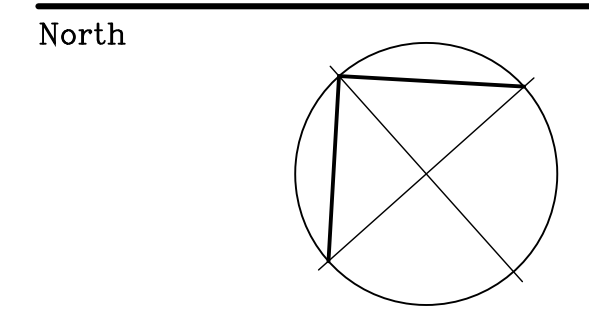
03 SITE PLAN

SCALE: 1:250

OWNER:
1274001 CANADA INC.
100-768 Boulevard St Joseph
Gatineau, QC J8Y 4B8

PLANNING, CIVIL & TRAFFIC CONSULTANT:
J.L.RICHARDS & ASSOCIATES LTD.
1000-343 Preston Street
Ottawa, ON K1J 1N4

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 Carling Avenue
Ottawa, ON K2H 5A8



Revisions

No.	By	Description	Date
08	IW	SITE PLAN APPLICATION	08 DEC 2023
09	IW	REVISED FOR SPA	01 MAR 2024
10	IW	REVISED FOR SPA	14 AUG 2024

Project
NEW RESTAURANT, CONVENIENCE STORE & GAS BAR

2130 BRIAN COBURN BLVD.

Drawing
SITE PLAN

Scale AS SHOWN

Drawn AK / KE

Checked



Project No. 22-127

Date 12 MAY 2022

Drawing No.
SP-A01

PLAN NO.